

GRADING & EXCAVATION PERMIT SET
FOR
GREEN HORN RANCH

LOCATED IN THE SE1/4 SECTION 22, THE SW1/4 SECTION 23, AND IN THE NW1/4 SECTION 26
TOWNSHIP 6 NORTH, RANGE 84 WEST, 6TH P.M.;
COUNTY OF ROUTT, STATE OF COLORADO

CONTACT INFORMATION

PROJECT TEAM:



OWNER
STEAMBOAT SKI & RESORT CORP.
2305 MT. WERNER CIRCLE
STEAMBOAT SPRINGS, CO 80487
(303) 749-8262
ATTN: MIKE SCHMIDT

DESIGNER
SE GROUP
131 CHURCH ST, SUITE 200
BURLINGTON, VT 05401
(802) 681-0874
ATTN: MITCH LEFEVRE



GENERAL CONTRACTOR
SAUNDERS CONSTRUCTION, INC.
86 INVERNESS PLACE NORTH
CENTENNIAL, CO 80112
(303) 699-9000
ATTN: ADAM CLEVELAND



CIVIL ENGINEERS & SURVEYORS
LANDMARK CONSULTANTS, INC.
141 9TH STREET
STEAMBOAT SPRINGS, CO 80487
(970) 871-9494
ATTN: ERIK GRIEPENTROG, P.E.



GEOTECHNICAL ENGINEER
NORTHWEST COLORADO CONSULTANTS, INC.
2580 COPPER RIDGE DRIVE
STEAMBOAT SPRINGS, CO 80487
(970) 879-7888
ATTN: BRIAN LEN

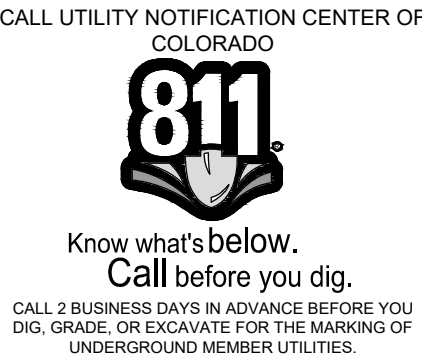
UTILITY CONTACT LIST:

UTILITY COMPANY	CONTACT	PHONE NUMBER
CITY PUBLIC WORKS	BEN BEALL, P.E.	(970) 871.8293
CITY OF STEAMBOAT SPRINGS UTILITIES	MICHELLE CARR, P.E.	(970) 871.8207
MT. WERNER WATER	RICHARD BUCCINO	(970) 879.2424
YAMPA VALLEY ELECTRIC ASSOC.	LARRY BALL	(970) 871.2282
ATMOS ENERGY	DON CRANE	(970) 879.3223
CENTURY LINK	JASON SHARPE	(970) 328.8290
COMCAST	ANDY NEWBY	(303) 547.4584
UTILITY NOTIFICATION CTR. OF CO	N/A	(800) 922.1987

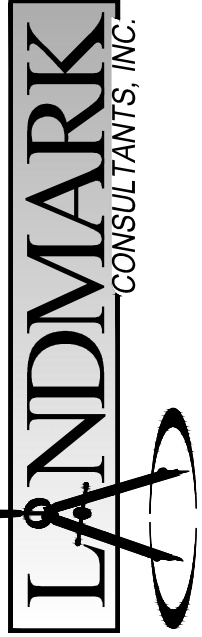
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CIVIL ENGINEERS | SURVEYORS
141 9th Street -- P.O. Box 774943
Steamboat, Colorado 80477
(970) 871-9494
www.LANDMARK-CO.com



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NO.	DATE	BY	DESCRIPTION
	6/14/2022	MG	REVISIONS PER DESIGN DEVELOPMENT

PROJECT:	1012-048
DATE:	6/18/2021
CONTACT:	Erik Griepentrog
EMAIL:	erikg@landmark-co.com

RCRBD
Reviewed
for
Code
Compliance
07/30/2025

GREEN HORN RANCH
Cover

SHEET
C.001

DRAWING FILENAME: P:\115-046\DWG\Proposals - Drawing\115-046-02-C.000-Note-001.dwg LAYOUT NAME: C.000 DATE: Jan 10, 2022 - 4:49PM CAD OPERATOR: Maf
LIST OF REVISIONS: (4/20/2021) (4/20/2021) (4/20/2021) (4/20/2021)

GENERAL NOTES

1. TOPOGRAPHIC AND EXISTING CONDITIONS PER CITY GIS DATA AND SUPPLEMENTED WITH LANDMARK CONSULTANTS, INC. ARCHIVED SURVEY FIELD DATA. LANDMARK IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS AND/OR PROPERTY INFORMATION (INCLUDING EASEMENTS AND ENCUMBRANCES) AND THE OWNER ASSUMES ALL RISK WITH COMPLYING WITH THE LEGAL REQUIREMENTS OF THIS PROJECT.
2. CITY OF STEAMBOAT SPRINGS PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS, DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
3. ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
4. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF STEAMBOAT SPRINGS TECHNICAL SPECIFICATIONS (MARCH, 2016 EDITION), THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" BY THE COLORADO DEPARTMENT OF TRANSPORTATION, (2017 EDITION), AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS A DIRECT CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
5. ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE MOUNT WERNER WATER STANDARD SPECIFICATIONS FOR WATER AND WASTEWATER UTILITIES, CURRENT EDITION STANDARDS AND SPECIFICATIONS.
6. ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AS REQUIRED MUST BE OBTAINED IN ORDER TO PERFORM THE WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DEWATERING PERMIT, STORM WATER QUALITY PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE APPLICABLE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
7. PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970.671.1807 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE CITY RIGHT-OF-WAY BETWEEN NOVEMBER 1 - APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.
8. PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED OBSTRUCTION PERMIT MUST BE ISSUED BY CITY CONSTRUCTION SERVICES FOREMAN.
9. PRIOR TO START OF CONSTRUCTION A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE APPROPRIATE CONTRACTORS, ENGINEER, SURVEYOR, TESTING COMPANY, AFFECTED AGENCIES AND KEY SUBCONTRACTORS A MINIMUM OF 48-HOURS PRIOR TO THE START OF WORK.
10. THE LOCAL ENTITY AND ENGINEER SHALL BE NOTIFIED AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS. PRIOR TO MAKING ANY CHANGES TO THE APPROVED PLANS, IT IS THE APPROPRIATE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ENGINEER.
11. COORDINATE WITH THE PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. PRIOR TO MAKING ANY CHANGES TO THE APPROVED PLANS, IT IS THE APPROPRIATE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ENGINEER.
12. PROVIDE THE OWNER, ENGINEER, THEIR CONSULTANTS, INDEPENDENT TESTING LABORATORIES, ANY GOVERNMENTAL AGENCIES WITH JURISDICTIONAL INTERESTS, OTHER REPRESENTATIVES AND PERSONNEL, ACCESS TO THE SITE AND THE WORK AT REASONABLE TIMES FOR THEIR OBSERVATION, INSPECTING, AND TESTING. PROVIDE THEM PROPER AND SAFE CONDITIONS FOR SUCH ACCESS AND ADVISE THEM OF THE DEVELOPER'S SITE SAFETY PROCEDURES AND PROGRAMS SO THAT THEY MAY COMPLY THEREWITH AS IS APPLICABLE. COORDINATE WITH THE PROJECT ENGINEER SO THAT INSPECTING AND TESTING ARE PROVIDED AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO AFFIRM THAT WORK WAS COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THESE APPROVED PLANS.
13. NO WORK MAY COMMENCE WITHIN ANY IMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR APPROPRIATE CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE. SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. PROVIDE ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
14. SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) FOR REVIEW AND APPROVAL BY THE CITY CONSTRUCTION SERVICES FOREMAN PRIOR TO START OF CONSTRUCTION. THE CSMP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
15. ALL CONTRACTORS ARE SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH / IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
16. FIELD LOCATE AND VERIFY ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS. IF A CONFLICT EXISTS AND/OR AN OBSTACLE MOVING DURING CONSTRUCTION IS IDENTIFIED, THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
17. ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OR OTHER PAVED AREAS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK INCLUDING, GRAVELS, PAVEMENTS, CURB AND GUTTER ABOVE THE SUBGRADE IS CONSIDERED FINAL. STAGE WORK. ALL SERVICE LINES MUST BE STUBBED BEYOND THE ROAD PLATFORM OR TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
18. COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. CONTACT, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
19. NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE UTILITY PROVIDERS ARE NOTIFIED. NOTIFICATION SHALL BE A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK AT THE DISCRETION OF THE WATER UTILITY PROVIDER. A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
20. PROTECT ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.

21. WHEN APPLICABLE, THE DEVELOPER AND/OR CONTRACTOR SHALL HAVE ONSITE AT ALL TIMES, EACH OF THE FOLLOWING:
- BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
 - UP TO DATE STORMWATER MANAGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
 - ONE (1) SIGNED COPY OF THE APPROVED PLANS
 - ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
 - A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.

23. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
24. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
25. PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.
27. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS OR ELEVATIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE PROVIDED DIMENSION ON THE AS-BUILT RECORD DRAWINGS. CONTOURS ARE NOT SUITABLE FOR CONSTRUCTION LAYOUT.
28. SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, GRADE RESTRICTED UTILITIES SUCH AS STORM SEWER AND SANITARY SEWER, SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
29. EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
30. THESE CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE AHI. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
31. ALL CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
32. THE CONTRACTOR AGREES THAT BY COMMENCING CONSTRUCTION THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO THE SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD T THE ENGINEER, AND THE GOVERNING AGENCIES AND THE OFFICERS, DIRECTORS, PARTNERS, EMPLOYEES, AGENTS AND OTHER CONSULTANTS OF EACH AND ANY OF THEM HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER, THE ENGINEER, OR THE GOVERNING AGENCIES.
33. NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERING ANY CONFLICTS OR OTHER PROBLEMS IN CONFORMING TO THE APPROVED CONSTRUCTION DRAWINGS, SPECIFICATIONS OR DETAILS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO PROCEEDING WITH ITS CONSTRUCTION.
34. COORDINATE THE INSTALLATION OR RELOCATION OF THE DRY UTILITY COMPANY'S FACILITIES. COST OF THE DRY UTILITY WORK SHALL BE BORNE BY THE OWNER, EXCEPT AS INDICATED IN THE PLANS AND SPECIFICATIONS.

35. PRESERVE PRIVATE AND PUBLIC PROPERTY AND PROTECT IT FROM DAMAGE THAT MAY RESULT FROM CONSTRUCTING THESE PROPOSED IMPROVEMENTS.
36. ACCESS TO ALL ADJACENT PROPERTIES AND FACILITIES SHALL BE MAINTAINED AT ALL TIMES. REQUIRED INTERRUPTION OF ACCESS SHALL BE COORDINATED WITH THE PROPERTY AND PROJECT OWNERS.
37. IF HAZARDOUS MATERIAL, OR SUSPECT MATERIAL, IS ENCOUNTERED NOTIFY THE OWNER AND ENGINEER BEFORE CONTINUING WORK. HAZARDOUS MATERIALS SHALL BE REMOVED AS REQUIRED.
38. THE APPROPRIATE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SOURCE OF CONSTRUCTION WATER FOR USE ON THIS PROJECT.
39. EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND HANDLED IN ACCORDANCE TO ALL RULES AND REQUIREMENTS. A SEPARATE PERMIT MAY BE REQUIRED AND SHALL BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION.
40. OFFSITE AND ADJACENT SITE DATA IS FOR REFERENCE PURPOSES ONLY.
41. ALL LANDSCAPING, REVEGETATION AND WETLANDS REQUIREMENTS DESIGN BY OTHERS. ALL DISTURBED AREAS ARE TO BE REVEGETATED UNLESS OTHERWISE NOTED.
42. ENSURE THAT WORK FOR THIS PROJECT BE PERFORMED BY CONTRACTORS (INCLUDING CONTRACTOR'S EMPLOYEES AND AGENTS) POSSESSING THE SKILLS, EXPERTISE AND UNDERSTANDING OF ALL APPLICABLE CODES, SPECIFICATIONS, STANDARDS AND MANUFACTURER REQUIREMENTS. BY COMMENCING WORK, THE CONTRACTORS REPRESENT THAT THEY UNDERSTAND AND ACCEPT THIS REQUIREMENT.
43. ALL CONSTRUCTION ACTIVITIES AND DISTURBANCES SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.

CONSTRUCTION NOTES

A. GRADING AND DRAINAGE

44. NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH ISSUED PERMITS.
45. VEGETATED SLOPES GREATER THAN 3:1 REQUIRE SOIL STABILIZATION.
46. CLEAN ALL INSTALLED CULVERTS AND STORM SEWERS PRIOR TO SUBSTANTIAL COMPLETION INSPECTIONS.
47. LENGTHS SHOWN ON PLANS ARE HORIZONTAL LENGTHS FROM CENTER OF MANHOLE TO CENTER OF MANHOLE OR TO THE END OF THE FLARED END SECTIONS, ACTUAL LENGTHS MAY VARY.
48. SLOPES ARE CALCULATED FROM INSIDE EDGE OF MANHOLE/STRUCTURE TO INSIDE EDGE OF MANHOLE/STRUCTURE.
49. IMPERVIOUS CLAY DAMS ARE REQUIRED IN TRENCH AT 50-FT INTERVALS AND AT CHANGES IN PIPE DIRECTION AND/OR AT PIPE JUNCTIONS FOR ALL DRAINAGE STRUCTURES.
50. MINIMUM RECOMMENDATIONS (TO BE CONFIRMED OR REPLACED BY GEOTECHNICAL ENGINEER): PROPOSED FILL AREAS WHERE PAVEMENT OR SITE CONCRETE IS ANTICIPATED SHOULD BE PREPARED BY STRIPPING EXISTING TOPSOIL AND ORGANIC MATERIALS. SCARIFICATION TO A DEPTH OF AT LEAST 6 INCHES AND COMPACTION TO MINIMUM VALUES GIVEN BELOW. MOISTURE CONDITIONING MAY BE REQUIRED TO ATTAIN STABILITY AND MINIMUM COMPACTION.

SITE FILLS AND TRENCH BACKFILL SHOULD CONSIST OF APPROVED ON-SITE OR IMPORTED MATERIALS. FILLS SHOULD BE UNIFORMLY PLACED AND COMPACTED IN 6 TO 8 INCH LOOSE LIFTS TO AT LEAST 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DENSITY AND WITHIN 2 PERCENT OF THE OPTIMUM OF THE OPTIMUM MOISTURE CONTENT (ASTM D698). MOISTURE CONDITIONING OF FILL MATERIALS MAY BE REQUIRED TO ATTAIN MINIMUM COMPACTION AND STABILITY REQUIREMENTS.

51. TWO GEOTECHNICAL REPORTS FOR THIS PROJECT WERE PREPARED UNDER THE TITLE OF "GEOTECHNICAL INVESTIGATION, GREENHORN RANCH/WILDBLUE, NEW BOULEVARD ROAD, STEAMBOAT SKI RESORT, ROUTT COUNTY COLORADO" BY "NWCC" DATED "JANUARY 16, 2020", AND SUBSOIL AND FOUNDATION INVESTIGATION, THE WILD BLUE TERMINAL AND RESTAURANT, STEAMBOAT SKI RESORT, STEAMBOAT SPRINGS, COLORADO" BY "NWCC" DATED "JULY 19, 2019". AND THEIR RECOMMENDATIONS ARE HEREBY INCORPORATED HEREIN. IF A CONFLICT OR DISCREPANCY OCCURS, NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY.

B. CONSTRUCTION SITE AND STORMWATER MANAGEMENT

52. CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
53. WHEN REQUIRED THE CONTRACTOR SHALL PREPARE A STORMWATER MANAGEMENT PLAN. THE STORMWATER MANAGEMENT PLAN SHALL BE PREPARED BY A QUALIFIED PERSON WHO IS FAMILIAR WITH THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL, AND POLLUTION PREVENTION. THIS INDIVIDUAL SHOULD BE RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING, AND REVISING THE STORMWATER MANAGEMENT PLAN FOR THE DURATION OF THE PROJECT.
54. THE STORMWATER MANAGEMENT PLAN SHOULD ADDRESS INSTALLATION, INSPECTION AND MAINTENANCE OF ALL NECESSARY EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AND REMOVE EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED. WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, CLEAN UP AND REMOVE ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
55. ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND STORMWATER MANAGEMENT PLAN.
56. ENSURE THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
57. ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL, ON- OR OFF-SITE, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE OR LANDSCAPING, TO MITIGATE EROSION, UTILIZE STANDARD EROSION CONTROL TECHNIQUES DESCRIBED IN THE URBAN STORM DRAINAGE CRITERIA MANUAL, VOLUME 3 - BEST MANAGEMENT PRACTICES, AS PUBLISHED BY THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCD).

58. PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREA(S) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
59. IMMEDIATELY CLEAN UP ANY CONSTRUCTION MATERIALS INADVERTENTLY DEPOSITED ON EXISTING STREETS, SIDEWALKS, OR OTHER PUBLIC RIGHTS OF WAY, AND MAKE SURE STREETS AND WALKWAYS ARE CLEANED AT THE END OF EACH WORKING DAY.
60. ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAY SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY WATERS OF THE UNITED STATES.
61. THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT.
62. THE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

D. WATER AND SEWER NOTES

63. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER MT. WERNER WATER OR THE CITY OF STEAMBOAT SPRINGS WATER & SEWER STANDARD SPECIFICATIONS, LATEST EDITION, AS APPLICABLE.
64. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
65. MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
66. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
67. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
68. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
69. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
70. THE PARTICLE SIZE OF BEDDING AND SHADING MATERIAL SHALL BE 3/4 INCH WASHED OR SCREENED ROCK (NOT ROAD BASE OR CLASS 6) AND SHALL EXTEND THE FULL WIDTH OF THE TRENCH.
71. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.

72. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.

PROJECT NOTES:

73. AN AUTOCAD COMPATIBLE FILE WILL BE PROVIDED FOR CONSTRUCTION STAKING PURPOSES, UPON ACCEPTANCE OF LANDMARK'S CAD RELEASE POLICY.
74. IF THESE DRAWINGS ARE PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD NOT BE USED.

75. THE CONTRACTOR ACKNOWLEDGES AND UNDERSTANDS THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED WHEN IDENTIFIED. THE CONTRACTOR AGREES TO CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING T THE OWNER ANY DEFICIENCIES THE CONTRACTOR MAY DISCOVER. THE CONTRACTOR FURTHER AGREES TO REQUIRE EACH SUBCONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND REPORT AT ONCE ANY DEFICIENCIES DISCOVERED.

THE CONTRACTOR SHALL RESOLVE ALL REPORTED APPLICABLE DEFICIENCIES WITH LANDMARK PRIOR TO AWARDDING ANY SUBCONTRACTS OR STARTING ANY WORK WITH THE CONTRACTORS OWN EMPLOYEES. IF ANY DEFICIENCIES CANNOT BE RESOLVED BY THE CONTRACTOR WITHOUT ADDITIONAL TIME OR ADDITIONAL EXPENSES, THE CONTRACTOR SHALL SO INFORM THE OWNER IN WRITING. ANY SUCH ADDITIONAL WORK PERFORMED PRIOR TO RECEIPT OF INSTRUCTIONS FROM THE OWNER WILL BE DONE AT THE CONTRACTOR'S RISK.

CONSTRUCTION PHASE SERVICES:

IT IS UNDERSTOOD AND AGREED THAT LANDMARK DOES NOT HAVE AN OBLIGATION TO CONDUCT CONSTRUCTION OBSERVATION OR REVIEW OF THE CONTRACTOR'S PERFORMANCE OR ANY OTHER CONSTRUCTION PHASE SERVICES, AND THAT SUCH SERVICES WILL BE PROVIDED FOR BY THE OWNER AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION. THE OWNER ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THESE CONSTRUCTION DOCUMENTS AND FOR CONSTRUCTION OBSERVATION AND THE OWNER WAIVES ANY CLAIMS AGAINST LANDMARK THAT MAY BE IN ANY WAY CONNECTED THERETO.

IN ADDITION, THE OWNER AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LANDMARK, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS (COLLECTIVELY, LANDMARK) AGAINST ALL DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF SUCH SERVICES BY OTHER PERSONS OR ENTITIES AND FROM ANY AND ALL CLAIMS ARISING FROM MODIFICATIONS, CLARIFICATIONS, INTERPRETATIONS, ADJUSTMENTS OR CHANGES MADE TO THESE CONSTRUCTION DOCUMENTS TO REFLECT CHANGED FIELD OR OTHER CONDITIONS, EXCEPT FOR CLAIMS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF LANDMARK.

ABBREVIATIONS

ADA	AMERICAN'S WITH DISABILITIES ACT
APR	APPROXIMATE
BMP	BEST MANAGEMENT PRACTICE
BOT	BOTTOM
BVCS	BEGIN VERTICAL CURVE STATION
BVCE	BEGIN VERTICAL CURVE ELEVATION
BW OR BOW	BOTTOM OF WALL
C&C	CUT & CAPPED
CAP	CORRUGATED ALUMINUM PIPE
CIP	CAST-IN-PLACE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
C.O.	CLEAN OUT
CP	CONCRETE PIPE
CSP	CORRUGATED STEEL PIPE
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
EG	EXISTING GROUND
EL	ELEVATION
EOA OR EA	EDGE OF ASPHALT
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAYEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
F&G	FRAME & GRATE
F&C	FRAME & COVER
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
FI	FIRE HYDRANT
FL	FLOW LINE
FG	FINISH GRADE
FSGBW	FINISH GRADE AT BOTTOM OF WALL
GB	GRADE BREAK
GFFE	GARAGE FINISH FLOOR ELEVATION
GTD	GRADE TO DRAIN
HDPE	HIGH DENSITY POLYETHYLENE PIPE
INV	INVERT
LBS	POUNDS
LOC	LIMITS OF DISTURBANCE
ME/P	MECHANICAL, ELECTRIC, AND PLUMBING
MAX	MAXIMUM
ME	MATCH EXISTING
MH	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
NAP OR N.A.P.	NOT A PART (NOT INCLUDED IN SCOPE)
NTS	NOT TO SCALE
OFF	OFFSET
PC	POINT OF CURVE
PI	POINT OF INTERSECTION
PCC	POINT OF CONCAVE CURVE
PLDP	POROUS LANDSCAPE DETENTION POND
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENT
PVC	POINT OF VERTICAL CURVE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENT
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
REQ	REQUIRED
ROW	RIGHT OF WAY
STA	STATION
TB	THRUST BLOCK
TBC	TOP BACK OF CURB
TBR	TO BE REMOVED
TG	TOP OF GRATE
TOP	TOP OF PIPE
TGT	TAPERED TO GRADE
TW OR TOW	TOP OF WALL
TYP	TYPICAL
VCP	VITRIFIED CLAY PIPE
VOL	VOLUME
WI	WITH

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GREEN HORN RANCH
Notes
General

SHEET

C.002

These drawings are for informational purposes only. They are not to be used for construction or other purposes without the written consent of Landmark Consultants, Inc. and are not to be used for construction or other purposes without the written consent of Landmark Consultants, Inc.

DESCRIPTION

REVISIONS PER DESIGN DEVELOPMENT

BY:

DATE:

NO.

PROJECT:

DATE:

CONTACT:

EMAIL:

Fire plan- Steamboat has a fire plan (Appendix F) which outlines preventative measures and responses related to fire mitigation. Additionally, this plan outlines necessary measures for exemptions to Stage 2b fire restrictions for welding and using vehicles off-road. This operating plan and authorized officer approval of the plan equates to the requirement that an exemption must be applied for in writing, include an appropriate mitigation plan (see Appendix) and must be authorized in writing by the appropriate Forest Service official.

Fire, Health & Sanitation Plan- The Colorado Department of Health, Routt County Building Department, Environmental Health Department, Steamboat Springs Rural Fire Protection District, as well as SSRC's insurance companies (both property and worker's compensation carriers) actively inspect the facilities and operations owned by SSRC. SSRC maintains a separate file of all fire inspections in the Facilities Maintenance offices, health and sanitation inspections in the Food & Beverage offices and other safety reviews in Office of the Risk Manager. These files are available for inspection by the Forest Service administering offices. As a function of Hahns Peak/Bear's Ears District's monitoring role of the Special Use Permittee, Forest Service representatives may from time to time participate in insurance and/or regulatory agency inspections and reviews.

Law Enforcement- The USFS is responsible for enforcing National Forest regulations as established in Title 36, Code of Federal Regulations.


- ## 7. Vegetation Management

Trees that pose a safety concern to guests and infrastructure are authorized for removal.

Trees are authorized to be planted or transplanted following consultation with Forest Service botanist (Permit III G).

Herbicide and pesticide use required annual written approval (Permit V E). This operating plan authorizes the use of: Kernight (6oz/gallon), Curtail (2oz/gallon), 2-4-D (16oz 2-4-D, 4 grams Escort, splash of Activator 90 per 20 gallons).

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SHEET

C.004

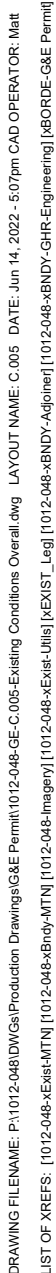
These drawings are instruments of service provided by Landmark Consultants, Inc. and are not to be used for any type of construction or contracting unless signed and sealed by a Professional Engineer in the employ of Landmark Consultants, Inc.

PROJECT:		1012/048	BY:		DESCRIPTION:
DATE:		6/18/2021	MG		REVISIONS PER DESIGN DEVELOPMENT
CONTACT:		Erik Griepentrog			
EMAIL:		erikg@landmark.co.com			

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Steamboat Springs, Colorado 80477
(970) 871-9494
www.LANDMARK-CO.com





- [illegible]

FLOOD HAZARD LIMITS

30-FT WATER BODY SETBACK

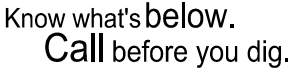
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FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT
COUNTY, COLORADO.
2. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINE
AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS,
RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO
GRANT THE SAME.
3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH
RECORD INFORMATION, IF MORE ACCURATE LOCATIONS OF UNDERGROUND
UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD
POTHOLING. LANDMASTER CONSULTANTS, INC. AND THE SURVEYOR OF RECORD
SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO LOCATE
THE LOCATION OF NON-VISIBLE UTILITIES.
4. BASIS OF BEARINGS: THE NORTH LINE OF SECTION 27, T6N, R84W, 614 P.M., BEING
MONUMENTED AS SHOWN HEREON AND BEING ASSUMED TO BEAR N86°54'01"E.
BEARINGS SHOWN HEREON HAVE BEEN ROTATED FROM RECORD BEARINGS.
5. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND
SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO
(2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-64-506, C.R.S.
6. THIS SITE CONTAINS A CALCULATED AREA OF 173.88 ACRES.
7. A PORTION OF THE SITE IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREA ZONE A
OF THE UNNAMED TRIBUTARY TO BURGESS CREEK AS DETERMINED BY FEMA
FLOOD INSURANCE RATE MAP NUMBER 80107 C0883D, WITH AN EFFECTIVE DATE OF
FEBRUARY 4, 2005 AND LOMR 18-09-0922P.
8. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
9. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
10. WETLAND LIMITS PROVIDED BY SSRG.

PROPERTY DESCRIPTION

11. PARCEL XV AS DESCRIBED IN THAT SPECIAL WARRANTY DEED RECORDED IN BOOK 646 AT PAGE 476 IN THE ROUTT COUNTY RECORD;
EXCEPTING THEREFROM THE NORTHERLY 10 ACRES OF THE SE¼ OF THE NE¼ OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST, 6TH P.M.;

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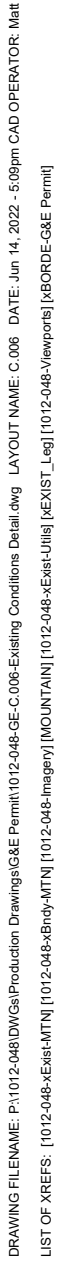
PROJECT:	NO.	DATE:	BY:	DESCRIPTION:
	1012.048	6/14/2022	MG	REVISIONS PER DESIGN DEVELOPMENT
DATE:	6/19/2021			
CONTACT:	Erin Griespenhoff			
EMAIL:	erimg@landmark-co.com			

GREEN HORN RANCH

Existing Conditions - Overall

SHEET

C.005



- PROPERTY BOUNDARY
ADJACENT PROPERTY BOUNDARY
EASEMENT
SECTION LINE
CENTERLINE
FOUND MONUMENT
FOUND SECTION CORNER
BUILDING
FENCE
MAJOR CONTOUR
MINOR CONTOUR
FEMA SPECIAL FLOOD HAZARD AREA
30-FT WATER BODY SETBACK
WATERCOURSE PER CDC SECTION 802
SIGN
SANITARY SEWER
SANITARY SEWER MANHOLE AND CLEANOUT
WATER LINE
FIRE HYDRANT, GATE VALVE & CURB STOP
GAS
GAS METER AND MANHOLE/VAULT
CABLE
CABLE PEDESTAL
FIBER OPTIC
TELEPHONE
TELEPHONE PEDESTAL AND MANHOLE/VAULT
ELECTRIC
ELECTRIC PED, JUNCTION BOX AND METER
LIGHT POLE AND LIGHT POLE W/ MAST
OVERHEAD
UTILITY POLE AND GUY WIRE
WETLANDS (PROVIDED BY SSRG)
DITCH/SWALE
CULVERT W/ END SECTIONS
INLET AND STORM MANHOLE
FLOW ARROW
CONIFEROUS AND DECIDUOUS TREE

FLOOD HAZARD LIMITS

30-FT WATER BODY SETBACK

NOTES:

1. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTE COUNTY, COLORADO.
2. EASEMENTS IF MORE DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECENT INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POTHOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD WILL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
4. BASIS OF BEARINGS: THE NORTH LINE OF SECTION 27, T6N, R84W, 6TH P.M., BEING RECONCILED AS SHOWN HEREON AND BEING ASSUMED TO BEAR N89°54'01"E, BEARINGS SHOWN HEREON HAVE BEEN ROTATED FROM RECORD BEARINGS.
5. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
6. THIS SITE CANNOT A CALCULATED AREA OF 173.88 ACRES.
7. A PORTION OF THE TRACT IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREA ZONE A OF THE UNNAMED TRIBUTARY TO BURGESS CREEK AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 08107C0883D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005 AND LOMR 18-08-0922P.
8. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
9. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
10. WETLAND LIMITS PROVIDED BY SSRC.

PROPERTY DESCRIPTION:

11. PARCEL XV AS DESCRIBED IN THAT SPECIAL WARRANTY DEED RECORDED IN BOOK 646 AT PAGE 476 IN THE ROYAL COUNTY RECORD;
EXCEPTING THEREFROM THE NORTHERLY 10 ACRES OF THE SE¼ OF THE NE¼ OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST, 6TH P.M.;

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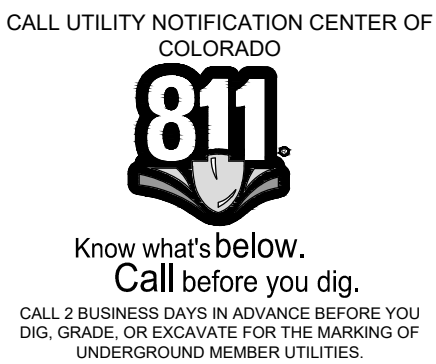
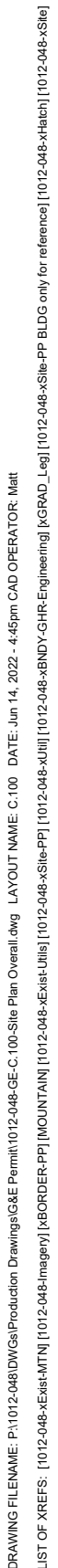
PROJECT:	1012-048
DATE:	6/19/2021
CONTACT:	Erik Griepentrog
EMAIL:	erikg@landmark-co.com







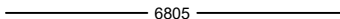












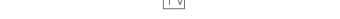









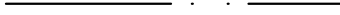










GREEN HORN RANCH

Existing Conditions - Detailed

SHEET

C.006



PROPERTY BOUNDARY	
EASEMENT	
SECTION LINE	
FOUND MONUMENT	
FOUND SECTION CORNER	
FENCE	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
ASPHALT	
CONCRETE	
GRAVEL	
SIGN	
PROPOSED SANITARY SEWER W/ MH	
EXISTING SANITARY SEWER W/ MH	
PROPOSED WATER	
PROPOSED GV, FH & CS	
EXISTING WATER	
GAS	
GAS METER AND MANHOLE/VAULT	
CABLE	
CABLE PEDESTAL	
FIBER OPTIC	
TELEPHONE	
TELEPHONE PEDESTAL AND MANHOLE/VAULT	
ELECTRIC	
ELECTRIC PED. JUNCTION BOX AND METER	
LIGHT POLE AND LIGHT POLE W/ MAST	
OVERHEAD ELECTRIC	
UTILITY POLE AND GUY WIRE	
DITCH/SWALE	
EXISTING STORM SEWER W/ FES	
PROPOSED STORM SEWER W/ FES	
INLET AND STORM MANHOLE	
OVERLAND AND CHANNEL FLOW ARROWS	
CONIFEROUS AND DECIDUOUS TREE	
FLOOD HAZARD LIMITS	
30-FT WATER BODY SETBACK	
WATERCOURSE PER CDC SECTION 802	

1. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
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3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL BE VERIFIED BY FIELD POT-HOLING, LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
4. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR MARK NUMBER OR FOR NECESSARY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18A-508, C.R.S.
5. THIS SITE CONTAINS A CALCULATED AREA OF 173.88 ACRES.
6. A PORTION OF THE SITE IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREA ZONE A OF THE UNNAMED TRIBUTARY TO CROWN CREEK AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 170900393D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005 AND LOMR 18-08-0922P.
7. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.

PROPERTY DESCRIPTION:

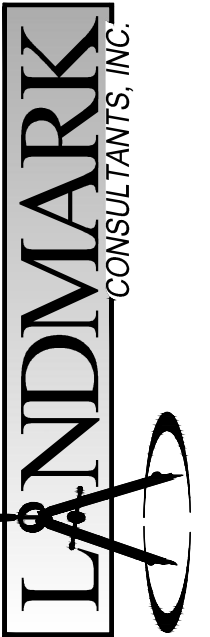
15. PARCEL VA AS DESCRIBED IN THAT SPECIAL WARRANTY DEED RECORDED IN BOOK 646 AT PAGE 476 IN THE ROUTT COUNTY RECORD;
16. A CERTAIN INTEREST HERETOFORELY OWNED BY THE S&B OF THE N&E¼ OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST, 6TH P.M.;

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NO.	DATE	BY:	DESCRIPTION:
	6/14/2022	MG	REVISIONS PER DESIGN DEVELOPMENT
CONTACT: Erik Gripenhög			
EMAIL: erikg@lindmak-co.com			

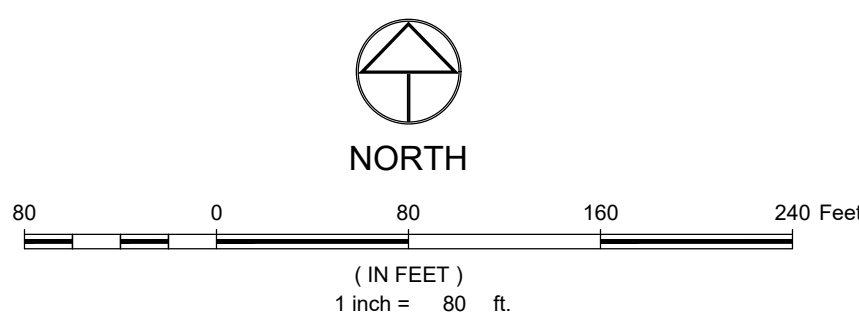
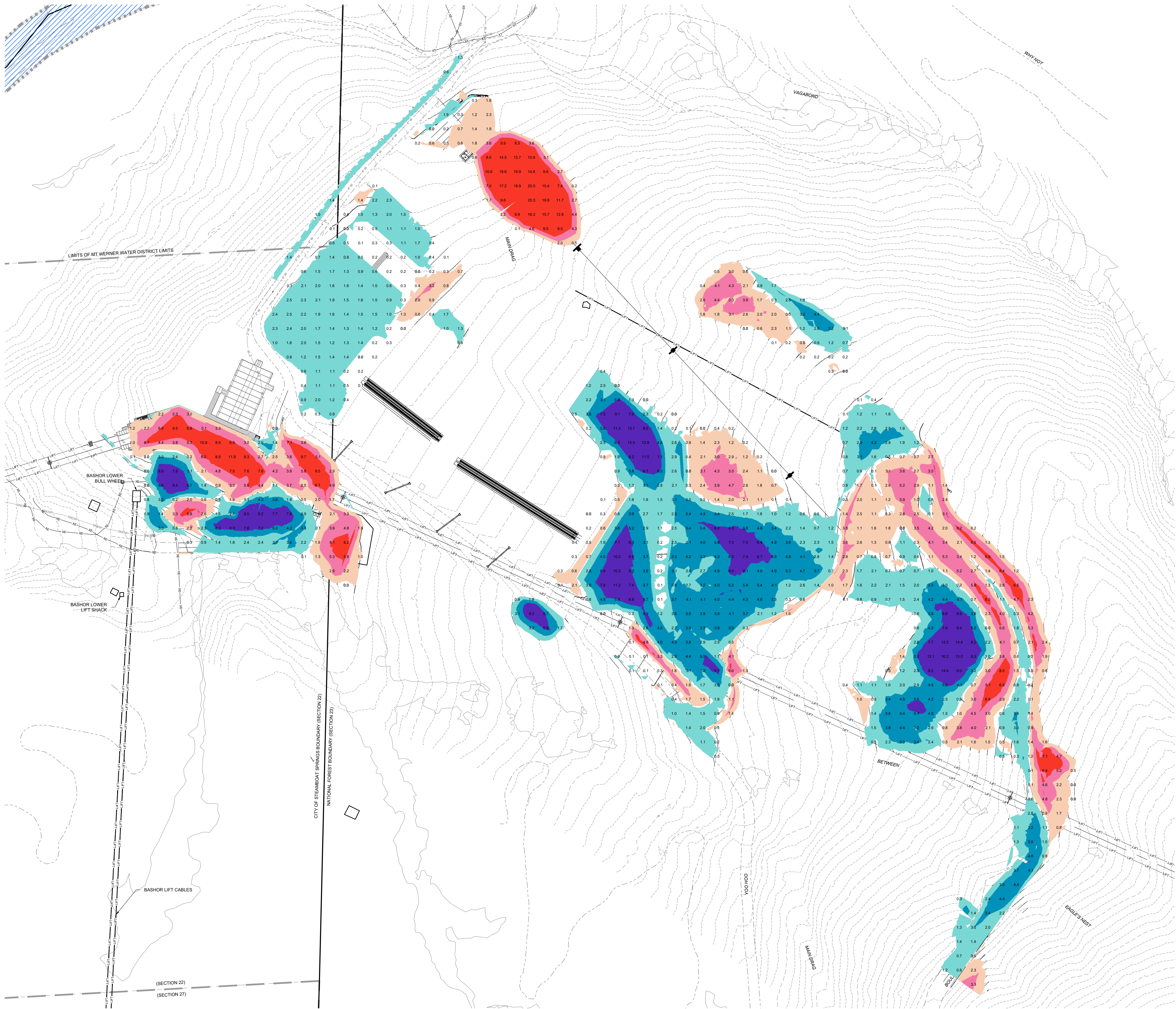
GREEN HORN RANCH

Site Plan

SHEET

C.100

DRAWING FILENAME: P:\113-346\DWG\Proposed Grading\113-346-02-C310-Grading\113-346-02-C310-Grading.dwg DATE: JAN 14, 2022 4:40PM CAD OPERATOR: MAM
LIST OF REVISIONS: 1/17/2022 Erik Griepenthoop 113-346-02-C310-Grading.dwg 113-346-02-C310-Grading.dwg 113-346-02-C310-Grading.dwg 113-346-02-C310-Grading.dwg

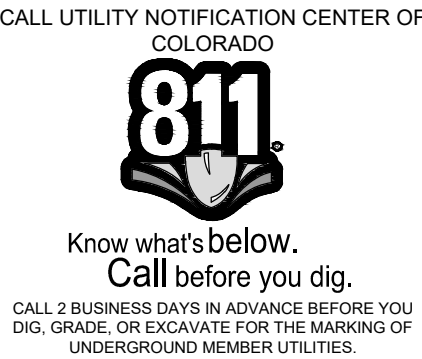


LEGEND:

- EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET (CURB & AREA)
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED SWALE
 - PROPOSED CURB & GUTTER
 - PROPERTY BOUNDARY
 - PROPOSED LOT LINE
 - EXISTING RIGHT OF WAY
-
- PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - PROPOSED OVERLAND FLOW DIRECTION W/SLOPE
 - PROPOSED CHANNELIZED FLOW DIRECTION W/ SLOPE
 - EXISTING CHANNELIZED FLOW DIRECTION
 - FLOOD HAZARD LIMITS
 - 30-FT WATER BODY SETBACK
-
- FILL - 6'+
 - FILL - 3' - 6'
 - FILL - 6" - 3'
 - CUT - 6' - 3'
 - CUT - 3' - 6'
 - CUT - 6"+

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM: NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.



GREEN HORN RANCH

Grading Cut-Fill Heatmap

SHEET
C.310

CIVIL ENGINEERS | SURVEYORS

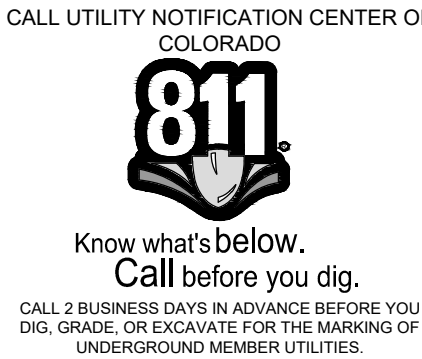
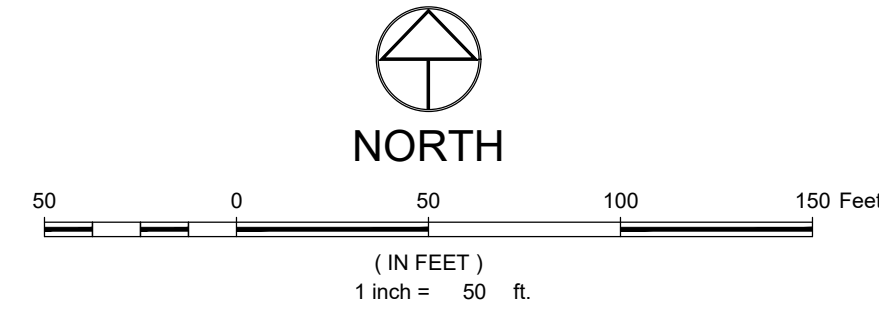
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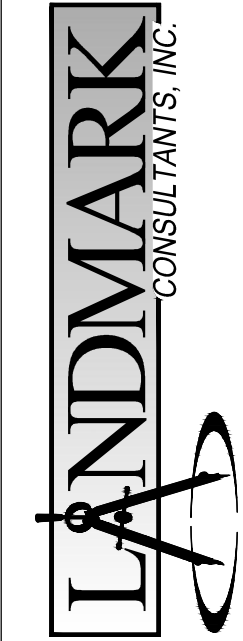
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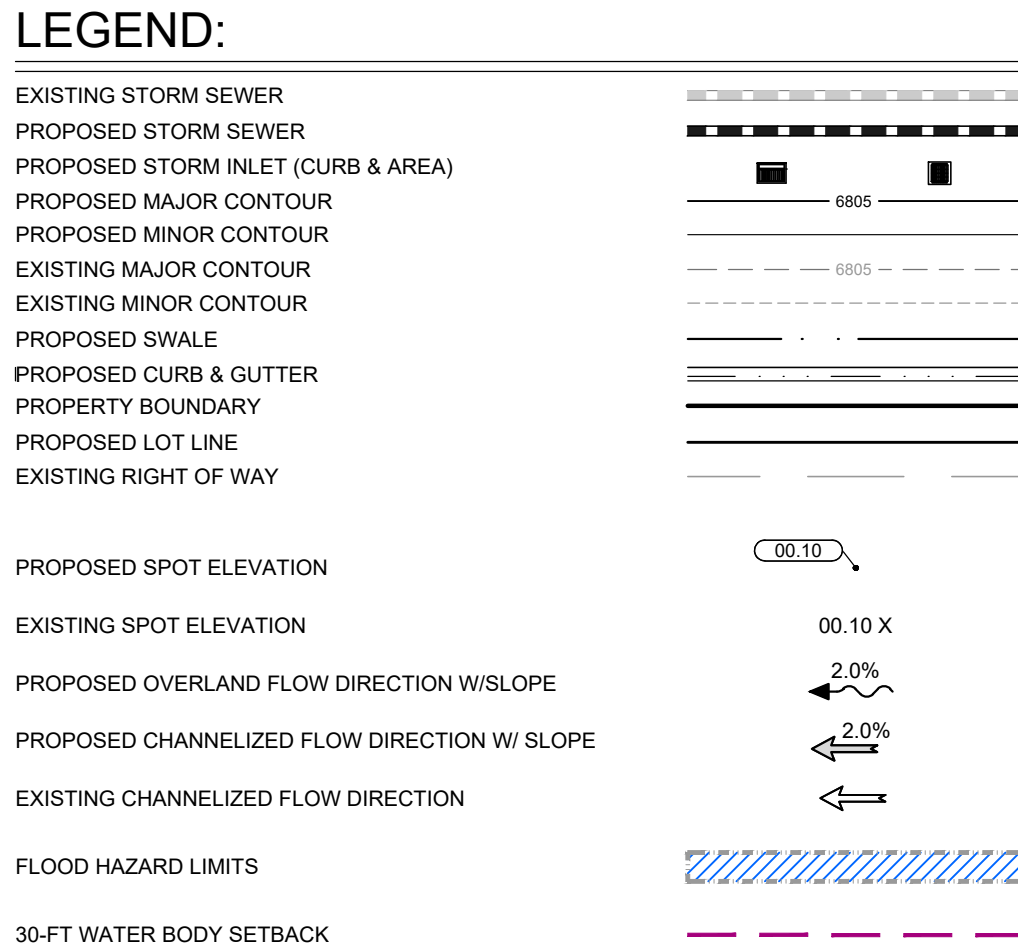
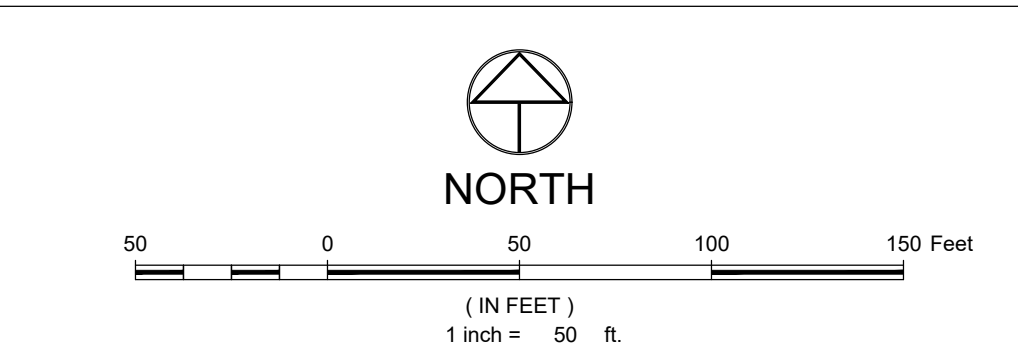
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NO.	DATE:	BY:	DESCRIPTION:
	6/14/2022	MG	REVISIONS PER DESIGN DEVELOPMENT

PROJECT:	1015-048
DATE:	6/18/2021
CONTACT:	Erik Griepentrog
EMAIL:	erikg@landmark-co.com

GREEN HORN RANCH
Roadway Plan
Boulevard

SHEET
C.410



1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM: NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.

Know what's below.
Call before you dig.
2 BUSINESS DAYS IN ADVANCE BEFORE
GRADE, OR EXCAVATE FOR THE MARK
UNDERGROUND MEMBER UTILITIES



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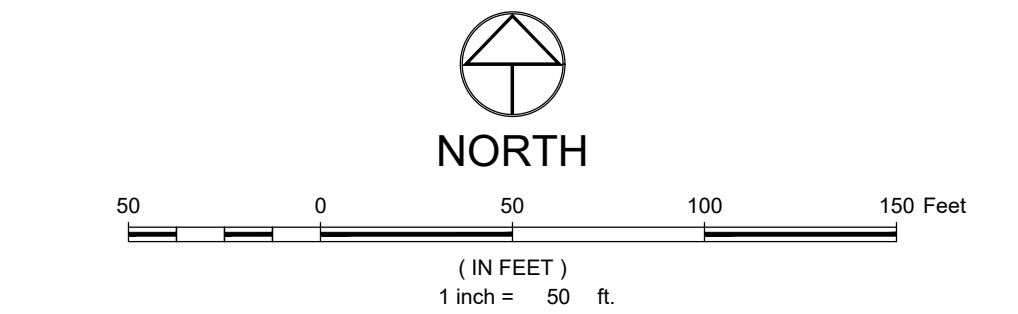
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PROJECT:	1012.048	NO.	DATE:	BY:	DESCRIPTION:
DATE:	6/18/2021		6/14/2022	MG	REVISIONS PER DESIGN DEVELOPMENT
CONTACT:	Erk Giespen@log				
EMAIL:	erkg@landmark-co.com				

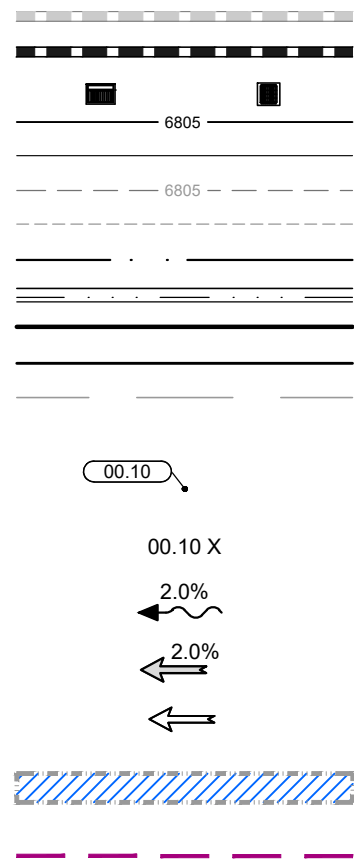
GREEN HORN RANCH Roadway Profile Boulevard

SHEET

C.411



EXISTING STORM SEWER
PROPOSED STORM SEWER
PROPOSED STORM INLET (CURB & AREA)
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPOSED SWALE
PROPOSED CURB & GUTTER
PROPERTY BOUNDARY
PROPOSED LOT LINE
EXISTING RIGHT OF WAY



1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM; NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FEATURES SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT MAY REQUIRE ADJUSTMENT BASED ON ACTUAL FIELD CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
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NO.	DATE:	BY:	DESCRIPTION:
PROJECT:	10/2/08		
	6/14/2022	MG	REVISIONS PER DESIGN DEVELOPMENT
DATE:	6/16/2021		
CONTACT:	Eric Griepentrog		
EMAIL:	erikg@unimark-co.com		

GREEN HORN RANCH
Roadway Cross-Sections
Boulevard

SHEET

C.412

