

A New Two-Family Dwelling for

APEX
ARCHITECTURE

PO BOX 771787
STEAMBOAT SPRINGS, CO 80477
PH: 720-934-9960
adams@apex-architect.com



BEAR CLAW DUPLEX
A New Two-Unit Building for
T.B.D. SKI TRAIL LANE
LOT 11A, BEAR CLAW ESTATES SUBD
ROUFT COUNTY, COLORADO

* CITY OF
STEAMBOAT SPRINGS



GEOTECHNICAL
NORTHWEST COLORADO CONSULTANTS, LLC
2580 COPPER RIDGE DRIVE
P.O. BOX 775226
STEAMBOAT SPRINGS, CO 80477
PH: 970-879-7888
FAX: 970-879-7891
CONTACT: TIM TRAVIS

FOUR POINTS SURVEYING AND ENGINEERING
440 S. LINCOLN AVE, SUITE 4B
P.O. BOX 775966
STEAMBOAT SPRINGS, CO 80477
PH: 970-871-6772
CONTACT: WALTER MAGILL

APEX ARCHITECTURE, PC
P.O. BOX 771787
STEAMBOAT SPRINGS, CO 80477
PH: 720-934-9960
CONTACT: BRIAN ADAMS

STRUCTURAL
CRAIG FRITHSEN ENGINEERING, LLC
P.O. BOX 772759
STEAMBOAT SPRINGS, CO 80477
PH: 970-846-7980
CONTACT: CRAIG FRITHSEN

FLOOR	NAME	AREA (SF)
UNIT A		
	1ST FINISHED	1,367
	1ST MECH	105
	1ST PATIO	430
	2ND DECK	178
	2ND FINISHED	2,166
	3RD DECK	411
	3RD FINISHED	1,525
	3RD GARAGE	527
	3RD PORCH	83
	4TH FINISHED	640
	ROOF DECK	454
UNIT B		
	1ST FINISHED	1,294
	1ST MECH	110
	1ST PATIO	332
	2ND DECK	198
	2ND FINISHED	2,046
	3RD DECK	384
	3RD FINISHED	1,439
	3RD GARAGE	523
	3RD PORCH	83
	4TH FINISHED	508
	ROOF DECK	591
	TOTAL UNIT A FINISHED	5,696
	TOTAL GARAGE/MECH	632
	TOTAL UNIT B FINISHED	5,287
	TOTAL GARAGE/MECH	633

ID	SHEET TITLE	ISSUE	REV1	REV2	REV3	REV4
ARCHITECTURAL						
A0.0	COVER SHEET	•				
A0.1	NOTES/SPECIFICATIONS	•				
A1.0	EXISTING CONDITIONS SITE PLAN	•				
A1.1	SITE PLAN	•				
A1.2	CONSTRUCTION MANAGEMENT PLAN	•				
A2.0	LOWER LEVEL PLAN	•				
A2.1	MAIN LEVEL PLAN	•				
A2.2	UPPER LEVEL PLAN	•				
A2.3	ROOF DECK PLAN	•				
A2.4	ARCHITECTURAL ROOF PLAN	•				
A2.5	TRUSS DIAGRAMS	•				
A3.0	ELEVATION(S) - NORTH	•				
A3.1	ELEVATION(S) - EAST	•				
A3.2	ELEVATION(S) - SOUTH	•				
A3.3	ELEVATION(S) - WEST	•				
A3.4	MATERIAL BOARD	•				
A4.0	SECTION(S)	•				
A4.1	SECTION(S)	•				
A4.2	SECTION(S)	•				
A4.3	SECTION(S)	•				
A4.4	SECTION(S)	•				
A4.5	SECTION(S)	•				
A4.6	DETAILS	•				
A4.7	DETAILS	•				
A4.8	DETAILS	•				
A5.0	INTERIOR ELEVATION(S)	•				
A5.1	INTERIOR ELEVATION(S)	•				
A6.0	LOWER LEVEL RCP, LIGHTING LEGEND/ QUANTITIES	•				
A6.1	MAIN LEVEL RCP, ELECTRICAL NOTES	•				
A6.2	UPPER LEVEL RCP	•				
A6.3	ROOF DECK LEVEL RCP	•				
A6.4	FINISH FLOOR PLAN(S)	•				
A6.5	FINISH FLOOR PLAN(S)	•				
A7.0	DOOR SCHEDULE, PROFILE(S)	•				
A7.1	WINDOW SCHEDULE, PROFILE	•				
STRUCTURAL						
S1	FOUNDATION PLAN, STRUCTURAL NOTES	•				
S2	FOUNDATION DETAILS	•				
S2.1	FOUNDATION DETAILS	•				
S3	LOWER LEVEL FRAMING PLAN	•				
S4	MAIN LEVEL FRAMING PLAN	•				
S5	UPPER LEVEL FRAMING PLAN	•				
S6	LOWER ROOF FRAMING & DECK FRAMING PLAN	•				
S7	ROOF FRAMING PLAN	•				
S8	FRAMING DETAILS	•				

NOTES:
1.) "●" INDICATES DATE OF MOST RECENT UPDATE TO SHEET.

CODE ANALYSIS

CITY PLANNING ZONING: RR-1

BUILDING TYPE & OCCUPANCY: GROUP R-3; TYPE VB

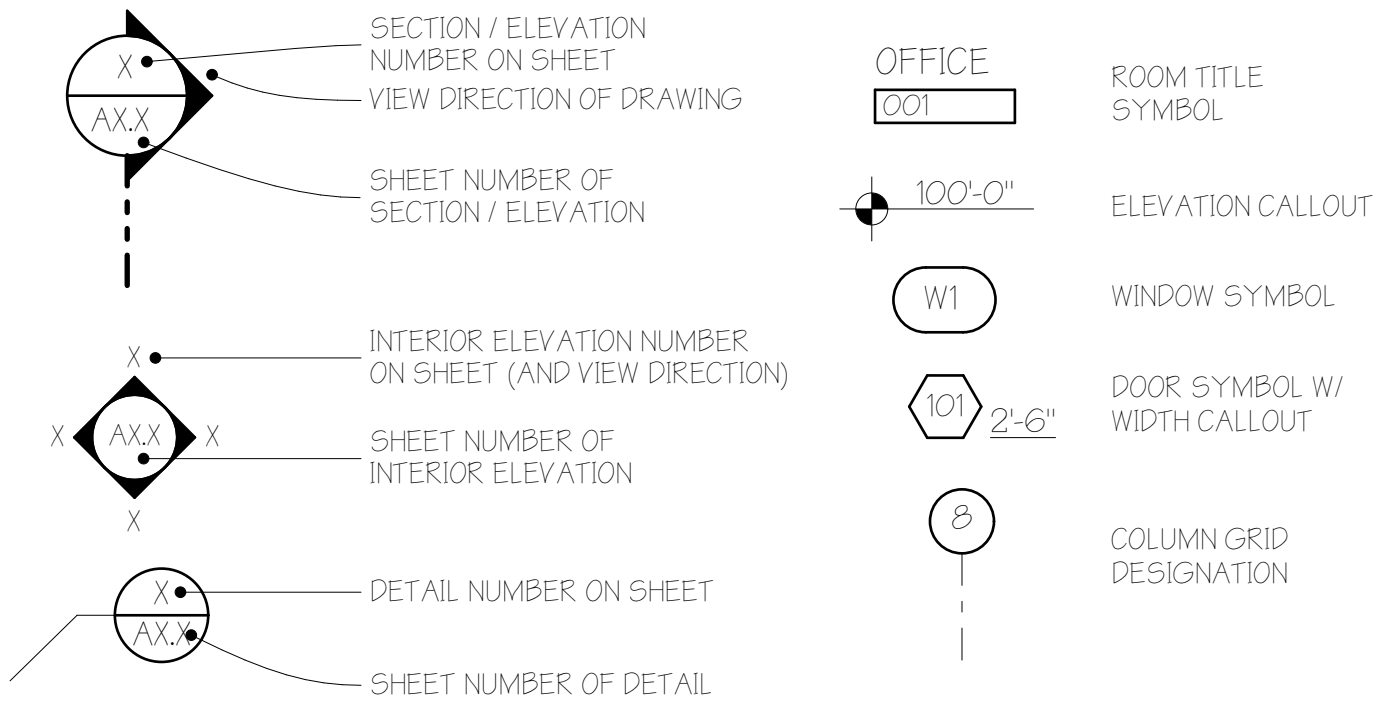
APPLICABLE CODES:
2021 INTERNATIONAL BUILDING CODE (I.B.C.)
R-3 Occupancy
312.2 Private garage, comply with Section 406.3
406.3.2.1 Dwelling Unit Separation
Private garage shall be separated from the dwelling unit and its attic area by means of gypsum board, not less than 1/2" in thickness, applied to the garage side.

420.2 Separation Walls for Group R-3
Walls separating dwelling units shall be constructed as fire partitions in accordance with Section 708
708.3 Fire-resistance rating
Fire partitions shall have a fire-resistance rating of not less than 1 hour

Table 504.3 and Table 504.4
Type VB Construction, R Occupancy
Need 60ft in height, and 4 stories, so can go S13R
S13R must meet 903.3.1.2, with is to meet NFPA 13R Automatic Sprinkler System

2021 INTERNATIONAL PLUMBING CODE (I.P.C.)
2021 INTERNATIONAL MECHANICAL CODE (I.M.C.)
2021 INTERNATIONAL EXISTING BUILDING CODE (I.E.B.C.)
2023 NATIONAL ELECTRICAL CODE (NFPA 70)
2024 ADOPTED COLORADO STATE ELECTRIC AND SOLAR READY CODE (C.S.E.S.R.C.)
2021 INTERNATIONAL ENERGY CONSERVATION CODE (I.E.C.C.)
CLIMATE ZONE: 7-DRY.
R401-R404.
(SEE MECHANICAL NOTES AND GENERAL SECTION NOTES.)

DRAWING LEGEND



MATERIAL FILLS

Fill	Name	Fill	Name
	EARTH		WOOD FRAMING
	GRAVEL FILL		DRYWALL
	STEEL BEAM		PLYWOOD SHEATHING
	CONCRETE		WOOD VENEER
	MORTAR		BATT INSULATION
	STONE/BRICK		SPRAY FOAM INSULATION
	GYPCRETE		RIGID INSULATION
	SIDING/SKIN		BLOW-IN INSULATION

SHOP DRAWING SUBMITTALS

- Garage door and applied trim design
- Entry door design and materials
- Window drawings and materials
- Insulation material specifications
- Mechanical system and layout, including ERV system
- Exterior siding materials and methods (if different than described within drawing set)
- Railing and Stair materials and design
- Pre-manufactured trusses package
- All interior cabinetry design, layout, and materials

GENERAL SPECIFICATIONS

CONSTRUCTION NOTES

- Refer to Structural Drawings for all structural requirements.
- Field measure for all cabinetwork and other built-in casework.
- Coordinate electrical outlets and switch boxes with all interior finish materials for Owner approval prior to installation.
- Provide solid blocking per I.R.C. and as backing for cabinets, shelves, fixtures, vertical paneling, hardware and miscellaneous attachments.
- Provide Bituthane "Ice & Water Guard" over entire roof sheathing. Coordinate Bituthane requirements to metal roofing areas (if any).
- Drywall Requirements
One-hour 5/8" Type "X" drywall required below Stairs and at walls and ceilings inside Garage. Provide Georgia-Pacific DensArmor Plus Interior Guard (or equal) at all walls U.N.O. Provide Duranock (or equal) over waterproof membrane at showers and tubs. Hang all drywall 5/16" from finished floor, or coordinate with flooring and baseboard conditions.
- Moisture & Vapor Barriers

Provide Tyvek ThermalWrap as building wrap behind all wood/vinyl/composite siding U.N.O. Provide (2) layers 15# felt behind all stone/stucco siding U.N.O. Contractor to provide specifications for any suggested alternatives.

Provide 6-mil vapor barrier behind all drywall or other interior finish at thermal barrier U.N.O. (Do not provide vapor barrier on insulated walls inside framed from exterior concrete foundation walls.)

Below slab provide active radon reduction system under polyethylene sheet. Provide 4"Ø PVC piping in gravels (gravels per structural). Provide electric fan in attic space with 4"Ø PVC vertical vent pipe to pull water vapor and soil off-gasses from under slab to exterior.

Exterior foundation walls shall be sealed for moisture penetration with elastomeric asphalt coating.

- Provide continuous foundation drain to daylight at perimeter footing with drain cleout(s) as required. If daylighting drain is unfeasible provide water collection area with sump pump (refer to Site Plan or verify with Architect). Protect foundation drain with granular fill prior to backfilling.

9. Exterior Windows and Doors

Per 2021 IECC Table 402.1.2, Windows to be Low-E with a maximum U-Factor 0.30. No maximum solar heat gain coefficient (SHGC) is required. Up to 15 square feet of glazed fenestration is permitted to be exempt from the U-Factor requirement.

Exterior doors must meet the window U-Factor requirements. One 24 square foot maximum size Exterior Door is exempt.

Windows, skylights and sliding glass doors to have Maximum allowable window Air Infiltration Rate or 0.3 cfm per square foot of window area. Swinging doors Air Infiltration Rate to be 0.5 cfm.

Exterior doorframes to be constructed with Framesaver. All windows to be installed per ASTM E 2112. Verify flashing with Architect.

Window and Door header framing to be set to inside face of wall framing. Fill exterior side of header cavity with foam insulation.

10. Insulation Requirements

Exterior concrete foundation walls at basement conditions to be insulated on the interior with 1" rigid insulation against foundation wall and R-13 blown-in insulation within 2x4 wood framed walls per I.E.C.C. requirements. See Architectural Sections for locations. (Optional: Min R-19 batt insulation in 2x6 walls, no rigid foam required.)

Batt Insulation (if any) to be Johns Manville Formaldehyde-free Insulation. ComfortTherm for all Walls and Attic spaces that are not Bathroom, Laundry, or those that abut concrete. MR Faced Batts for Bathroom, Laundry, and Walls that abut concrete.

Provide spray-foam insulation at all rim joist framing to a depth of 5.5", or equal to the depth of the adjoining wall framing insulation depth, whichever is greater.

Electrical boxes: Putty with non-expansive foam. Provide spray-foam insulation between exterior sheathing and box.

Exterior Window and Doors: Provide non-expansive foam around all rough openings. Provide insulated header per typical window section detail.

Access hatches and doors to unconditioned spaces are to be weather-stripped and insulated to the equivalent of the insulation on the surrounding surfaces.

Supply and return ducts (if any) shall be fully sealed (including terminations), and insulated to a minimum of R-6 per I.E.C.C. Ducts in floor trusses shall be insulated to a minimum of R-6. Exception: Ducts or portions thereof located completely inside the thermal building envelope.

See Architectural Details and/or Sections for Insulation locations and types.

2021 IECC Table 402.1.2 Building Envelope Minimum Requirements for Climate Zone 7. Prescriptive Path.		
Location	Required	Provided
Roof/Attic (Ceiling)	R-49 s/ 2" SF or R-60	R-49 (4"± spray foam +5.5" batt)
Wood Frame Exterior Wall	R-20+5 or R-13+10 or R-27 cavity or R-27	R-27 (2" spray foam +3.5" batt)
Mass Exterior Wall	R-19/21	n/a
Floors over Unconditioned Space	R-36 ^a	n/a
Crawl Space Walls	R-10/13 ^b	R-13
Basement Walls	R-15/19 ^c	R-13+5
Slab-on-grade Perimeter (Less than 12" below grade)	R-10, 4 ft (R-15) ^d	n/a
Interior Walls	n/a	R-11 ^e

- Or insulation sufficient to fill the framing cavity, R-19 minimum. (For floors
- Where there are two different values for insulation requirements, the first R-Value applies to continuous insulation, the second to framing cavity insulation. Crawl space wall R-value shall only apply to unventilated crawl spaces.
- "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall, plus R-5 continuous insulated sheathing on the interior or exterior of the wall.
- R-5 shall be added to the required slab edge R-values for heated slabs; and floors over outside air must meet ceiling requirements.
- Interior Wall Insulation requirements are recommended by the Architect only and are not required by I.E.C.C.

Note: Requirements shown above are minimum required by the I.E.C.C. See Architectural Details and Sections for project insulation materials and corresponding R-values.

MECHANICAL NOTES

See General Construction Notes for additional mechanical information.

- Heating contractor to provide shop drawings on system layout, and cut sheets of all equipment and accessories, to the Architect for approval.
- Contractor to arrange and pay for all permits, licenses, certificates, inspections, and fees required in connection with the work specified and at the completion of the work. Contractor to furnish the Owner with all final approved certificates of inspections and warranties.
- Install all equipment per manufacturer's specifications.
- All work and materials shall be in full accordance with federal, state, and local rules and regulations, the International Residential Plumbing Code, Underwriters Laboratory Standards, NFPA, ASME, ASHRAE, SMANSA, FSANSL, OSHA, and ASTM Standards.
- Comply with the rules of the local utility companies. Contractor responsible for any accessory equipment's purchase and installation required by the utilities.
- Contractor responsible for all required excavations for laying of water lines, soil and waste lines, drainage and other piping underground and for all work under this specification and as indicated in the drawings.
- Contractor is responsible for the appropriate sizing of all piping, wiring, fittings and materials in order to be in accordance with all codes and good building practice.
- The Mechanical Contractor shall coordinate their work with the work of other trades and have their work scheduled so as not to delay the work of others. Review installation locations with the General Contractor prior to installation.
- No plumbing lines to be located in exterior walls.

MECHANICAL SYSTEM

Hydronic in-floor radiant tubing within 4" thick concrete slab-on-grade or withing 1.5" thick gypcrete topping slab atop sheathing, with a closed-combustion boiler system of 90% efficiency or better. System to be zoned with one additional zone for hot water heating. Tank insulated for 90% efficiency. Contractor to provide shop drawings for approval.

If an optional on-demand hot water system is selected, verify equipment locations and all system equipment with Architect.

Provide spot ventilation to exterior in all Bathrooms, Laundry, and over Kitchen stove to exterior. Exhaust fans to be low-sone (less than 1 one).

A limited duct, whole house ventilation system with an Energy Recovery Ventilator (ERV) shall be installed at a minimum. Verify with Architect & thermal envelope system.

Provide AC ducted system, by Other.

Recirculation hot-water supply line pumps shall be installed, and controlled with a manual switch per Architect and Owner direction. Pumps will have an automatic timed shut off after manual switch is activated.

Per the IECC, the prescriptive design approach requires HVAC equipment efficiencies (NAECA minimums). Contractor to provide heat loss calculations using a computational approach as outlined in ASH-REA Handbook of Fundamentals or equal. In addition, the furnace BTU ratings shall be provided to Building Department for approval as required.

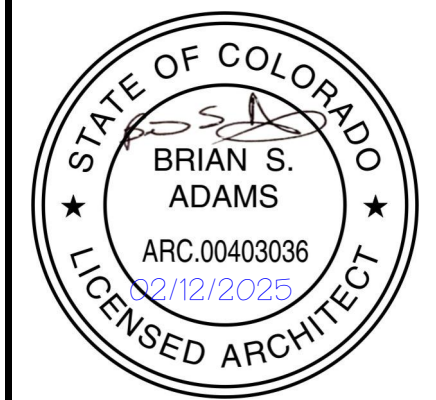
ELECTRICAL NOTES

- Contractor shall provide all electrical fixtures indicated on the electrical plans (if any). The Owner will choose all other fixtures. The Contractor shall provide all labor, materials, equipment and supplies required for the complete performance of the electrical work. This includes all basic materials and methods, service and distribution and controls, as shown on the drawings.
- Standards for this work shall be the National Electric Code, latest edition; compliance with all state and local codes or officials having jurisdiction over this work.
- Permits and fees are to be obtained and paid for along with inspections for the electrical work.
- Substitutions of fixtures, materials, or layout other than that called for in these drawings must be approved by the Architect prior to installation.
- Nameplates and typewritten directions shall be provided on all switchboards, panel boards, safety switches, switch banks and operating equipment.
- Electrical Contractor shall be responsible for all cutting, patching, refinishing, resurfacing, trenching and backfilling associated with electrical work. Verify location of all other utilities before trenching and backfilling. Obtain prior approval of location, size and method of cutting from Architect before cutting building finishes or structural members.
- Provide temporary construction power and lighting as required for all trades.
- Service entrance conductors and equipment shall be of adequate capacity to serve the calculated load and any spare circuits provided for future use.
- The Electrical Contractor shall coordinate their work with the work of other trades and have their work scheduled so as not to delay the work of others.
- No recessed can light fixtures shall be installed in roof rafter cavities without the prior approval of the Architect. Can lights within roof/ceiling cavity shall be IC rated.
- Provide GFI outlets not shown on plans as required per applicable Electrical Code. Coordinate layout with interior finishes (including tile, counter, backsplash, etc.). Verify with responsible Interior Finish Designer.

Electrical Service. Size to be 320A. Contactor to verify sizing requirements with Architect prior to installation.

I.W.U.I.C. CODE NOTES

- Section 504.2 Roof Assembly, is hereby amended to read as follows: All Roofs in both residential and commercial buildings for new construction, additions, alterations, repairs, or replacements under permit must have Class A Roofing Materials installed.
- Section 504.2.1 Roof Valleys. Where provided, valley flashings in both residential and commercial buildings for new construction, additions, alterations, repairs, or replacements under permit shall be not less than 0.019 inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide (914 mm) underlayment consisting of one layer of 72-pound (32.4 kg) mineral-surfaced, nonperforated cap sheet complying with ASTM D3909 running the full length of the valley.
- Section 504.3 Protection of Eaves and Soffits, is hereby amended to read as follows: Eaves and Soffits on commercial and residential new construction buildings only shall be protected on the exposed underside by one of the following items.
 - 3/4" solid wood or thicker
 - Ignition resistant material in accordance with Section 503.2 of this chapter
 - Non-Combustible Materials
 - FRWT products.
 - Plywood 3/4" or thicker treated with an intumescent product providing a 30-minute rating
- Section 504.4 Gutters and Downspouts. Gutters and Downspouts in both residential and commercial buildings for new construction, additions, alterations, repairs, or replacements shall be constructed of noncombustible material.
- Section 504.10 Vents, is hereby amended to read as follows: Vents installed in both residential and commercial buildings for new construction or additions shall be installed in accordance with the items listed below.
 - Foundation wall, vertical exterior wall, or roof vents shall not exceed 144 square inches each, such vents shall be covered with non-combustible corrosion resistant mesh with openings not to exceed 1/4", or shall be designed and approved to prevent flame or ember penetration into the structure.
 - Single Soffit Vents shall not exceed 144 square inches each, such vents shall be covered with non-combustible corrosion resistant mesh with openings not to exceed 1/4", or shall be designed and approved to prevent flame or ember penetration into the structure.
 - Continuous Soffit Vents shall not exceed 2 1/2" in width and shall be covered with non-combustible corrosion resistant mesh with openings not to exceed 1/4", or shall be designed and approved to prevent flame or ember penetration into the structure.



REVIEWED FOR CODE COMPLIANCE 04/21/2025

A New Two-Unit Building for
BEAR CLAW DUPLEX
T.B.D. SKI TRAIL LANE
LOT 11A, BEAR CLAW ESTATES SUBD
ROUIT COUNTY, COLORADO

REVISIONS:
CURRENT REVISION: 00

CHANGE	DATE

ISSUE DATE: 02/12/2025
PERMIT SET

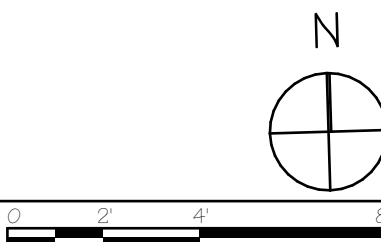
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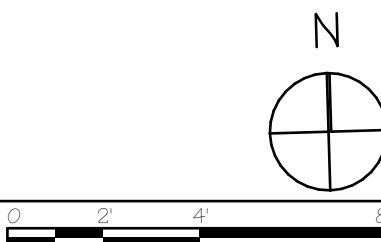
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NOTES/SPECIFICATIONS

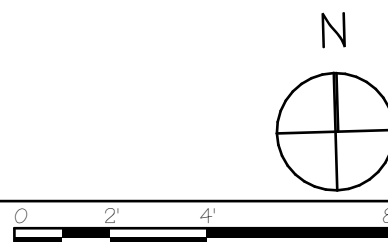
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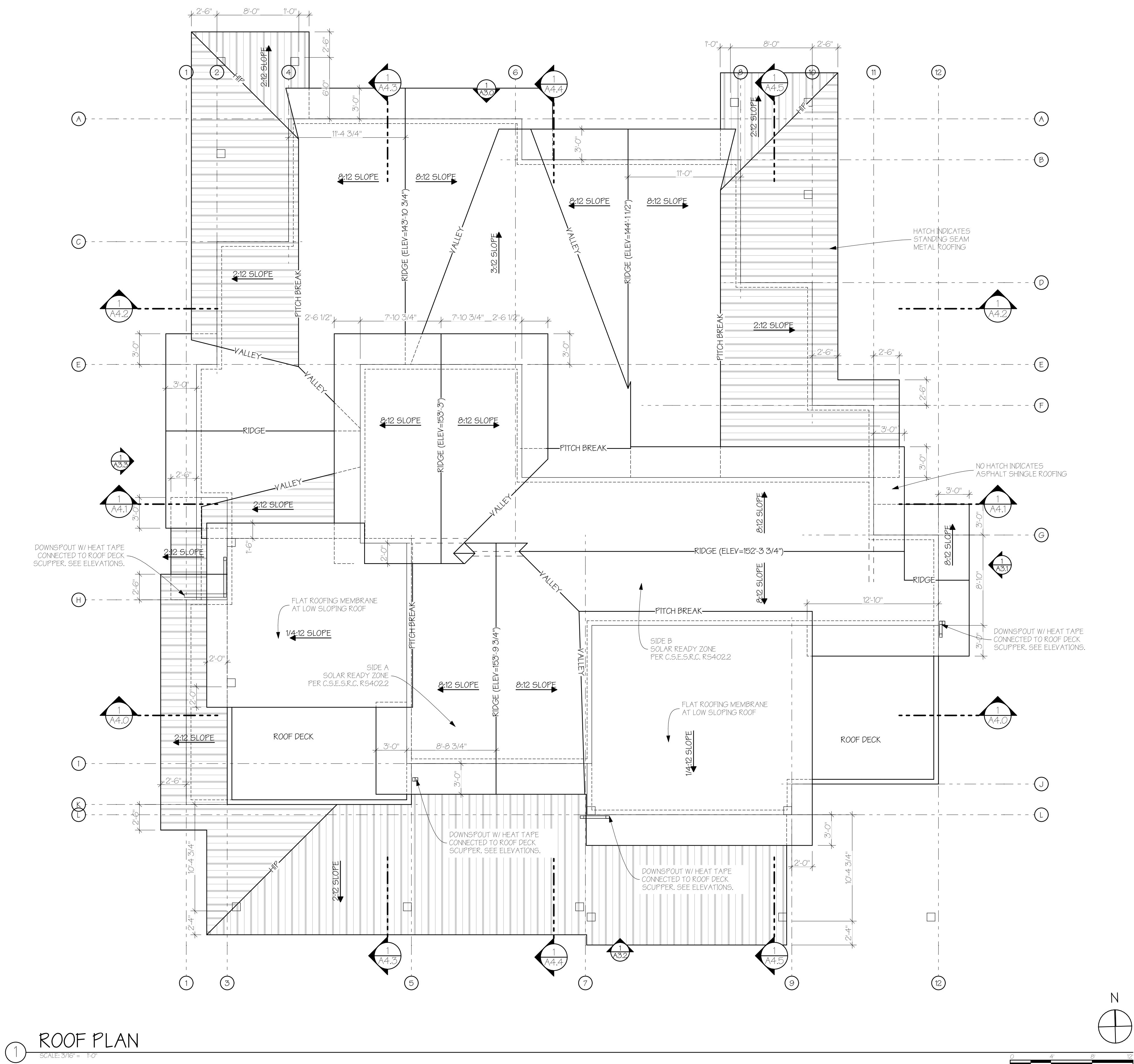


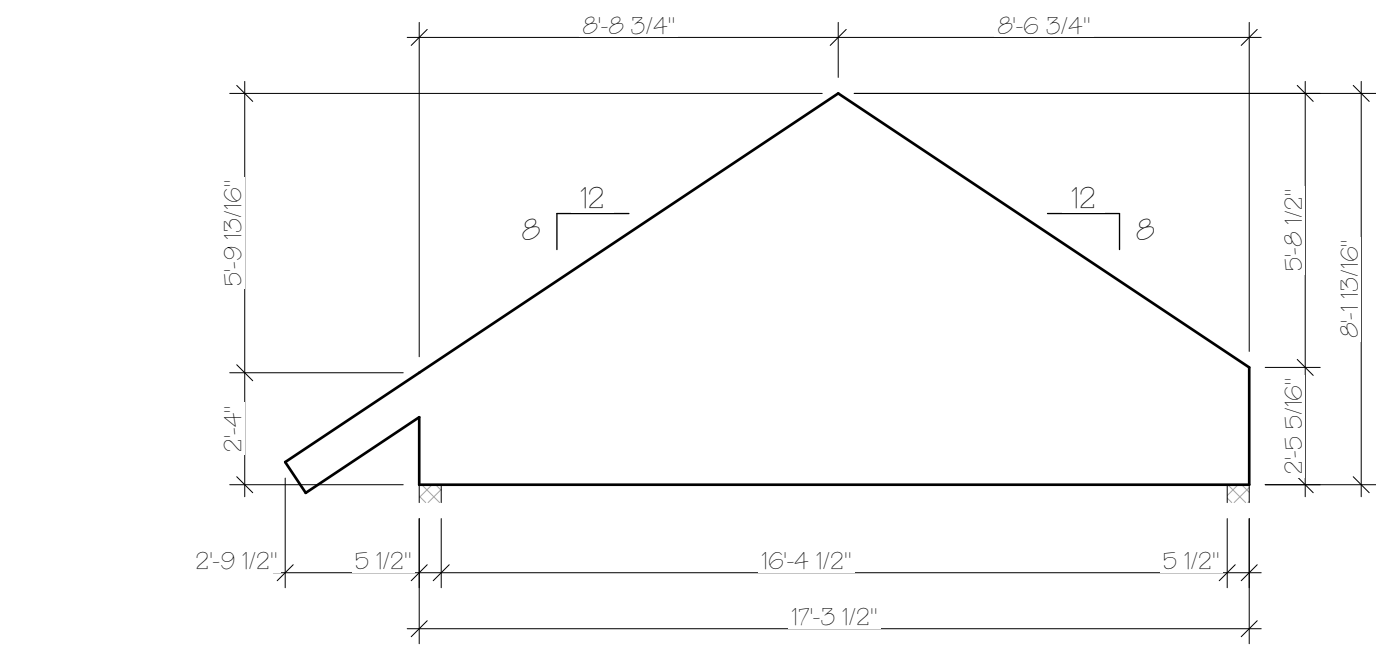
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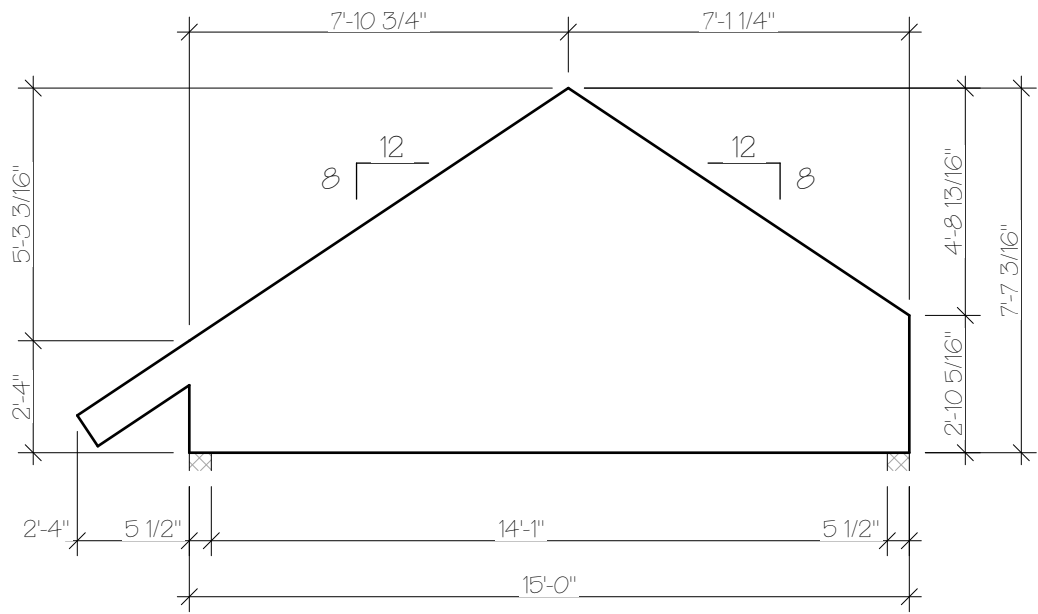
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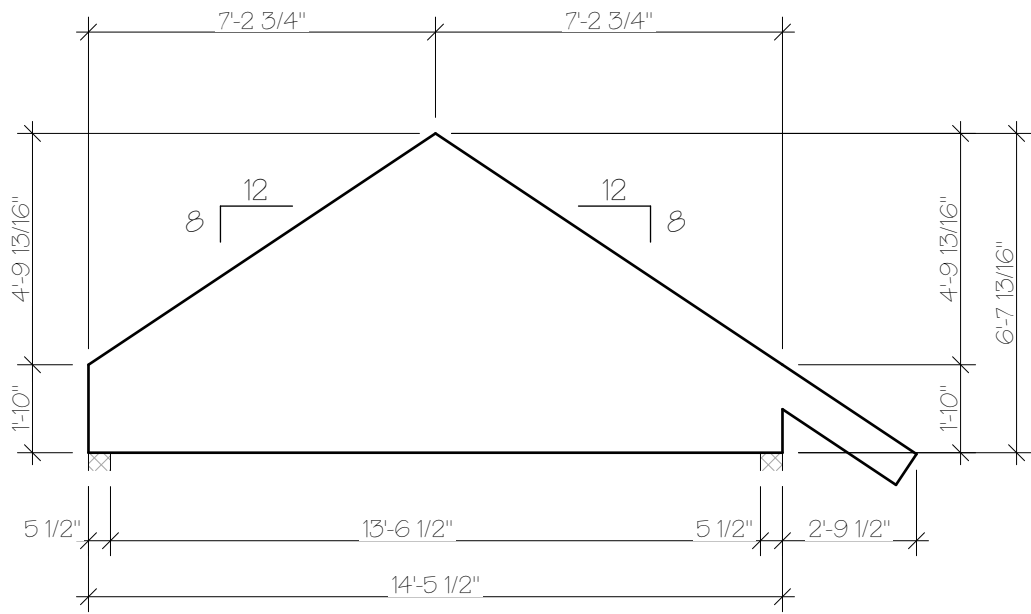




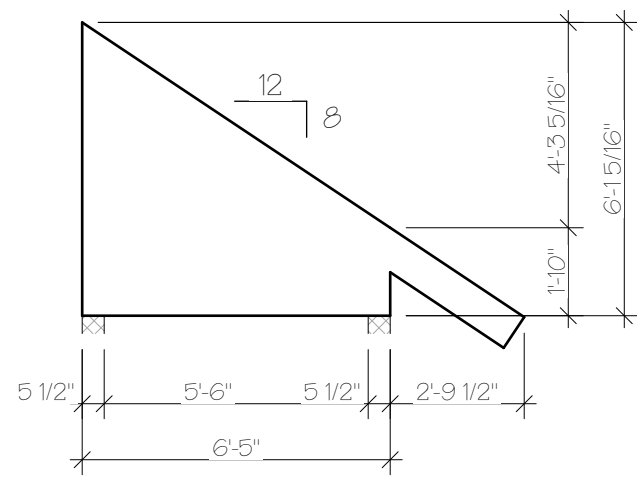
TRUSS "A"



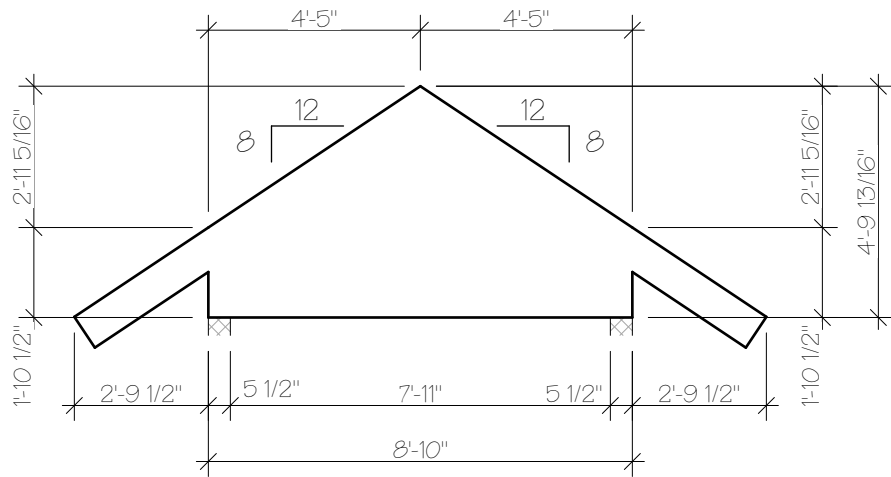
TRUSS "B"



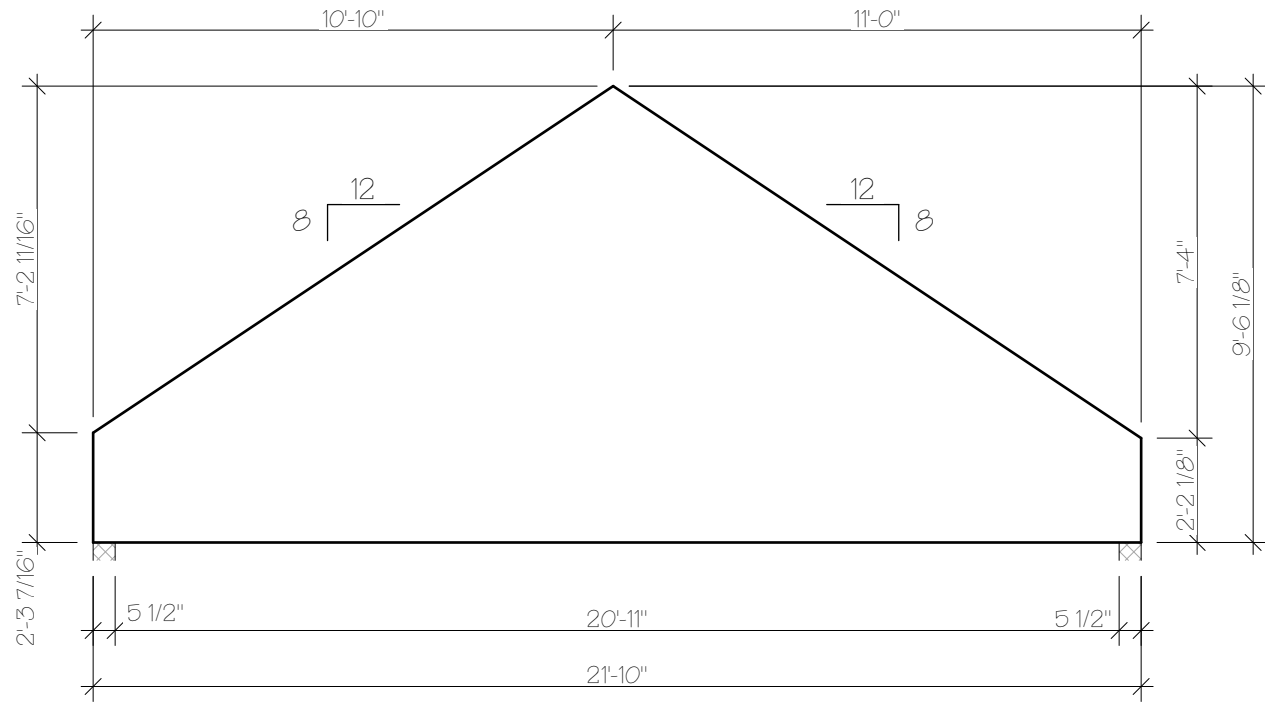
TRUSS "C"



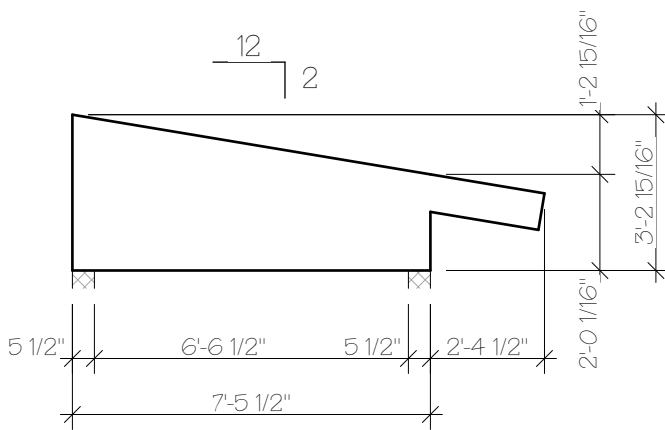
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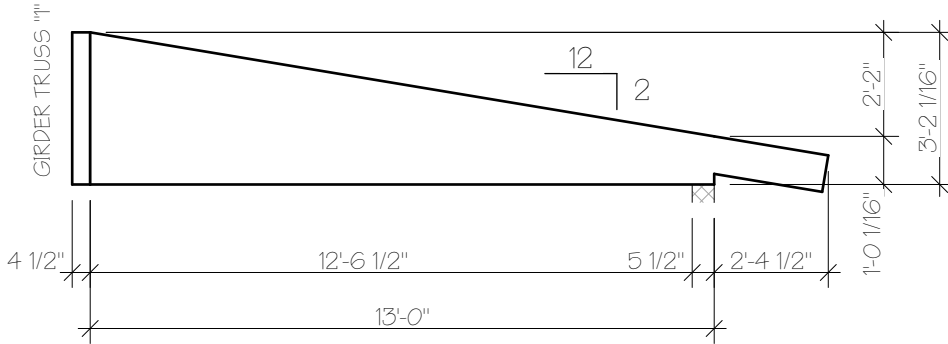
TRUSS "D"



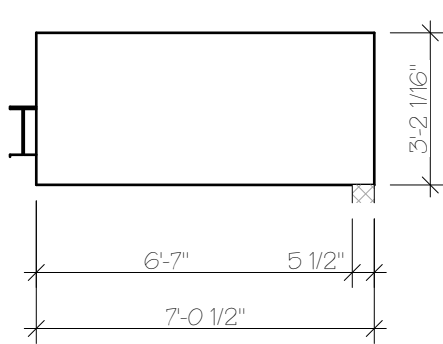
TRUSS "E"



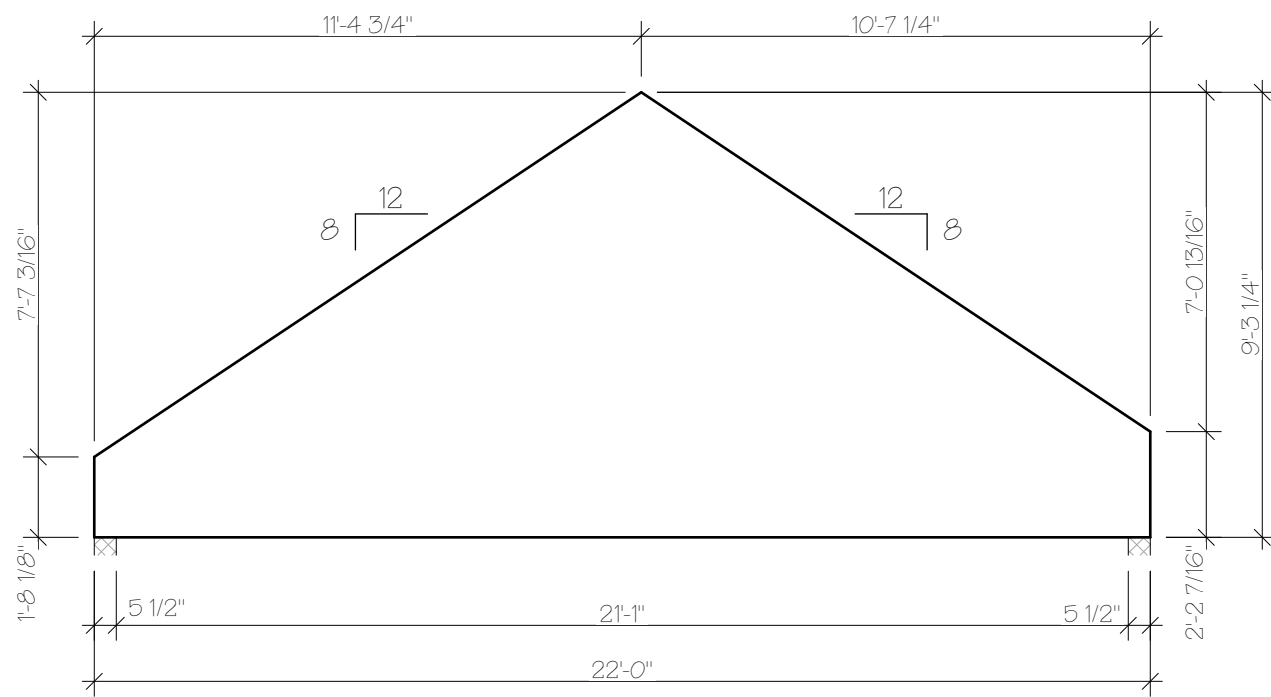
TRUSS "F"



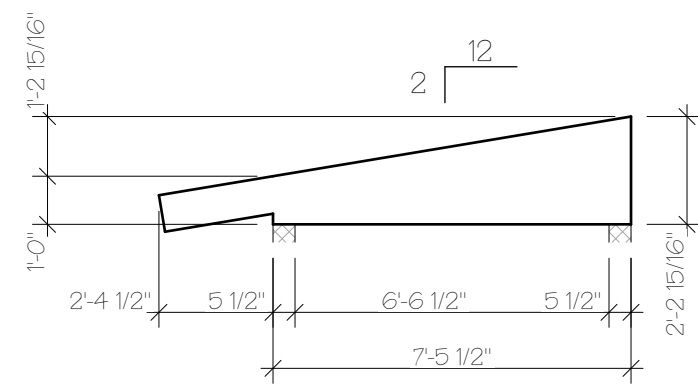
TRUSS "F2"



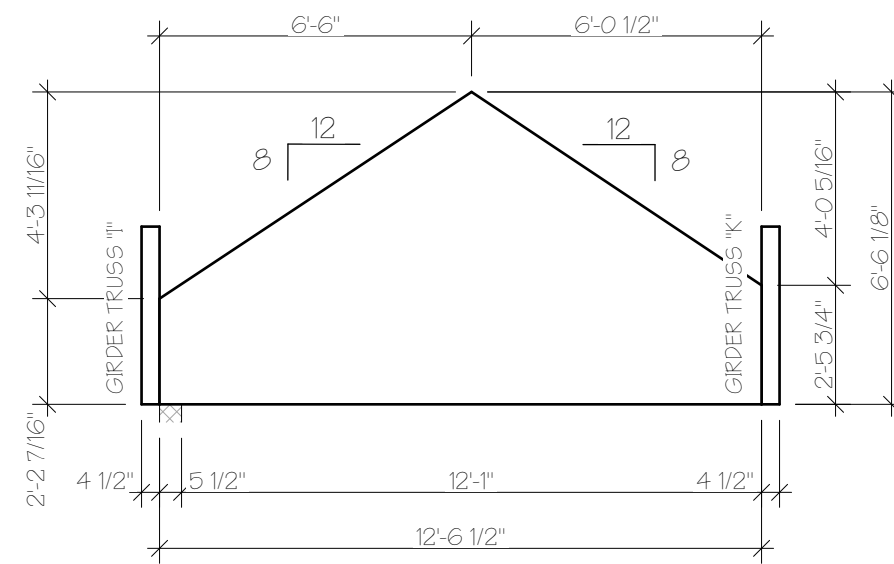
GIRDER TRUSS "I"



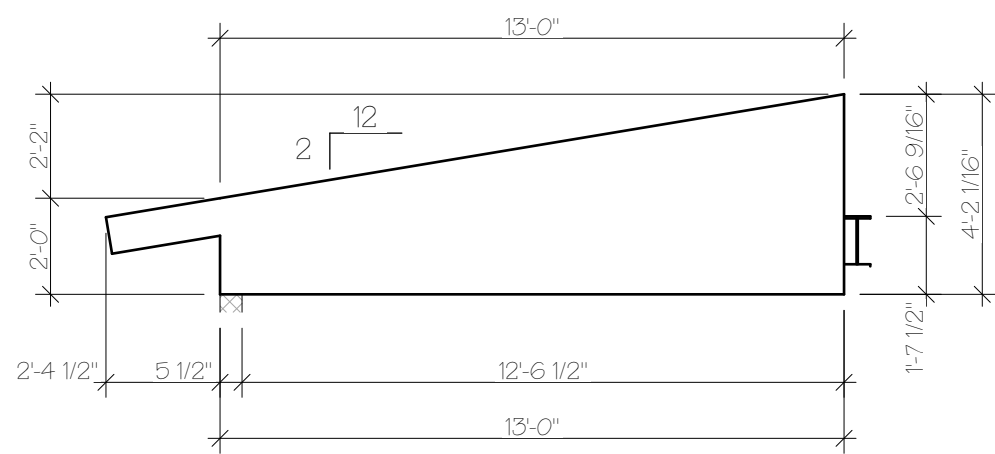
TRUSS "G"



TRUSS "I"



TRUSS "J"



TRUSS "K"

- TRUSS NOTES:
- 1) ALL TRUSS TAILS ARE TO BE 2X10 U.N.O.
 - 2) ARCHITECT TO REVIEW TRUSS SHOP DRAWINGS PRIOR TO CONTRACTOR ORDERING.
 - 3) SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
 - 4) GIRDER TRUSS (IF ANY) WIDTHS PER TRUSS MANUFACTURER. VERIFY ALL DIMENSIONS WITH MANUF. GIVEN WIDTHS.
 - 5) CONTRACTOR & TRUSS MANUF. TO FIELD VERIFY ALL DIMENSIONS IN FIELD AND COORDINATE ALL APPLICABLE BEARING ELEVATIONS.
 - 6) TRUSS SUPPLIER TO PROVIDE ALL TRUSS TO TRUSS CONNECTIONS.

1

TRUSS DIAGRAM(S)

SCALE: 1/4" = 1'-0"



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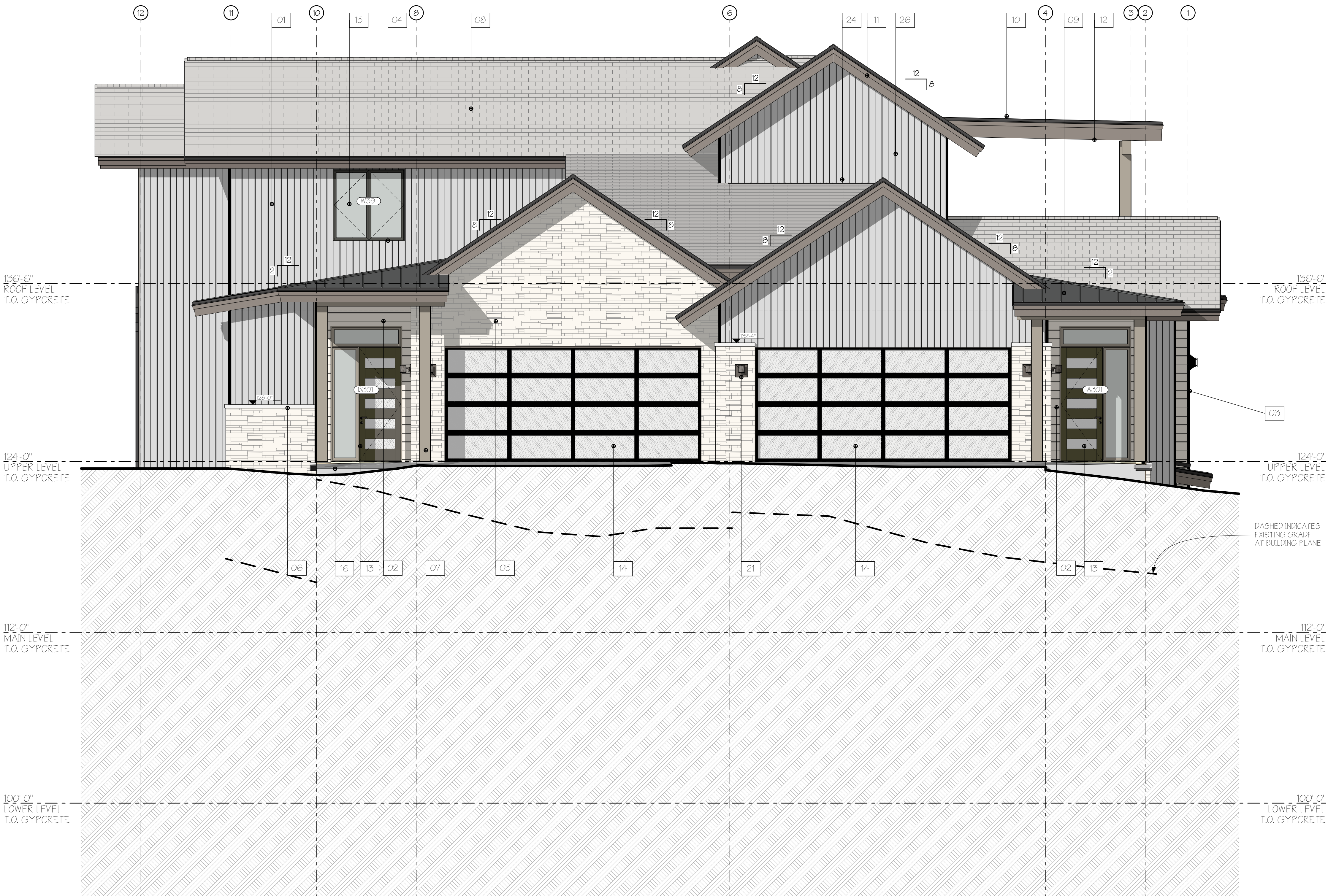
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SHEET TITLE:
TRUSS DIAGRAMS

SHEET NO:

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KEYNOTES (SPECIFICATIONS)		KEYNOTES (SPECIFICATIONS)		KEYNOTES (SPECIFICATIONS)	
ID	DESCRIPTION	ID	DESCRIPTION	ID	DESCRIPTION
01	VERTICAL WOOD SIDING: CHANNEL LAP WOOD SIDING PER MATERIAL BOARD. WOOD SIDING OVER TYVEK OVER SHEATHING PER STRUCTURAL.	07	COLUMNS AND BEAMS: MATERIAL AND SIZE VARIES. SEE DETAILS, STRUCTURAL, AND ELEVATIONS. COLOR PER MATERIAL BOARD.	16	EXTERIOR CONCRETE SLAB: CONCRETE PER STRUCTURAL.
02	HORIZONTAL WOOD SIDING: CHANNEL LAP WOOD SIDING PER MATERIAL BOARD. WOOD SIDING OVER TYVEK OVER SHEATHING PER STRUCTURAL.	08	ASPHALT SHINGLE ROOFING: 50 YEAR ROOFING PER MATERIAL BOARD. ROOFING OVER BITUTHANE PER NOTES.	17	EXTERIOR WOOD DECK: WOOD FRAMING PER STRUCTURAL. COLOR TO MATCH WOOD COLUMNS.
03	CORNER TRIM AT WOOD SIDING: EASYTRIM REVEAL: TYPE EZ33. COLOR: BLACK	09	METAL ROOFING: STANDING SEAM METAL ROOFING PER MATERIAL BOARD. ROOFING OVER BITUTHANE PER NOTES.	18	GLASS GUARDRAIL. SEE DETAIL.
04	WINDOW TRIM AT WOOD SIDING: NO TRIM. PROVIDE 1/4" GAP AROUND WINDOW FRAME.	10	EPDM ROOFING: ROOFING PER MANUF W/ COLOR PER MATERIAL BOARD. ROOFING OVER BITUTHANE PER NOTES.	19	CABLE RAIL GUARDRAIL. SEE DETAIL.
05	STONE VENEER: 4" FULL STONE VENEER W/ RECTANGULAR CUT LAYOUT. COLOR PER MATERIAL BOARD. STONE OVER (2) LAYERS 15# FELT OVER WOOD SHEATHING OR CONCRETE WALL PER STRUCTURAL.	11	WOOD FASCIA: CEDAR R.S. 1x6 SHADOW BOARD OVER R.S. 2x12 CEDAR BOARD W/ DARK GRAY METAL DRIP EDGE. STAIN COLOR PER MATERIAL BOARD.	20	FIREPLACE FLUE: PAINTED TO MATCH EXTERIOR METALS. INSTALL PER I.R.C. AND MANUF.
06	SANDSTONE CAP: 3" TALL BY 5" THICK SANDSTONE. SET AT MINIMUM 2° ANGLE TO SLOPE AWAY FROM BUILDING. COLOR: MATCH STONE VENEER.	12	WOOD SOFFIT: 6" NOMINAL SIZE T&G WOOD PER MATERIAL BOARD.	21	EXTERIOR WALL-MOUNTED LIGHT FIXTURE: DOWN-FACING WALL MOUNTED LIGHT PER MATERIAL BOARD.
		13	WOOD ENTRY DOOR: PROFILE PER ELEVATION AND OWNER DIRECTION.	22	ELECTRIC METER. PAINT TO MATCH COLOR OF SURROUNDING SIDING.
		14	GARAGE DOOR: INSULATED FLUSH STEEL GARAGE DOOR WITH MATERIAL AND PROFILE PER DETAIL.	23	GIS METER. PAINT TO MATCH COLOR OF SURROUNDING SIDING.
		15	WINDOWS: DOUBLE-PANE, LOW-E GLASS, METAL-CLAD WINDOWS.	24	FLASH ALL VERTICAL TO HORIZONTAL TRANSITIONS.
				25	ROOF SNOW RETENTION SYSTEM. SEE ROOF PLAN FOR LOCATIONS.
				26	DASHED INDICATES BEARING OF ROOF AT UPPER WALL PLATE.



1 ELEVATION NORTH
SCALE: 1/4" = 1'-0"

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APEX ARCHITECTURE

PO BOX 771787
STEAMBOAT SPRINGS, CO 80477
PH: 720-354-9360
adams@apex-architect.com

STATE OF COLORADO

BRIAN S. ADAMS

ARC.00403036

02/12/2025

LICENSED ARCHITECT

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04/21/2025

A New Two-Unit Building for

BEAR CLAW DUPLEX

T.B.D. SKI TRAIL LANE

LOT 11A, BEAR CLAW ESTATES SUBD

ROUIT COUNTY, COLORADO

REVISIONS:
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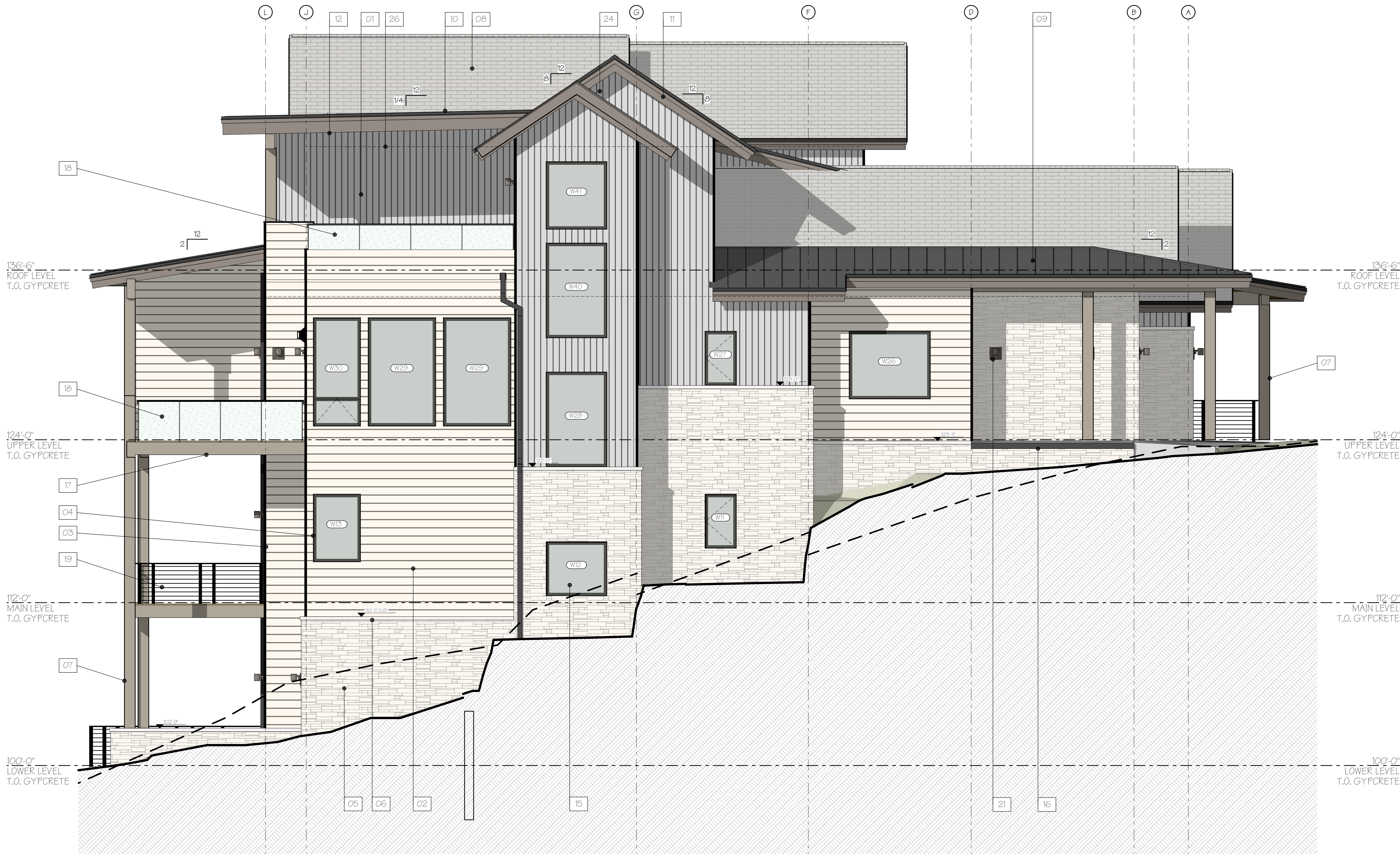
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PROJECT NO: 24010

SHEET TITLE:
ELEVATION(S) - NORTH

SHEET NO:
A3.0
Sheet 12 of 35

KEYNOTES (SPECIFICATIONS)		KEYNOTES (SPECIFICATIONS)		KEYNOTES (SPECIFICATIONS)	
ID	DESCRIPTION	ID	DESCRIPTION	ID	DESCRIPTION
01	VERTICAL WOOD SIDING: CHANNEL LAP WOOD SIDING PER MATERIAL BOARD. WOOD SIDING OVER TYVEK OVER SHEATHING PER STRUCTURAL.	07	COLUMNS AND BEAMS: MATERIAL AND SIZE VARIES. SEE DETAILS, STRUCTURAL, AND ELEVATIONS. COLOR PER MATERIAL BOARD.	16	EXTERIOR CONCRETE SLAB: CONCRETE PER STRUCTURAL.
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03	CORNER TRIM AT WOOD SIDING: EASYTRIM REVEAL: TYPE EZ333. COLOR: BLACK	09	METAL ROOFING: STANDING SEAM METAL ROOFING PER MATERIAL BOARD. ROOFING OVER BITUTHANE PER NOTES.	18	GLASS GUARDRAIL. SEE DETAIL.
04	WINDOW TRIM AT WOOD SIDING: NO TRIM. PROVIDE 1/4" GAP AROUND WINDOW FRAME.	10	EPDM ROOFING: ROOFING PER MANUF W/ COLOR PER MATERIAL BOARD. ROOFING OVER BITUTHANE PER NOTES.	19	CABLE RAIL GUARDRAIL. SEE DETAIL.
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				25	ROOF SNOW RETENTION SYSTEM. SEE ROOF PLAN FOR LOCATIONS.
				26	DASHED INDICATES BEARING OF ROOF AT UPPER WALL PLATE.



1 ELEVATION EAST
SCALE: 1/4" = 1'-0"



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ROUIT COUNTY, COLORADO

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SHEET NO:		A3.1	
		Sheet 13 of 35	

APEX
ARCHITECTURE

PO BOX 771787
STEAMBOAT SPRINGS, CO 80477
PH: 720-934-9960
adams@apex-architect.com

[illegible]

A3.2

1 ELEVATION SOUTH
SCALE: 1/4" = 1'-0"

APEX
ARCHITECTURE

PO BOX 771787
STEAMBOAT SPRINGS, CO 80477
PH: 720-934-9960
adams@apex-architect.com

[illegible]

PROJECT NO: 24010

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ELEVATION(S) - WEST

SHEET NO: _____

A3.3





1 FRONT SKETCH
NOT TO SCALE



2 REAR SKETCH
NOT TO SCALE

MATERIAL AND COLOR SCHEDULE		
NOTE: SEE ELEVATION NOTES ON ELEVATION SHEETS FOR MATERIAL DESCRIPTIONS AND SIZES.		
1.)	VERTICAL WOOD SIDING	6" NOMINAL WIDTH VERTICAL CHANNEL LAP SIDING. SHERWIN WILLIAMS EXTERIOR POLYURETHANE SEMI-TRANSPARENT STAIN. STAIN COLOR: " _____ "
2.)	HORIZONTAL WOOD SIDING	8" NOMINAL WIDTH CHANNEL LAP SIDING. HEAT MODIFIED TO "VINTAGE" APPEARANCE
3.)	STONE VENEER	TELLURIDE STONE, COLOR "SKYLINE" W/ RECESSED 1/4" MORTAR DRYSTACK APPEARANCE.
4.)	ASPHALT SHINGLE ROOFING	TAMKO, HERITAGE SERIES, ASPHALT SHINGLES. COLOR: "WEATHERED WOOD".
5.)	METAL ROOFING	STANDING SEAM METAL ROOFING. COLOR: "CHARCOAL GRAY".
6.)	LOWER SLOPE ROOFING	EPDM ROOFING. COLOR: "GREY".
7.)	ROOF SOFFIT	PINE 1x6 T&G. SHERWIN WILLIAMS EXTERIOR POLYURETHANE SEMI-TRANSPARENT STAIN. STAIN COLOR: " _____ " 1-COAT
8.)	DECK, ROOF FASCIA	MATERIAL PER DETAILS. SHERWIN WILLIAMS EXTERIOR POLYURETHANE SEMI-TRANSPARENT STAIN. STAIN COLOR: " _____ "
9.)	WOOD COLUMNS, BEAMS	DOUG-FIR WOOD COLUMNS STAINED TO MATCH FASCIA.
10.)	METAL CLAD WINDOW	METAL-CLAD, DOUBLE-PANE, LOW-E WOOD WINDOWS. EXTERIOR CLADDING COLOR: "BLACK".
11.)	GARAGE DOORS	INSULATED METAL GARAGE DOOR W/ GLASS PATTERNS AS SHOWN
12.)	RAILING	METAL POST, TOP CAP AND BOTTOM CAP, W/ HORIZONTAL STEEL CABLE RAILS
13.)	WALL MOUNTED LIGHT	_____



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ROUIT COUNTY, COLORADO

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PROJECT NO:		24010		
SHEET TITLE:		MATERIAL BOARD		
SHEET NO:		A3.4 Sheet 16 of 35		

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ROUTT COUNTY, COLORADO

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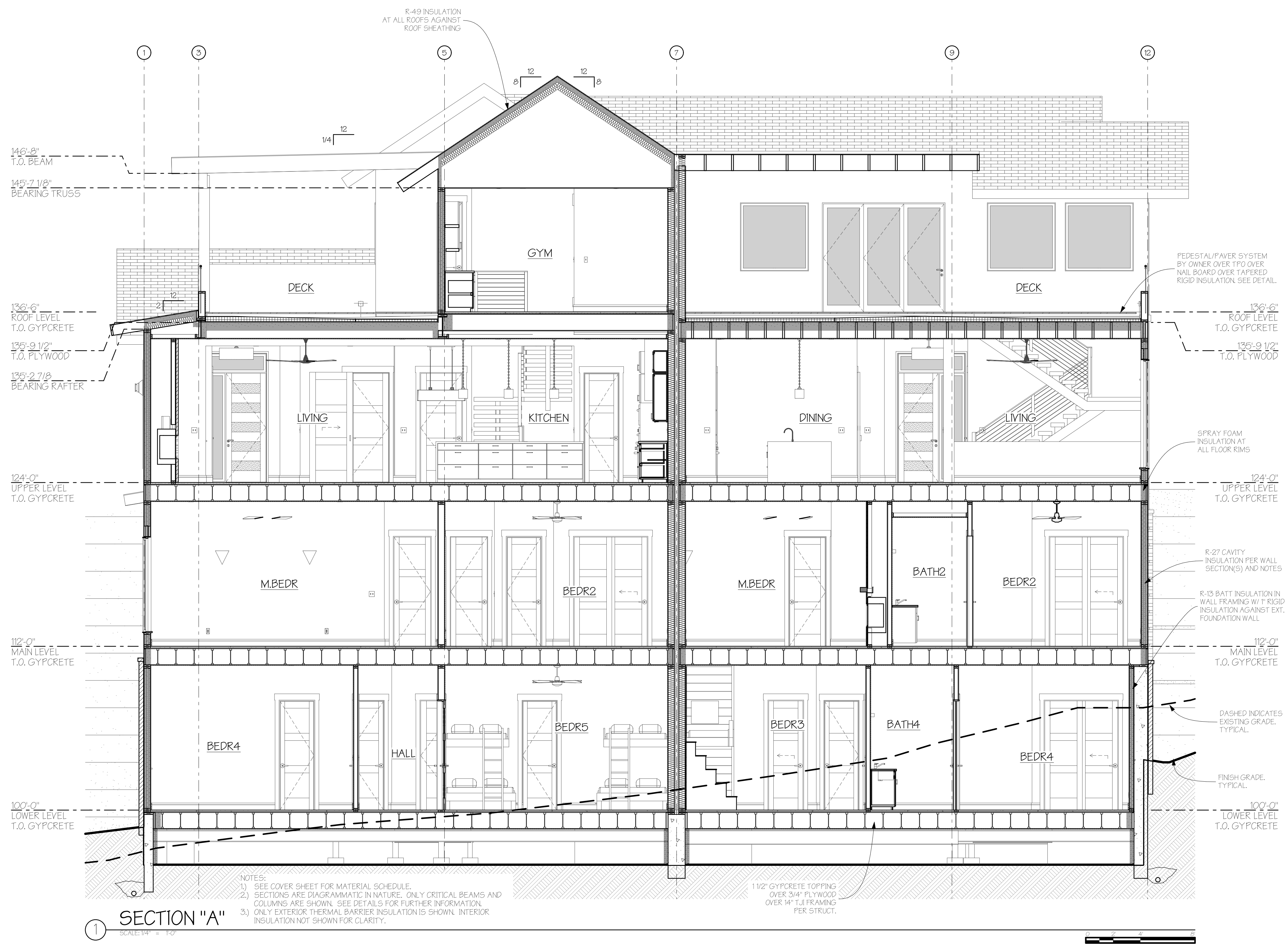
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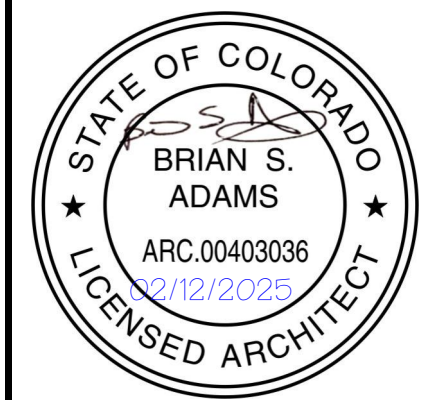
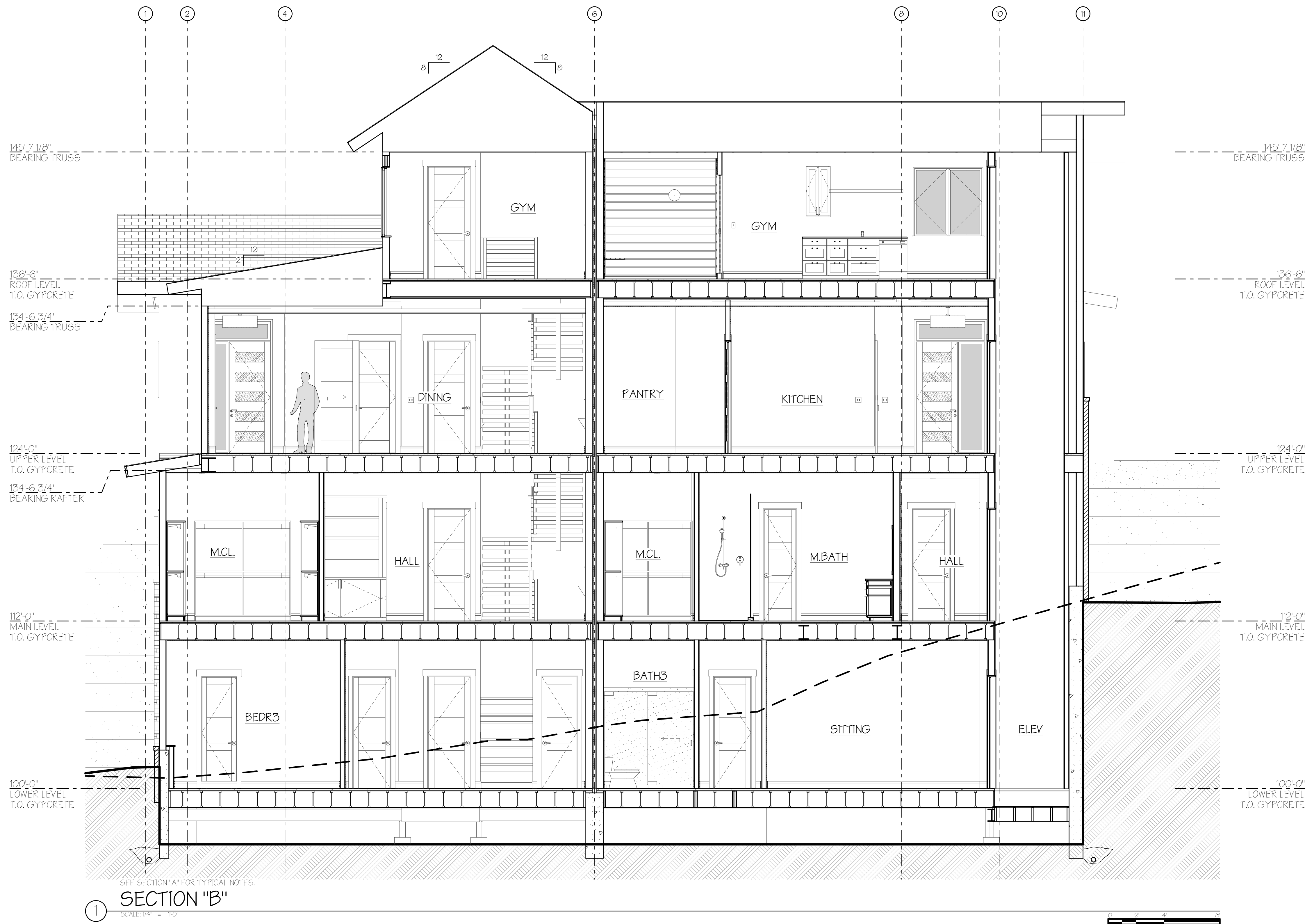
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SHEET TITLE:
SECTION(S)

SHEET NO: A40

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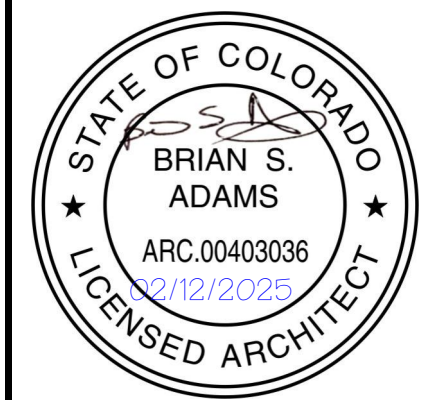
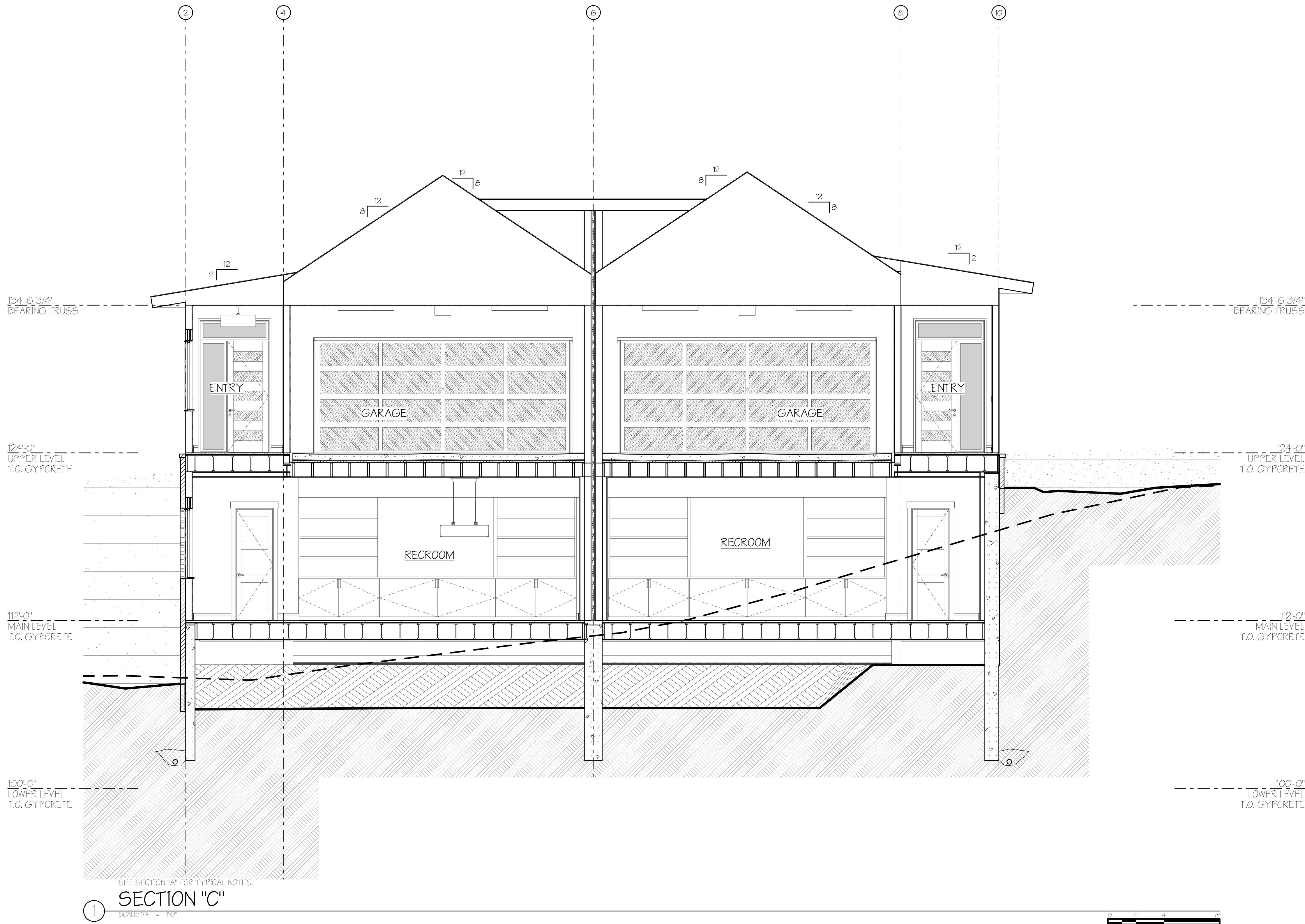




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SHEET TITLE: SECTION(S)			
SHEET NO:			
A4.1			
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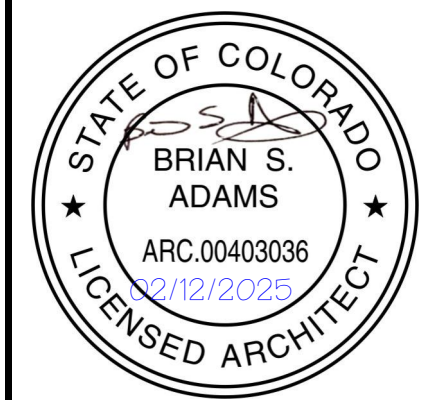
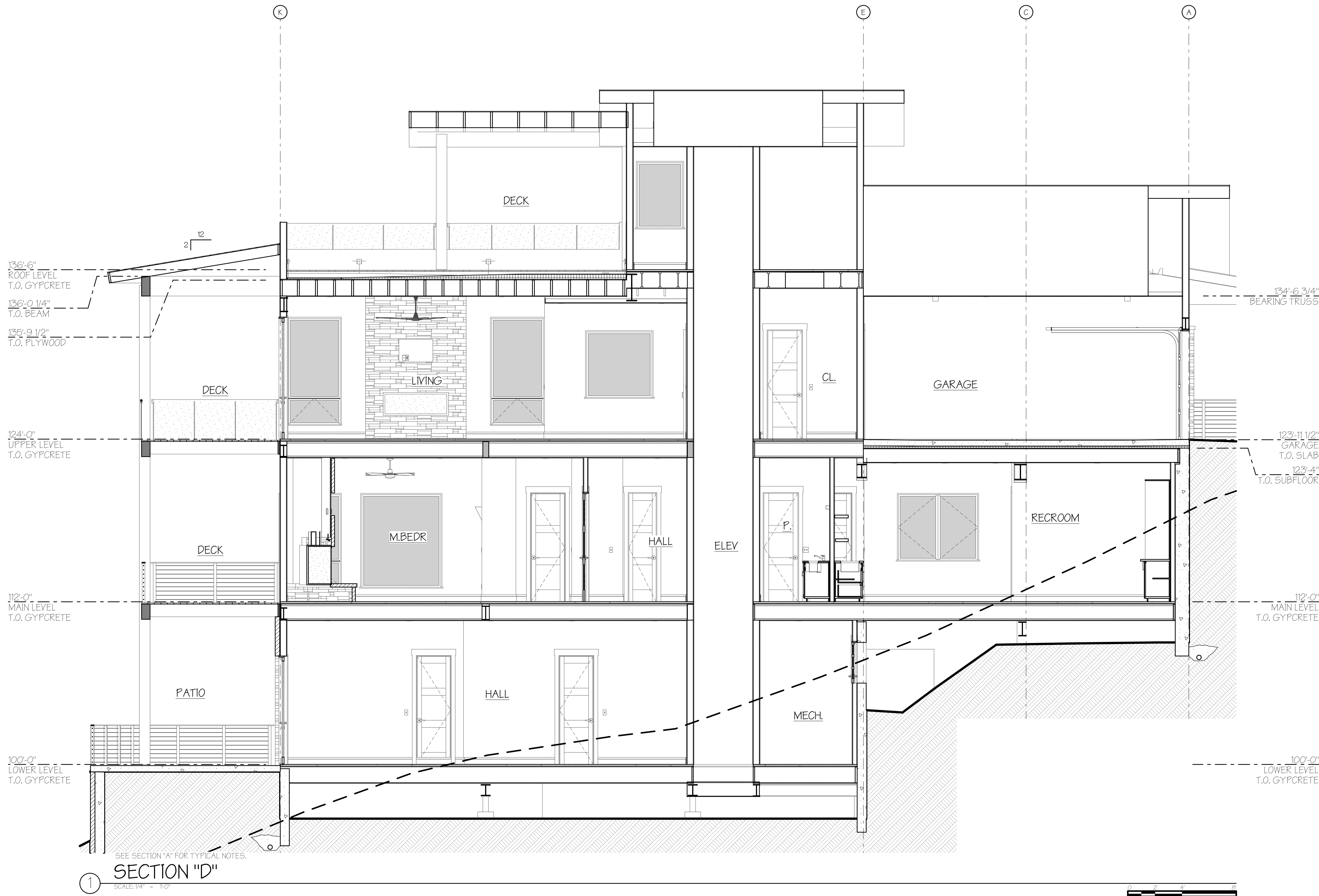


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ISSUE	DATE	CHANGE	
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SHEET TITLE:		SECTION(S)	

SHEET NO:
A4.2
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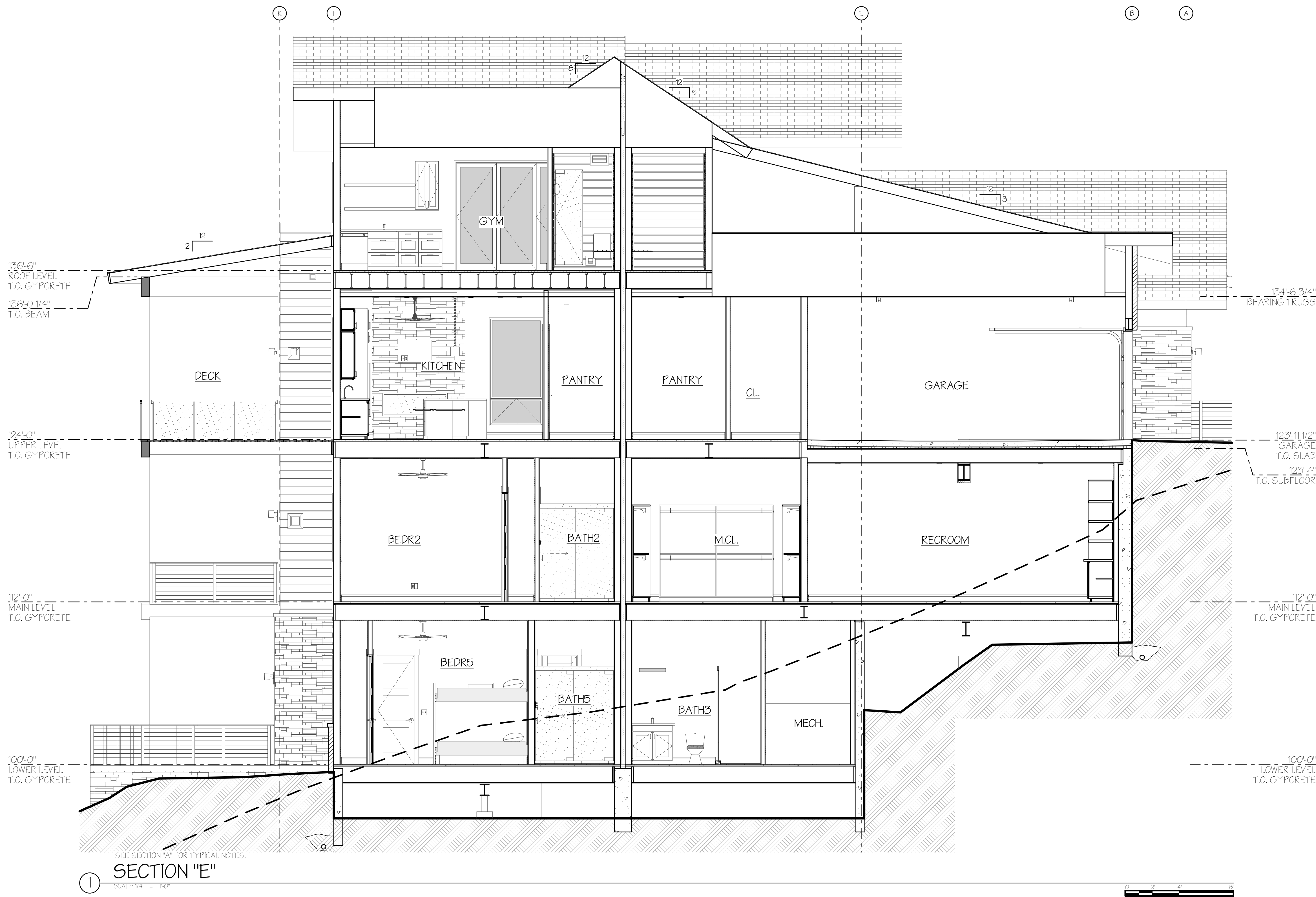
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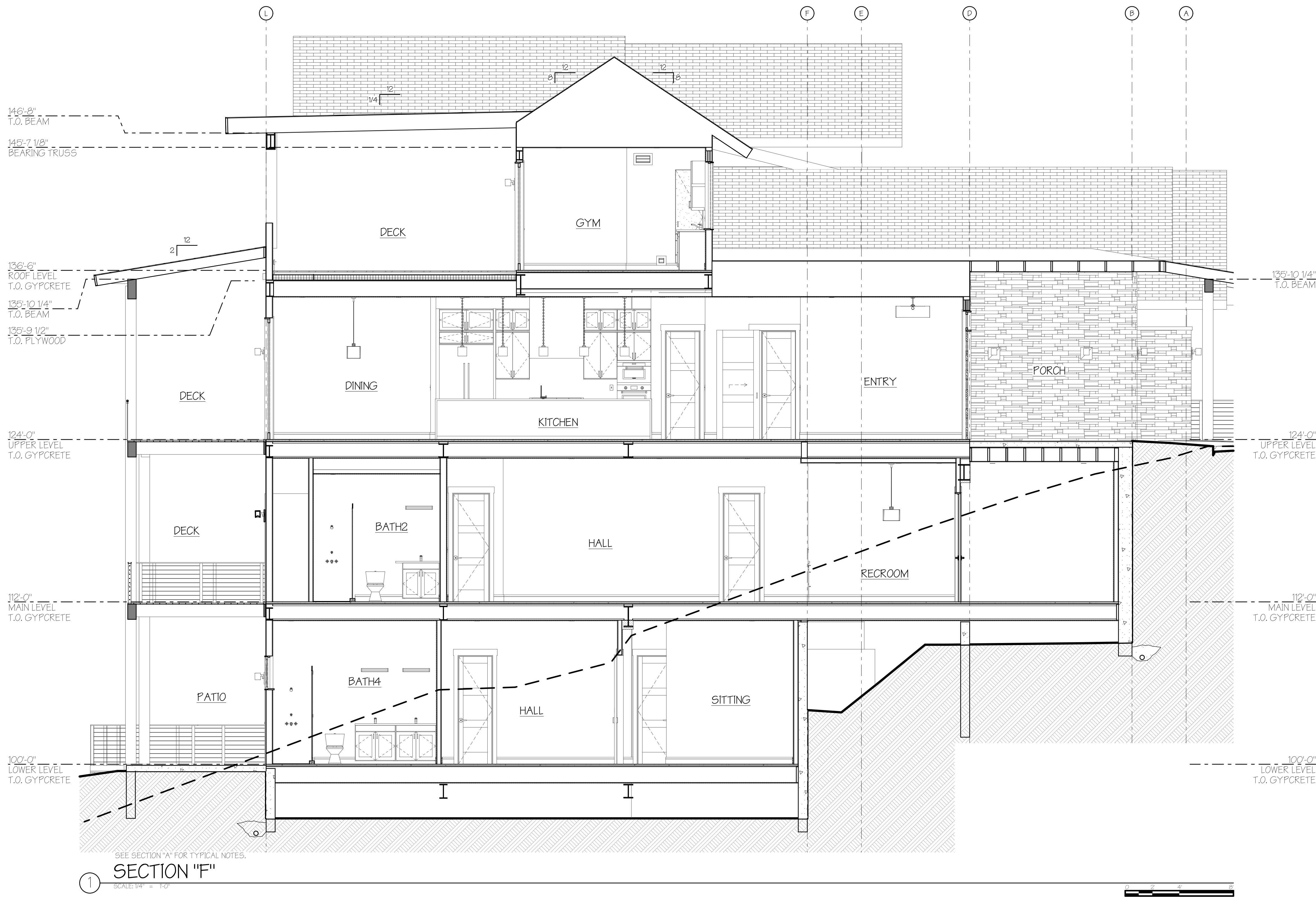
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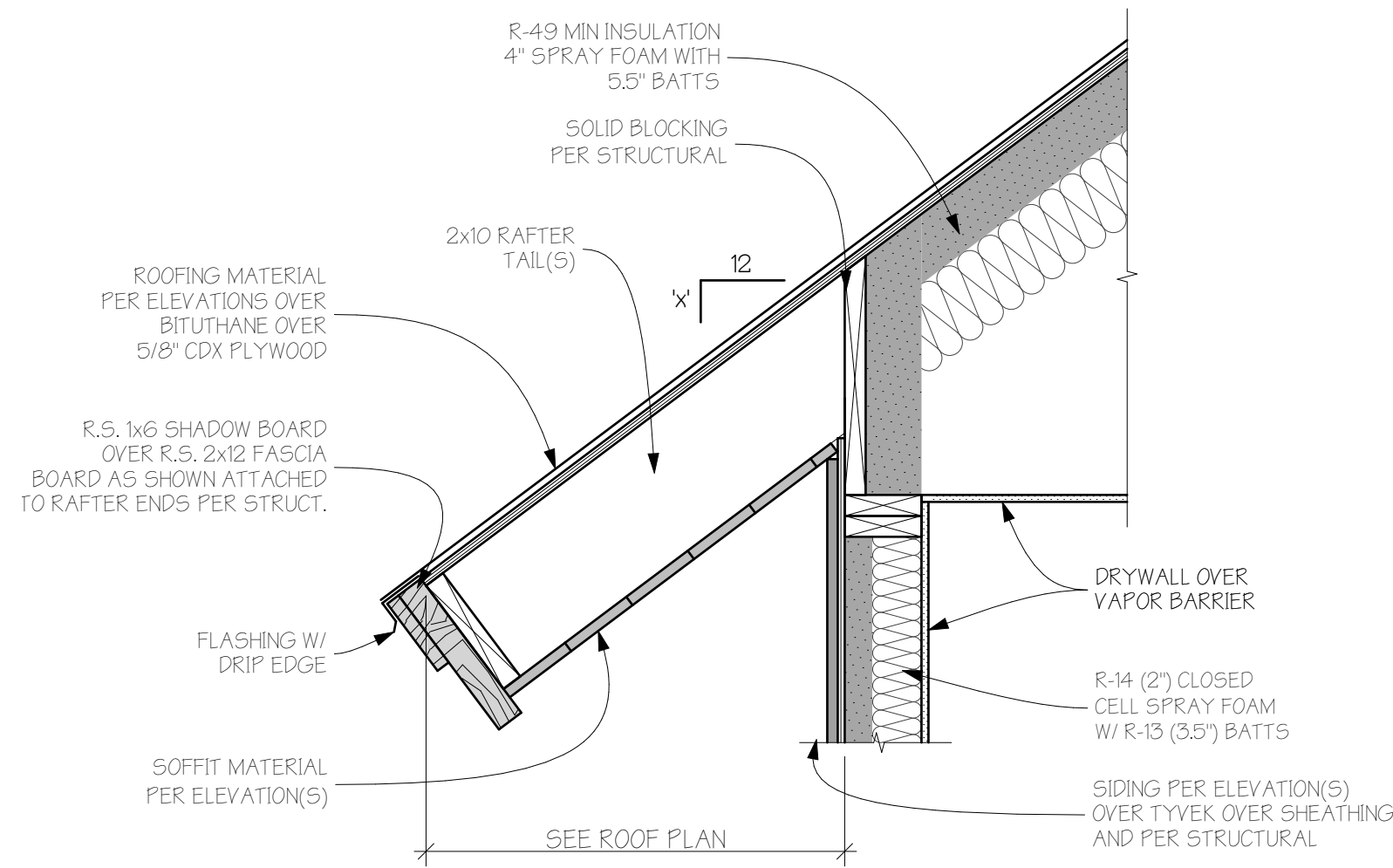
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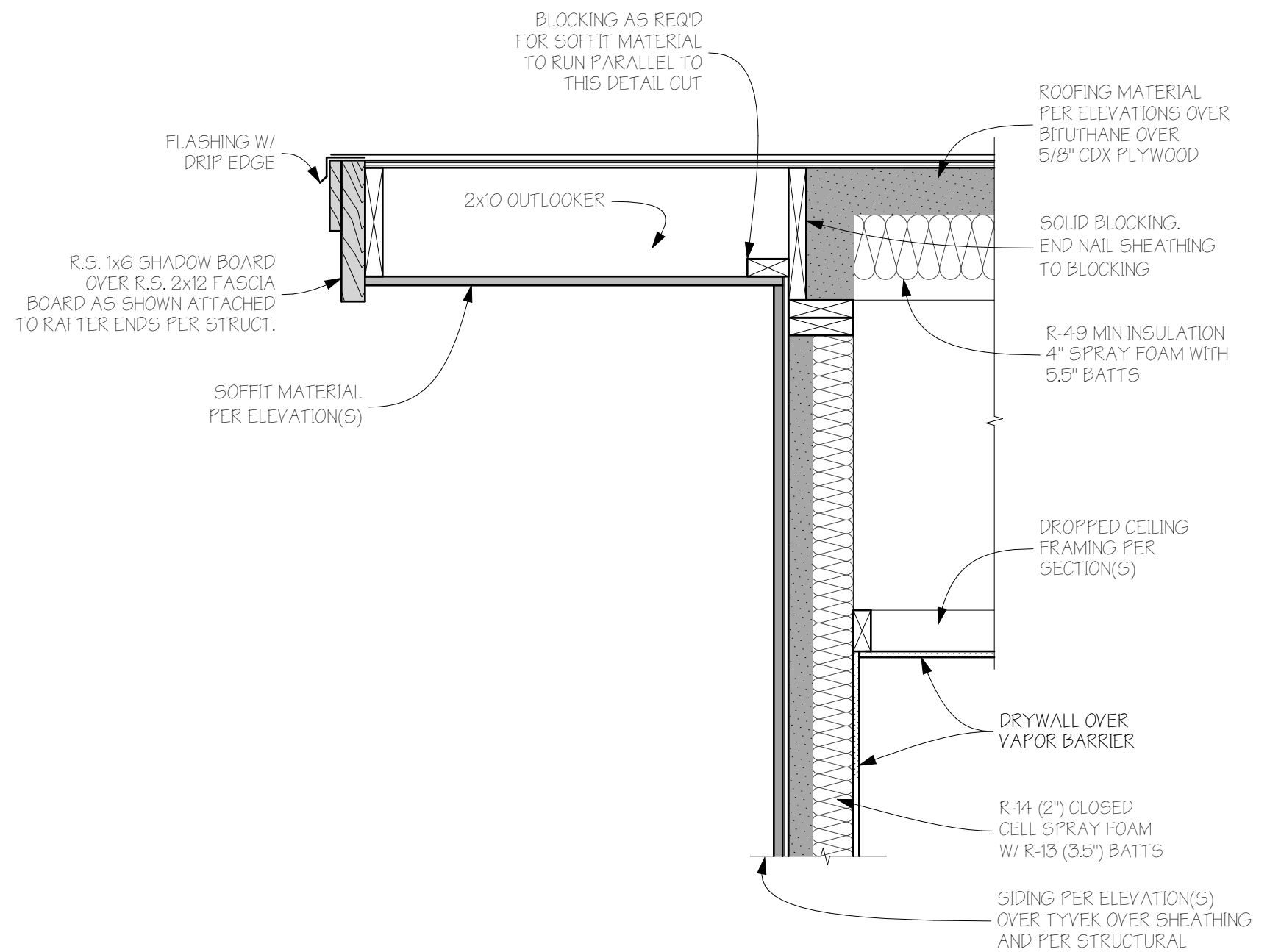


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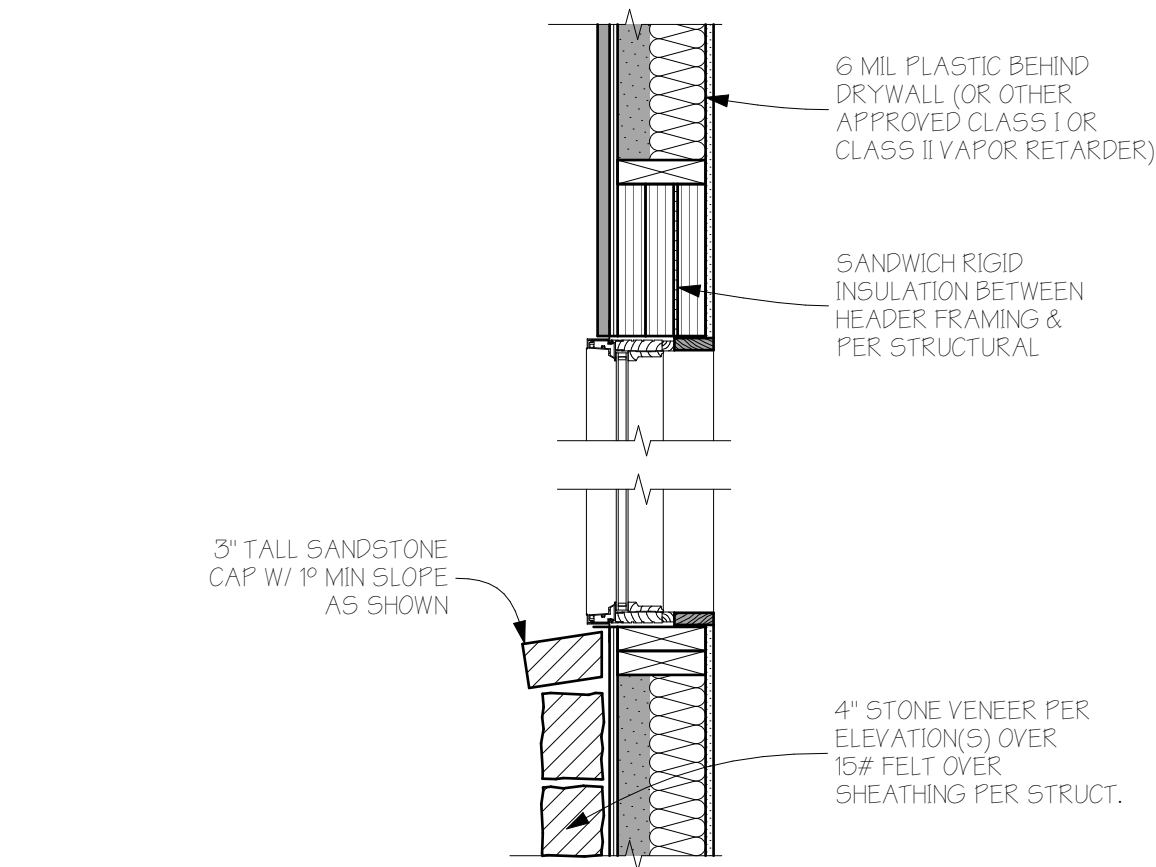




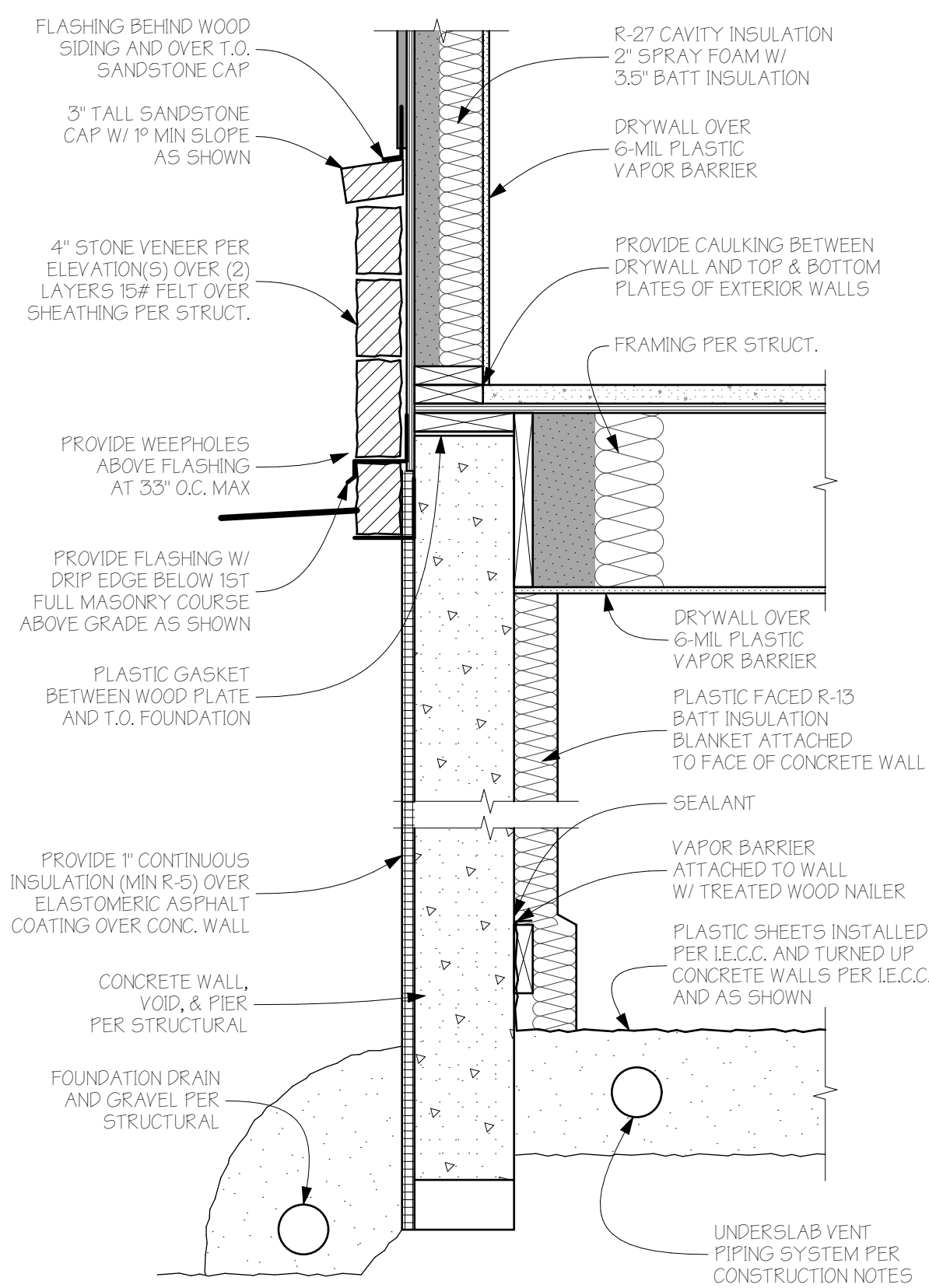
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0 6" 12"



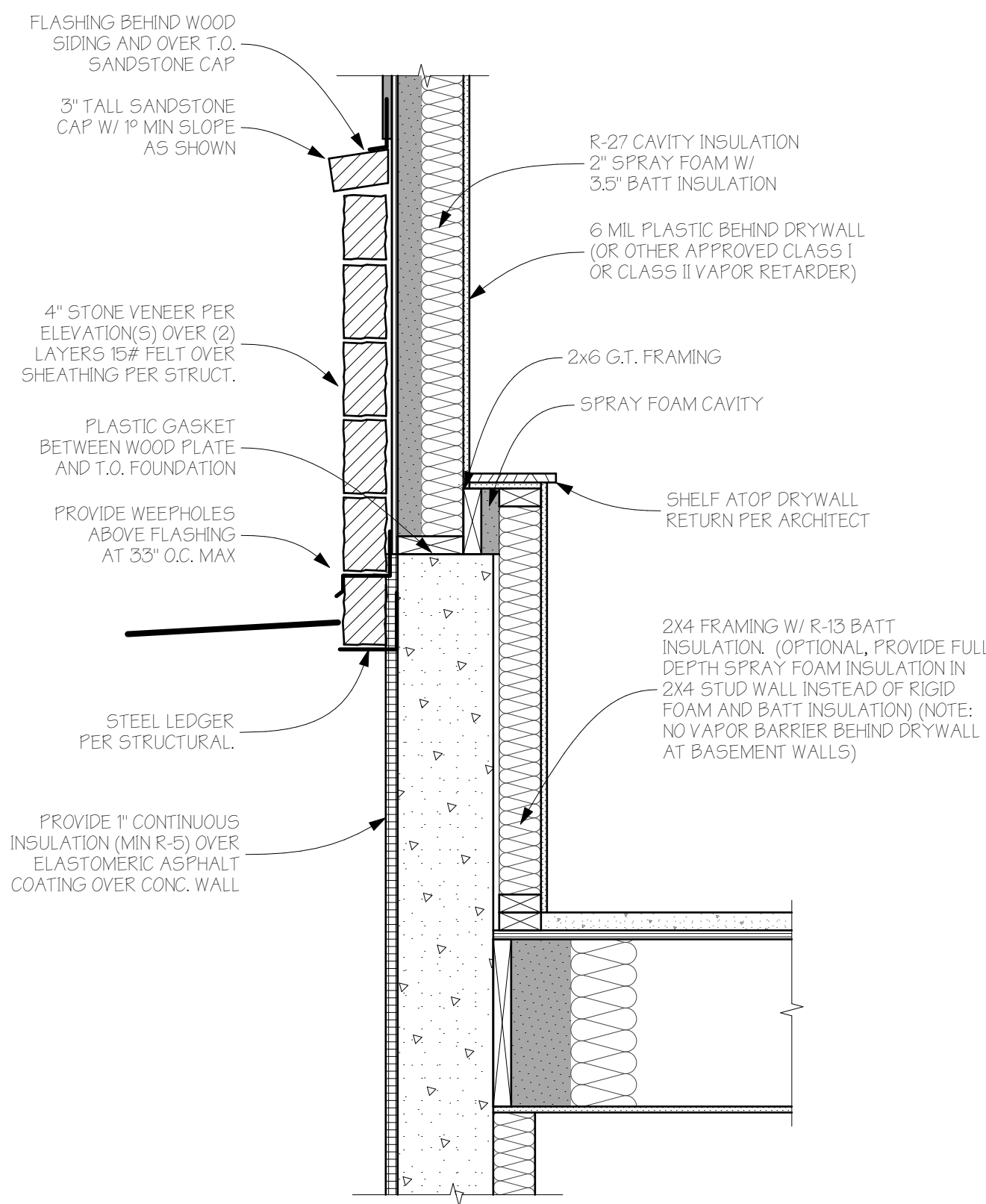
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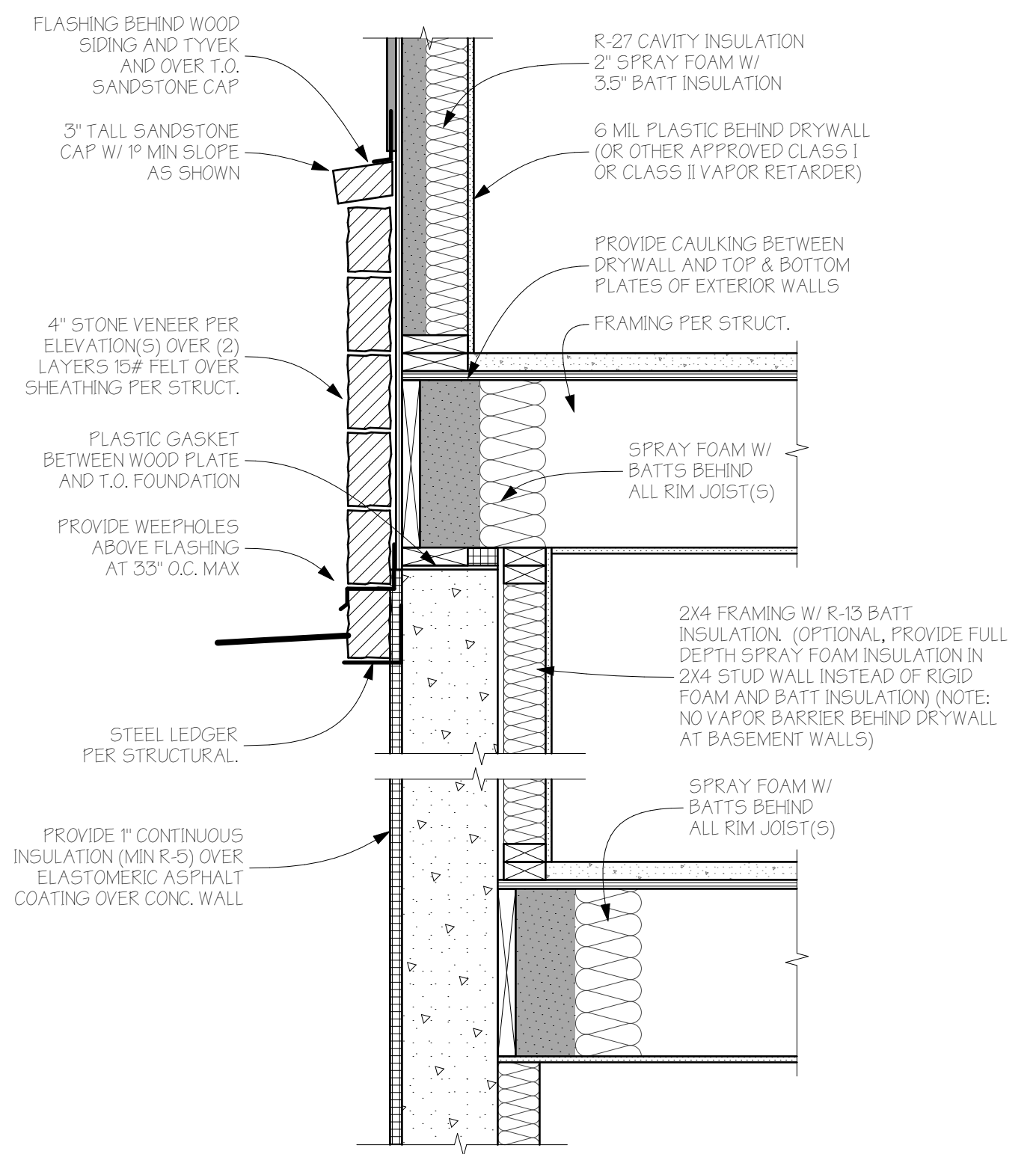
3 TYPICAL SECTION DETAIL - WINDOW
SCALE: 1" = 1'-0"
0 6" 12"



4 TYPICAL SECTION DETAIL - CRAWL SPACE
SCALE: 1" = 1'-0"
0 6" 12"



5 TYPICAL SECTION DETAIL - HALF CONC WALL
SCALE: 1" = 1'-0"
0 6" 12"



6 TYPICAL SECTION DETAIL - BASEMENT
SCALE: 1" = 1'-0"
0 6" 12"

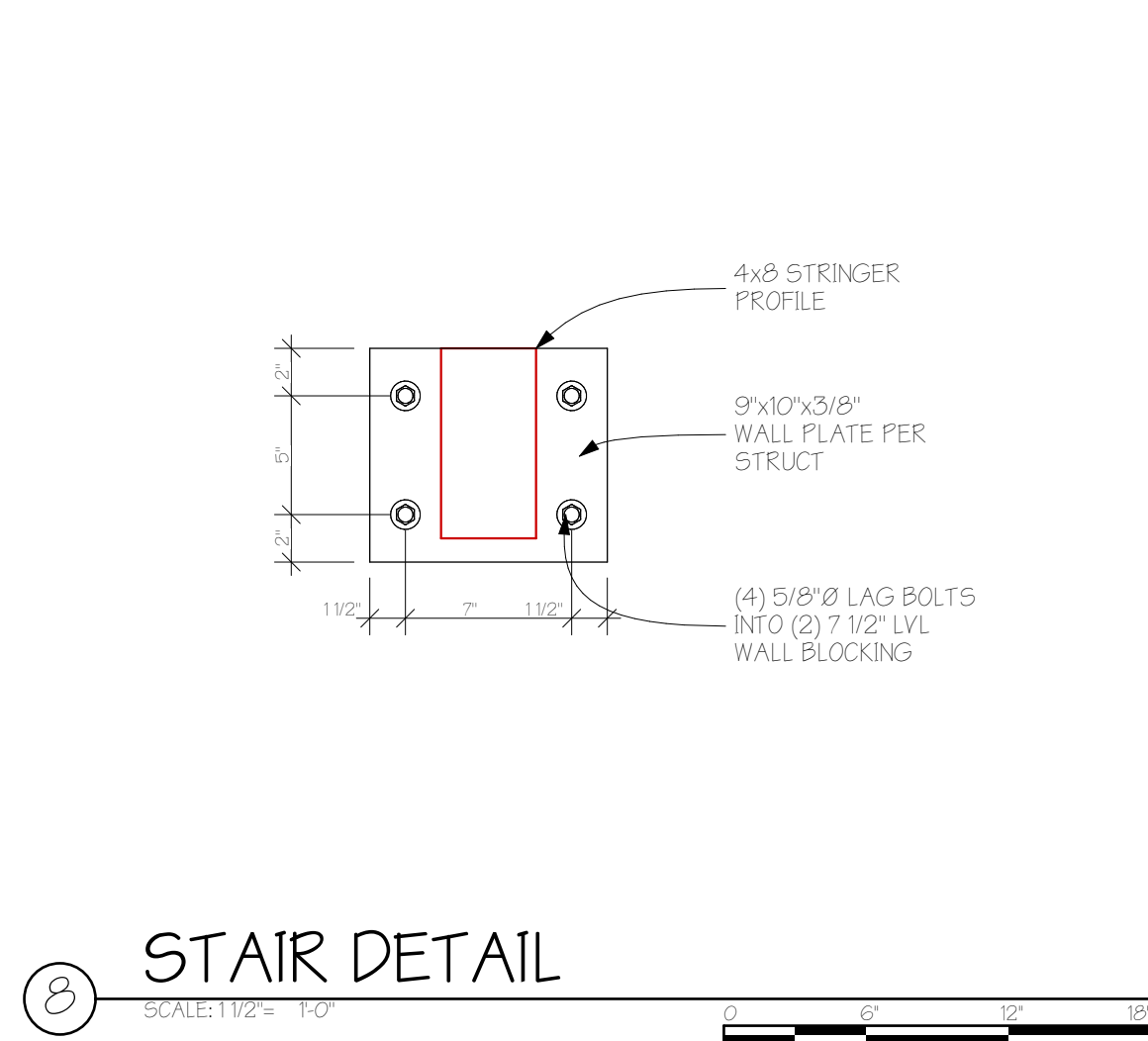
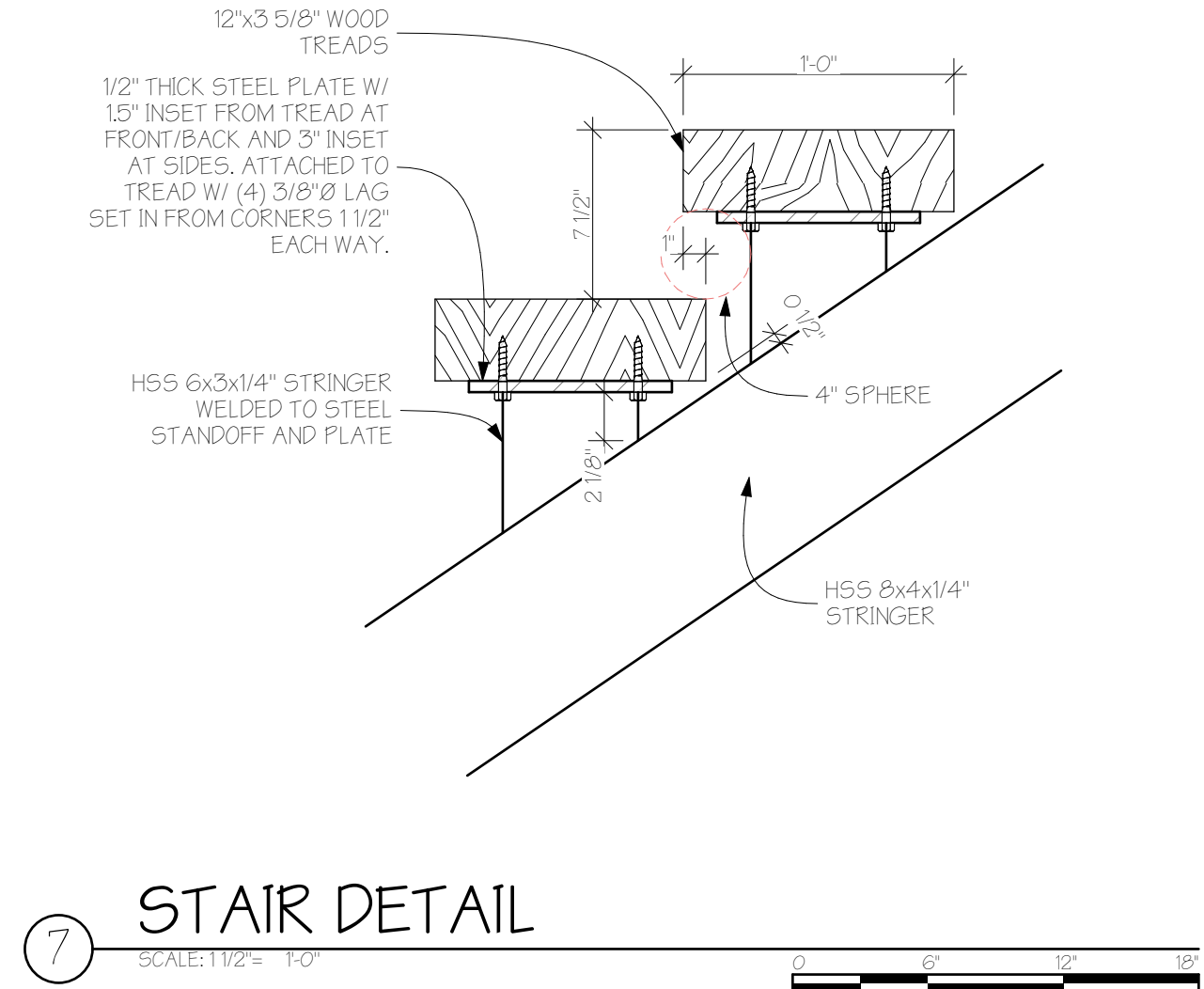
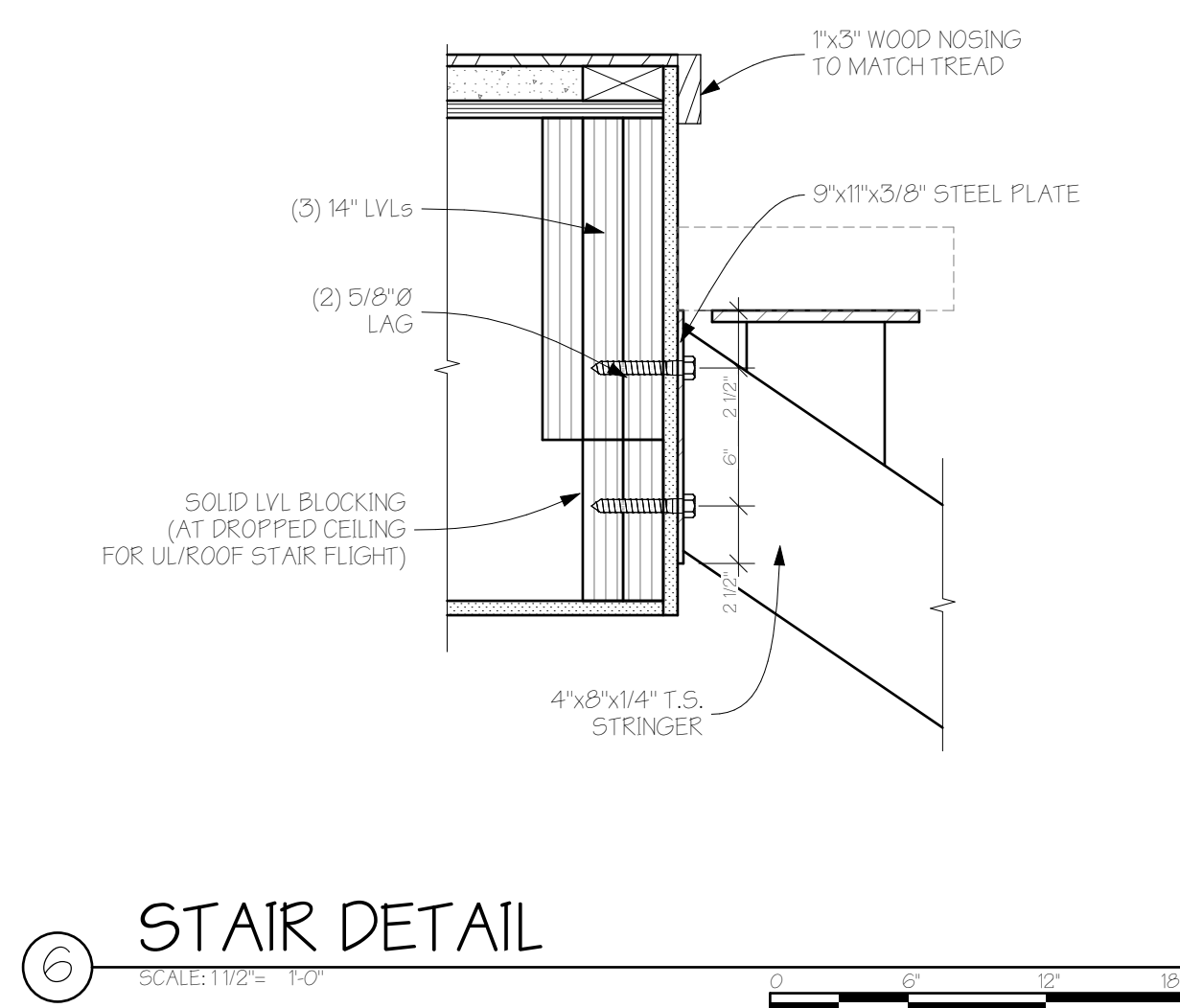
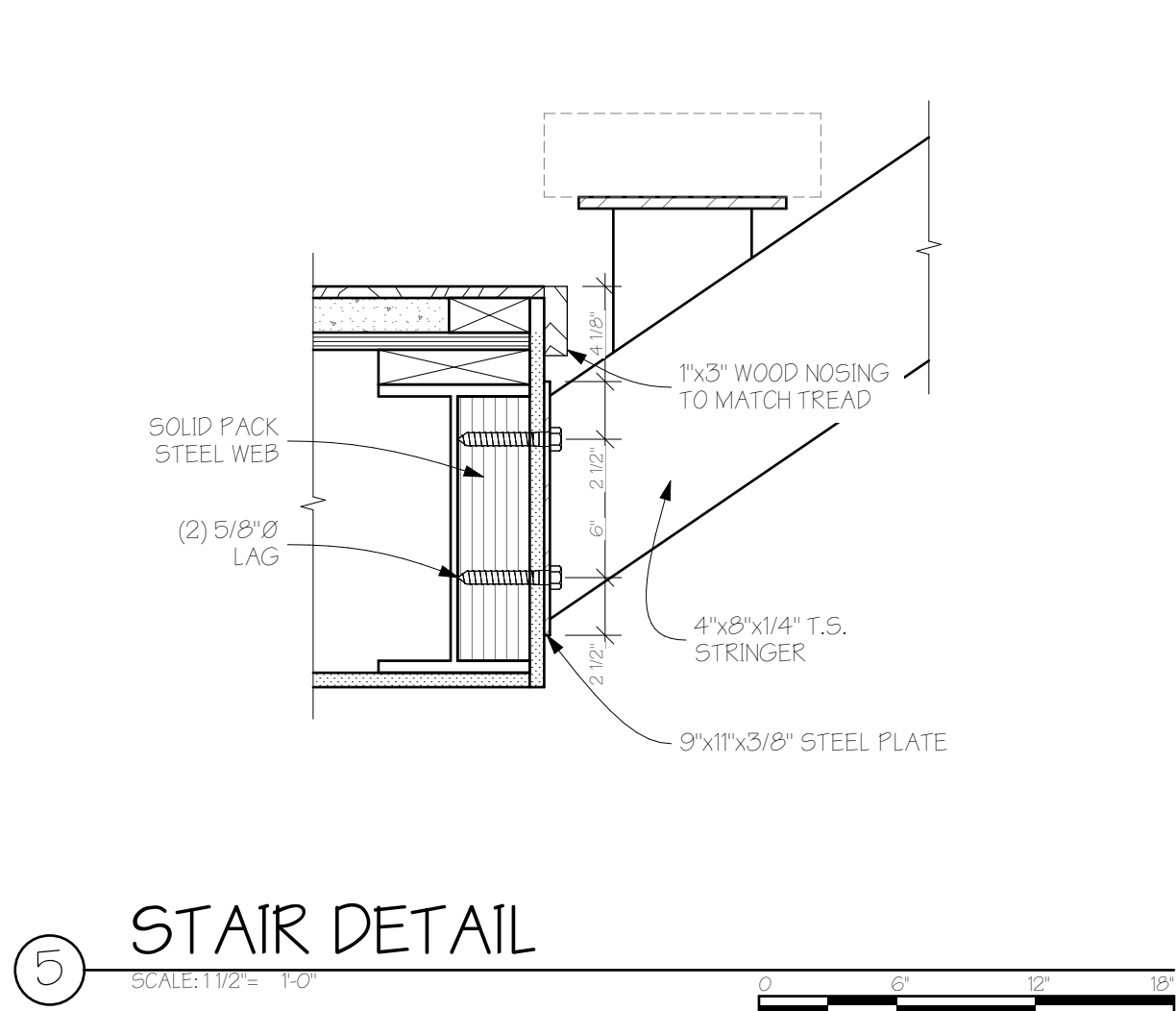
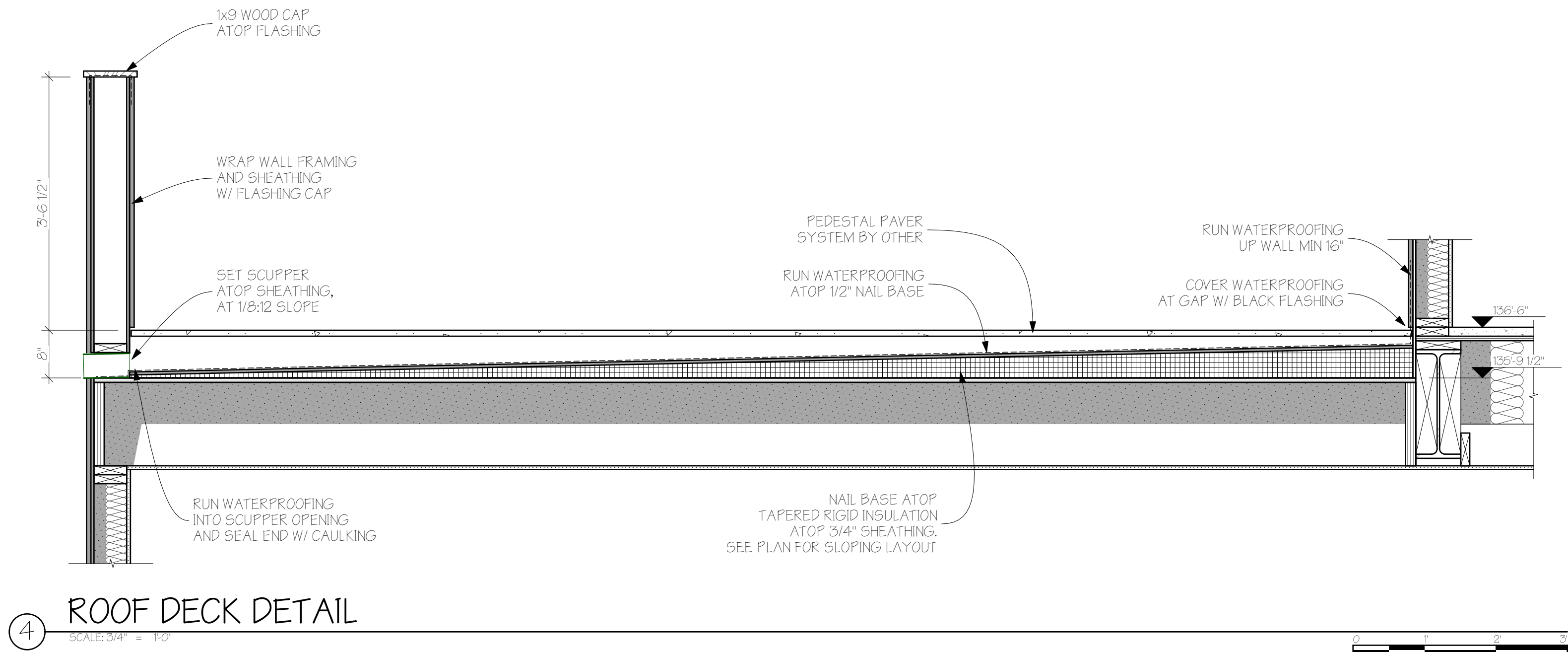
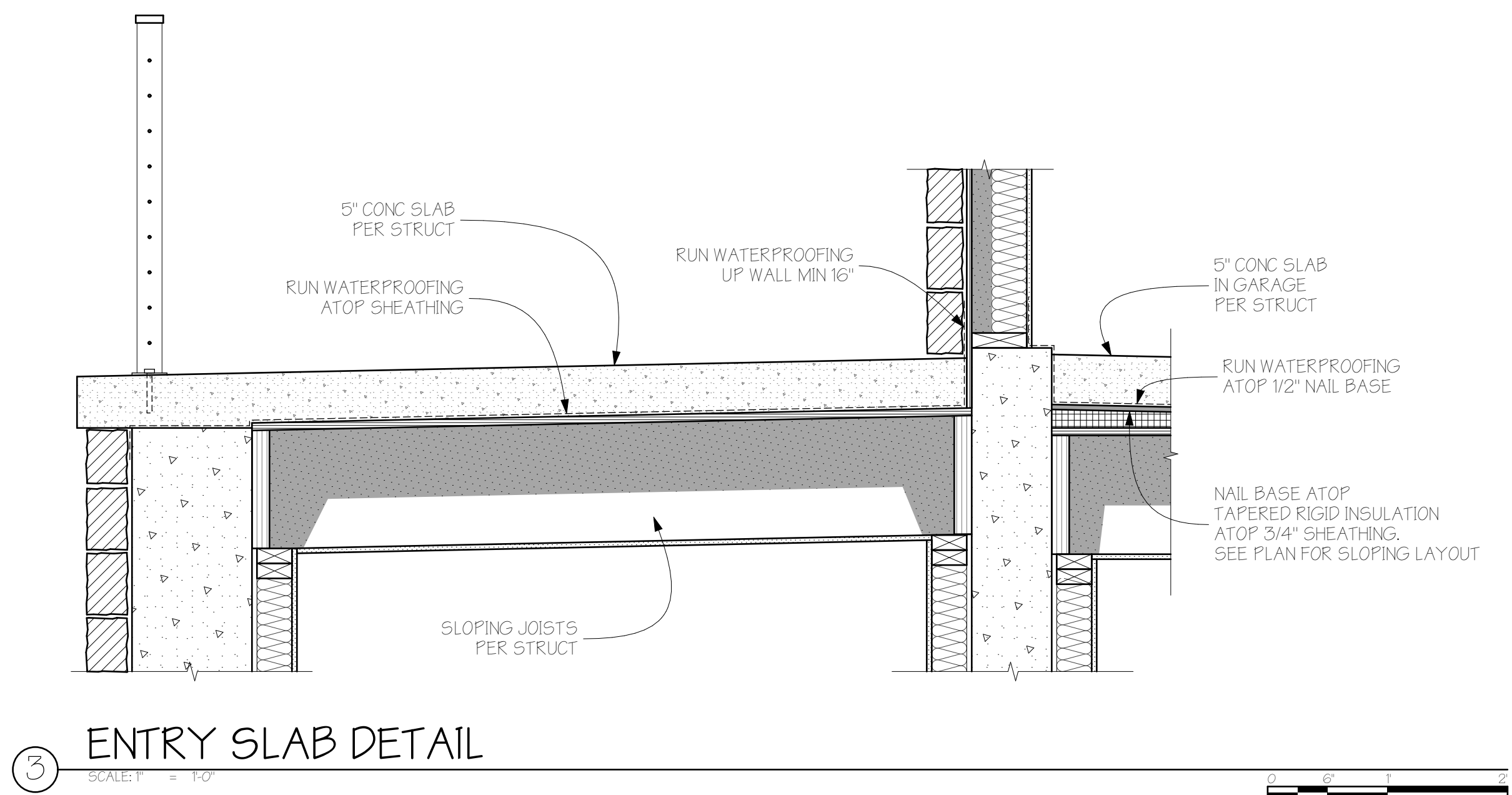
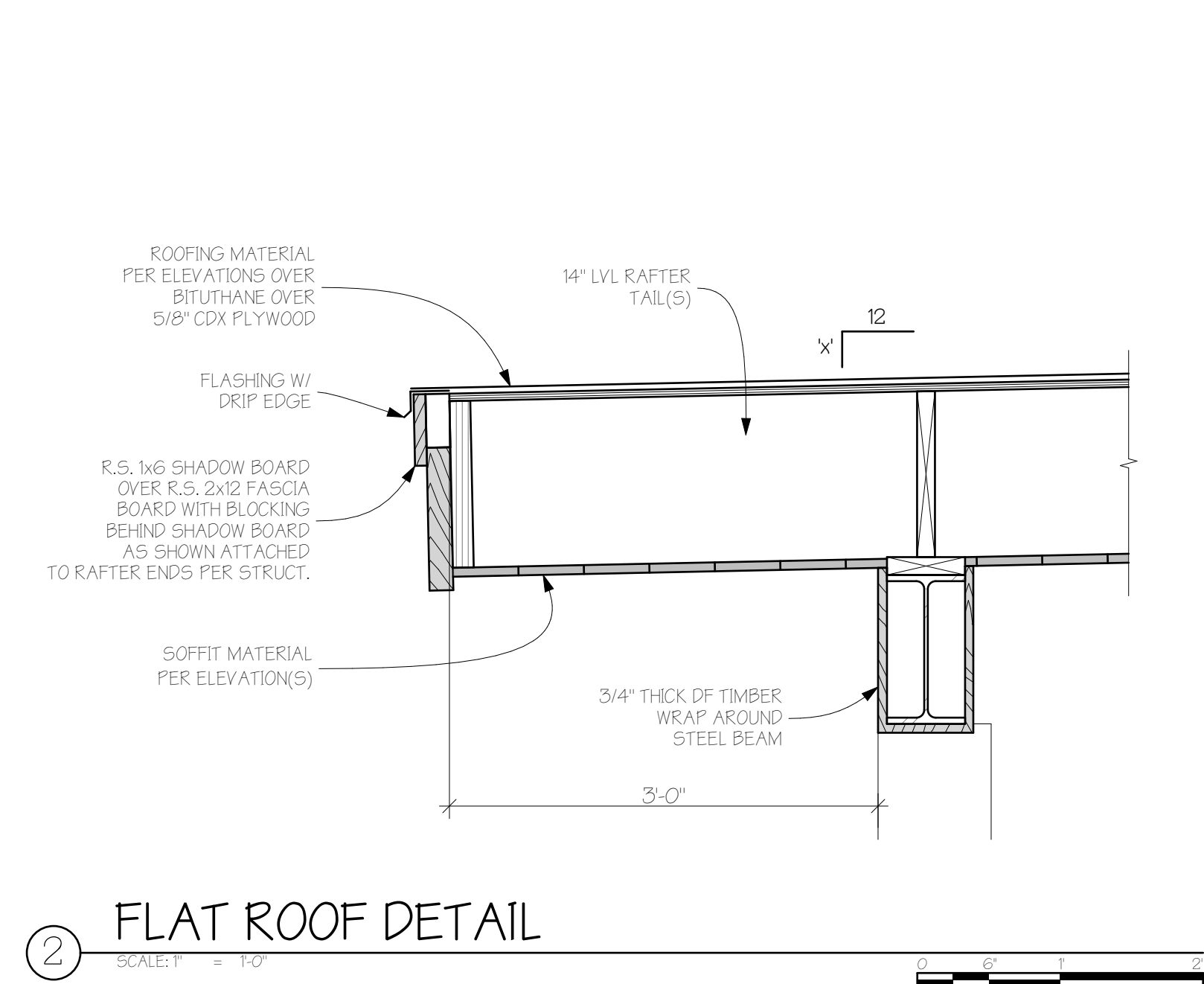
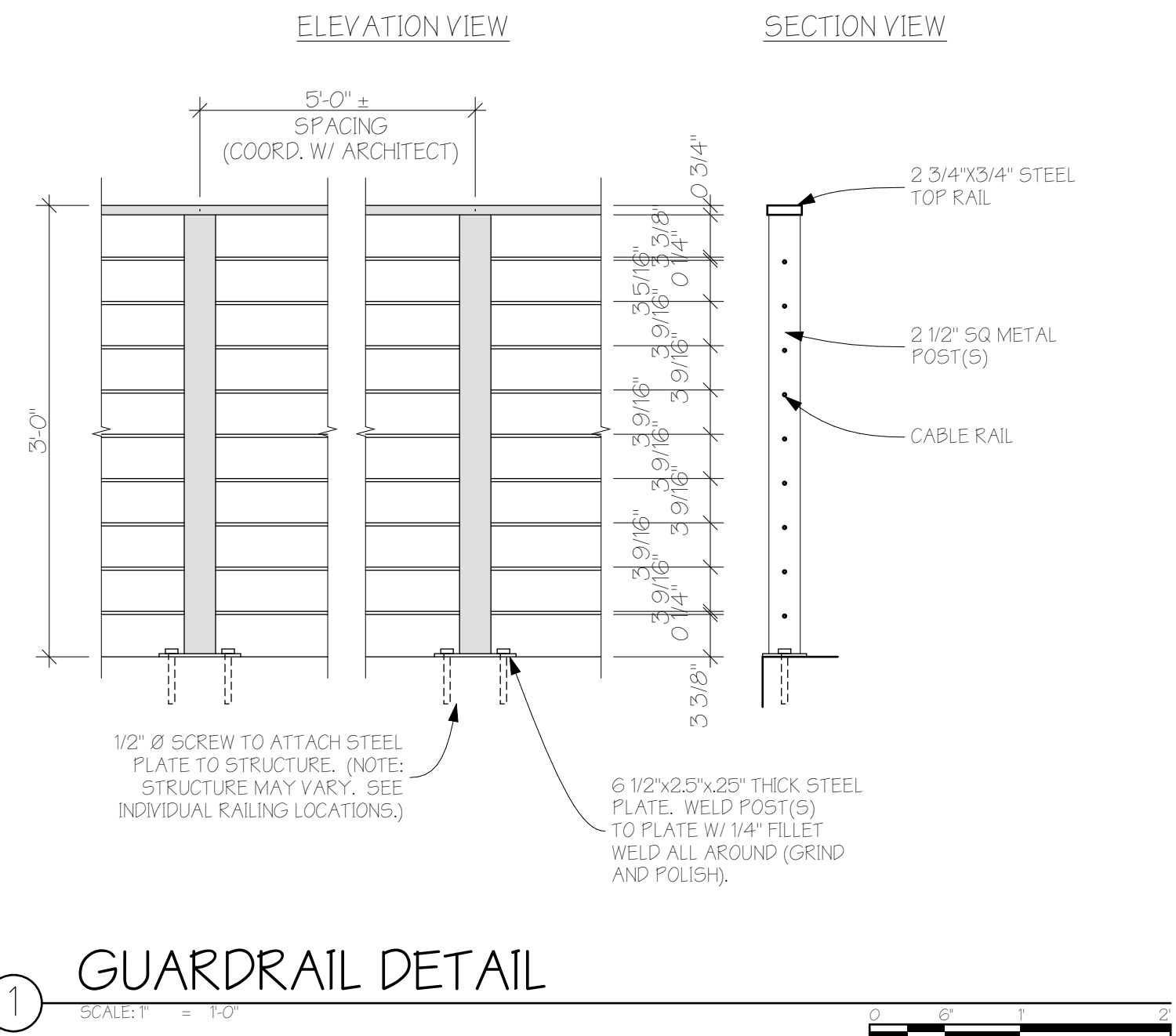
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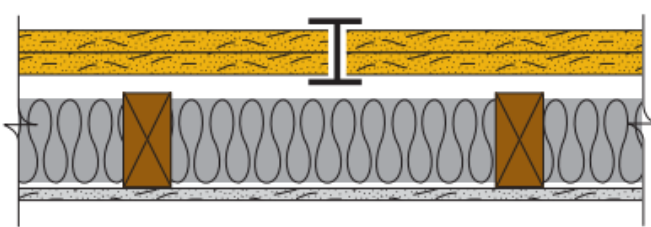
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SHEET TITLE:
DETAILS



2-Hour Fire Rating

Design Reference: UL U373, ULC W312, WHI GP/WA 120-03, cUL U373



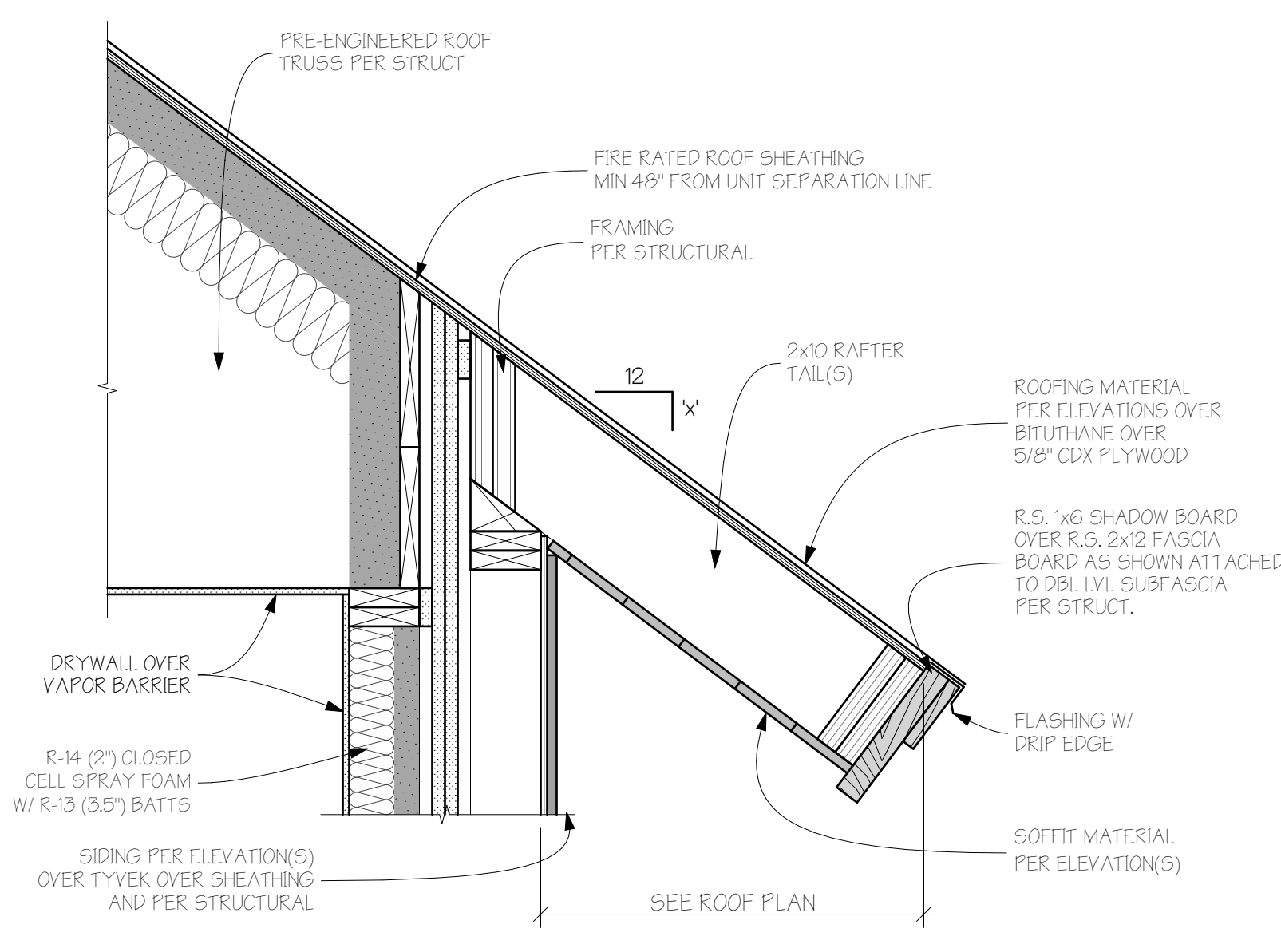
59 STC Sound Trans.

Test Reference: RAL TL 10-290

Two layers 1" (25.4 mm) DensGlass Shaftliner inserted in H-Studs 24" (610 mm) o.c. Min. 3/4" (19 mm) air space between liner panels and adjacent wood or metal framing.

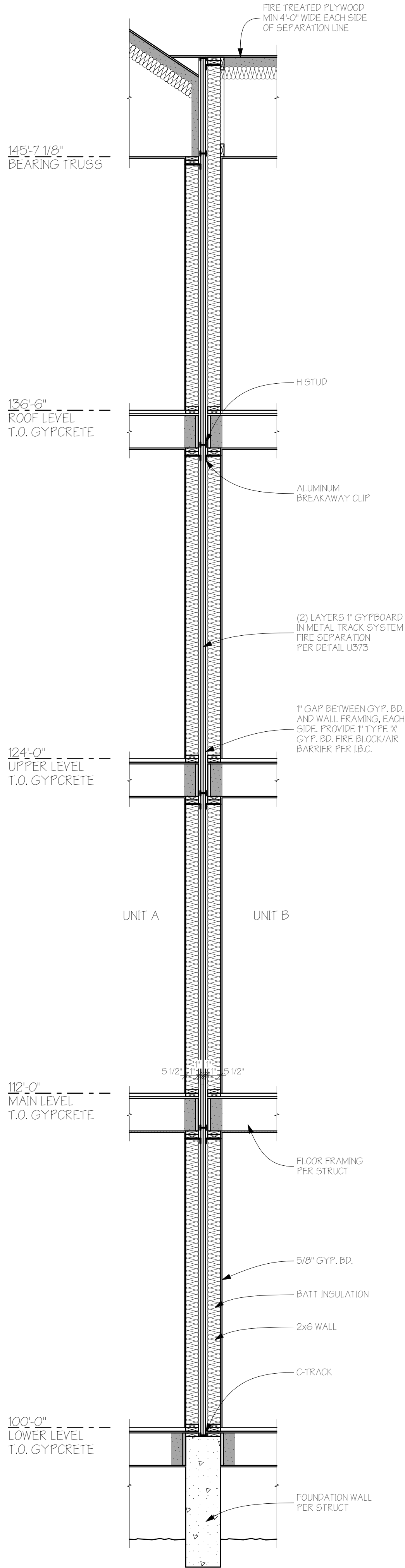
Sound Tested with 2"x 4" stud wall with 1/2" (12.7 mm) ToughRock® wallboard or DensArmor Plus® interior panels and 3-1/2" (89 mm) fiberglass insulation in stud space.

③ 2-HR FIRE SEPARATION DETAIL



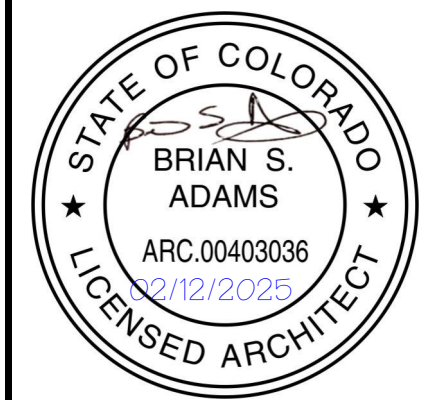
② EAVE AT PARTY WALL

SCALE: 1/8" = 1'-0"



① WALL SECTION - PARTY WALL

SCALE: 5/8" = 1'-0"



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ROUIT COUNTY, COLORADO

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DATE	CHANGE	ISSUE	DATE	CHANGE

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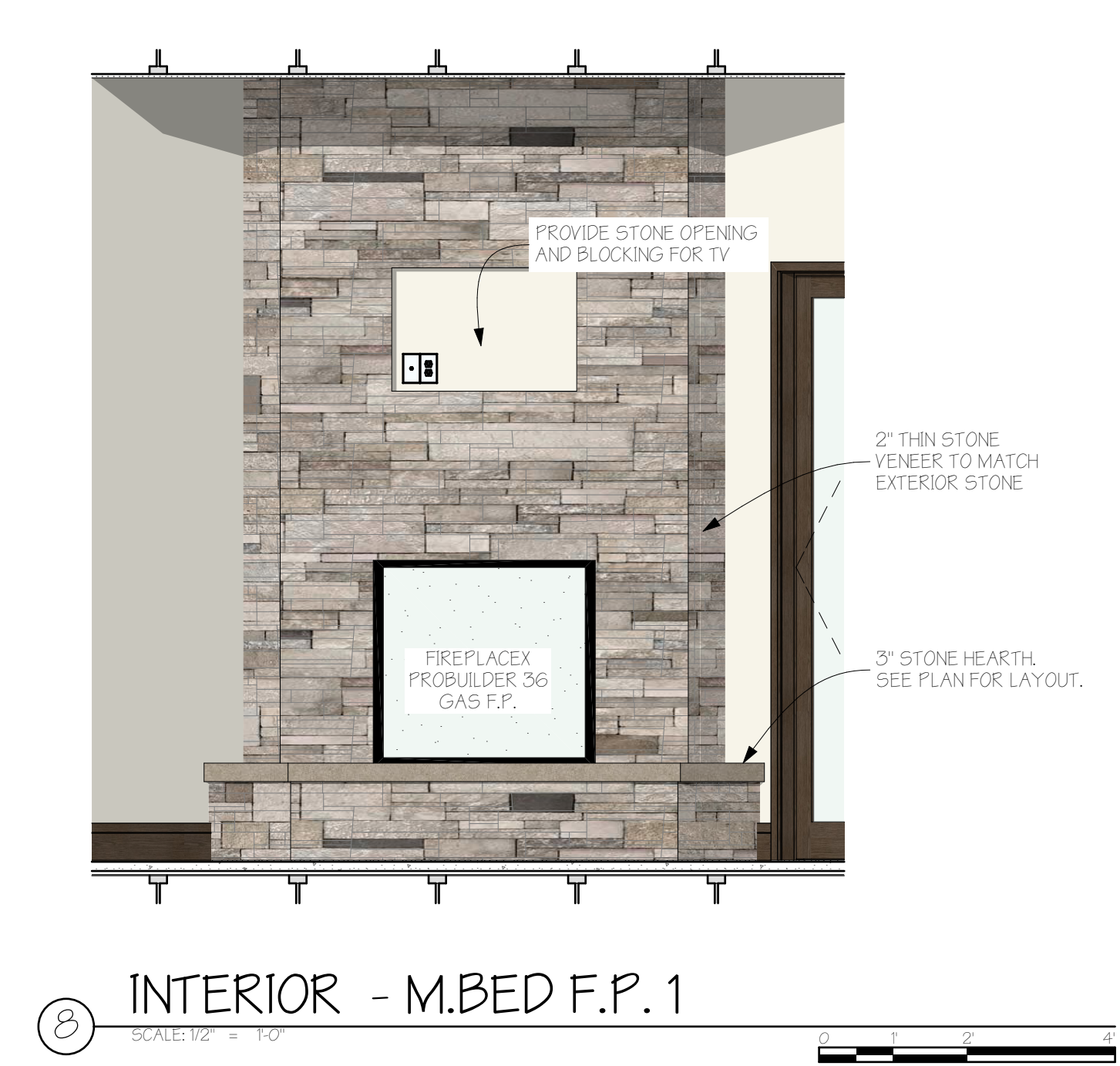
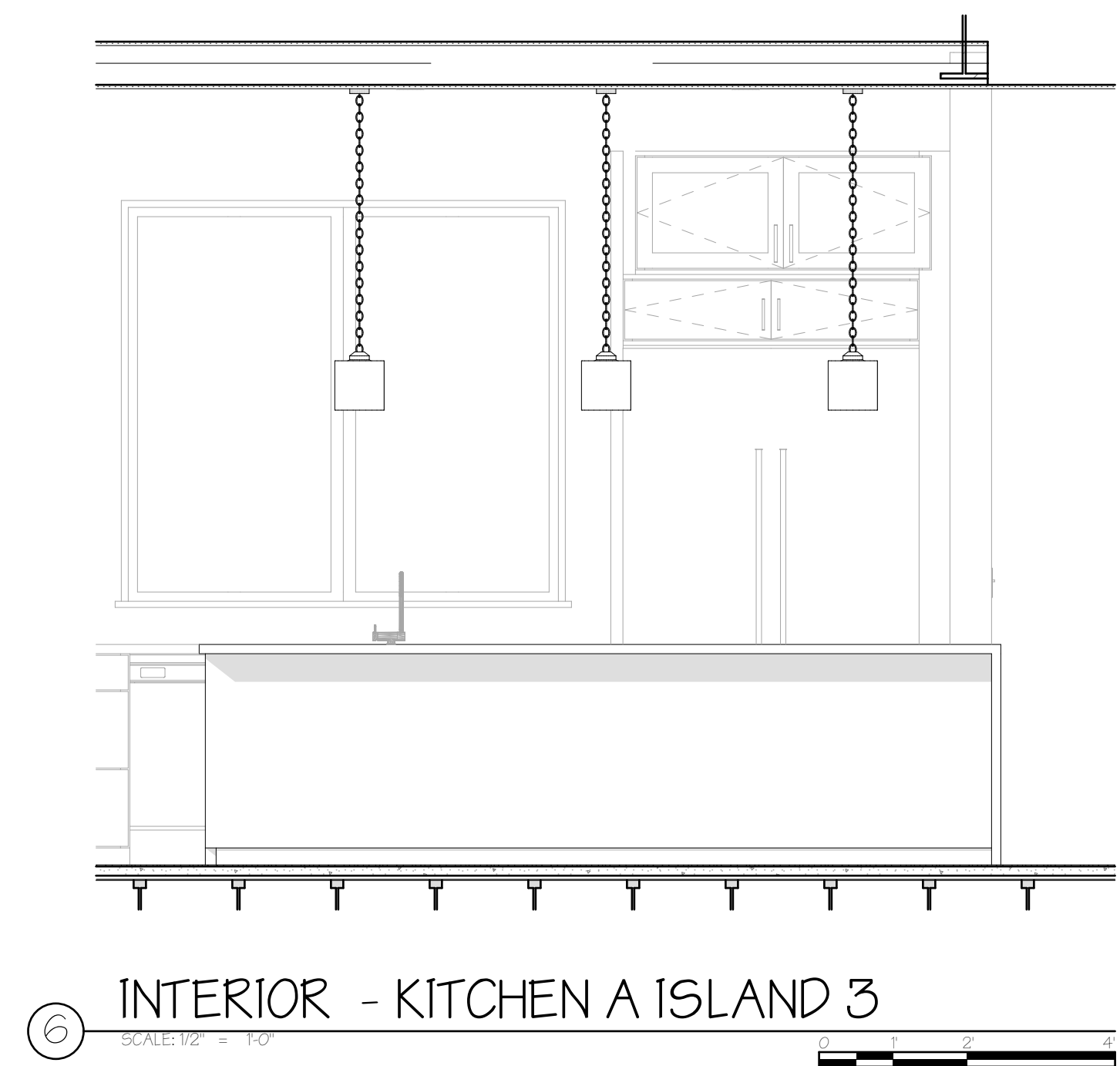
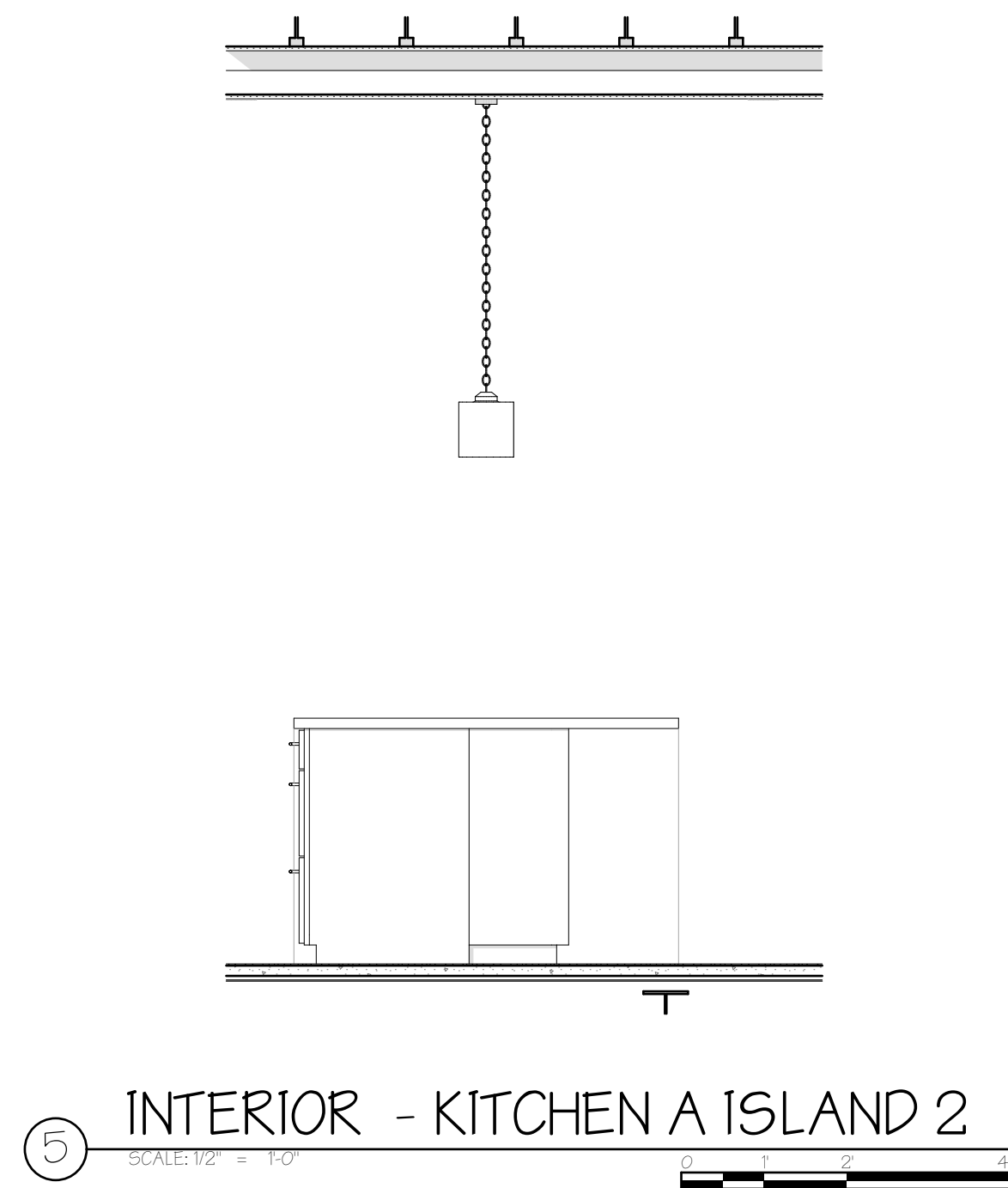
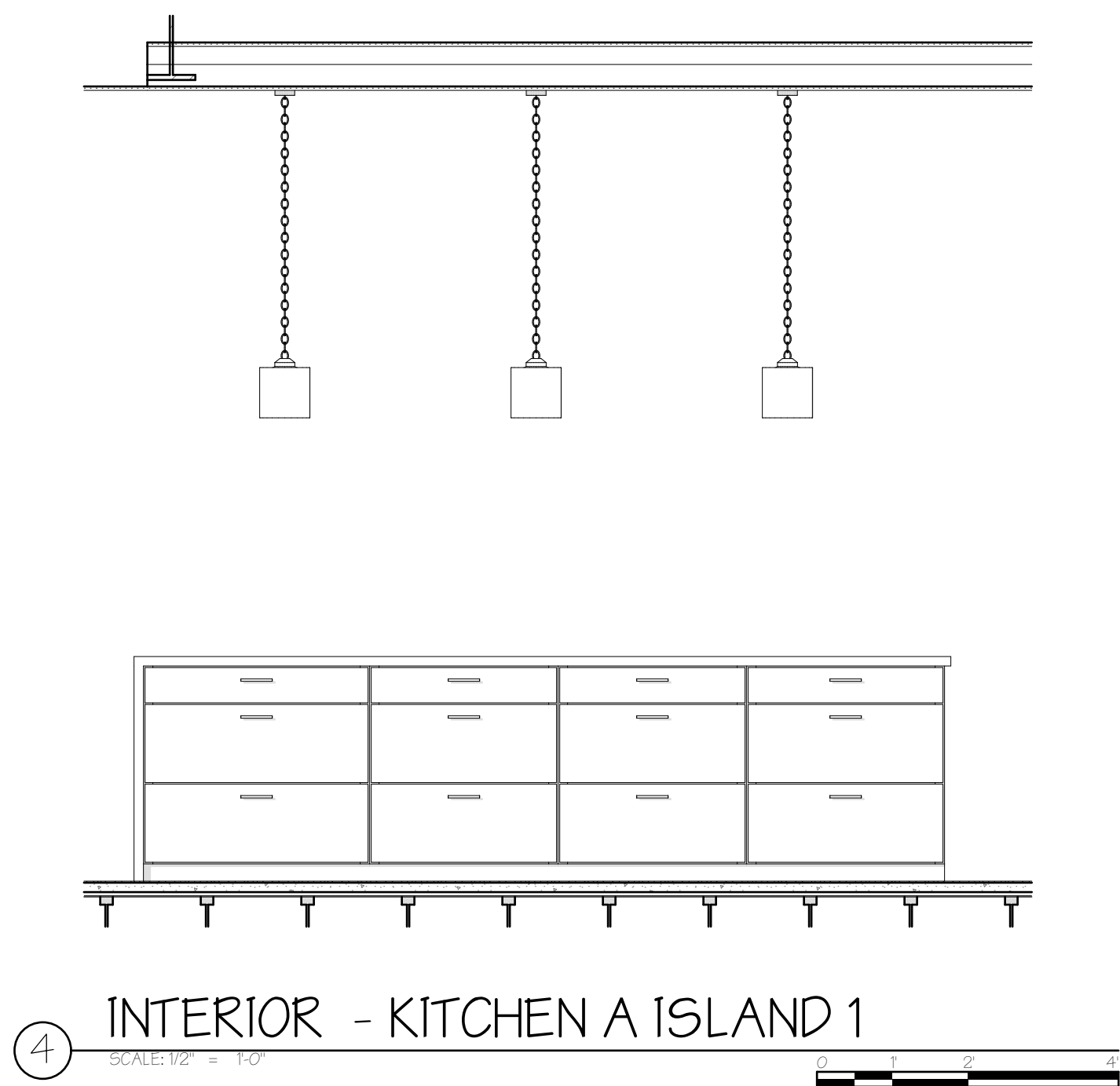
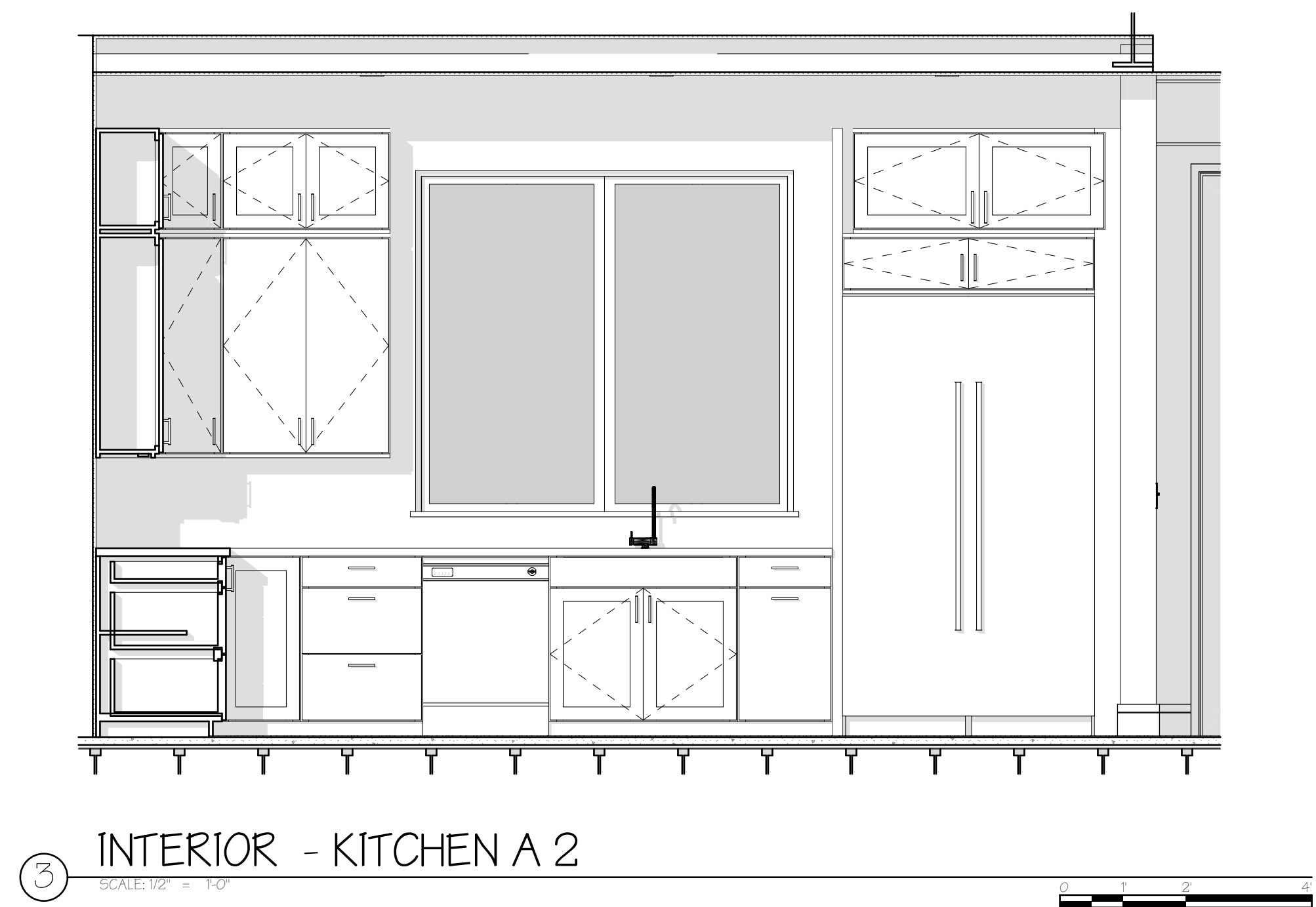
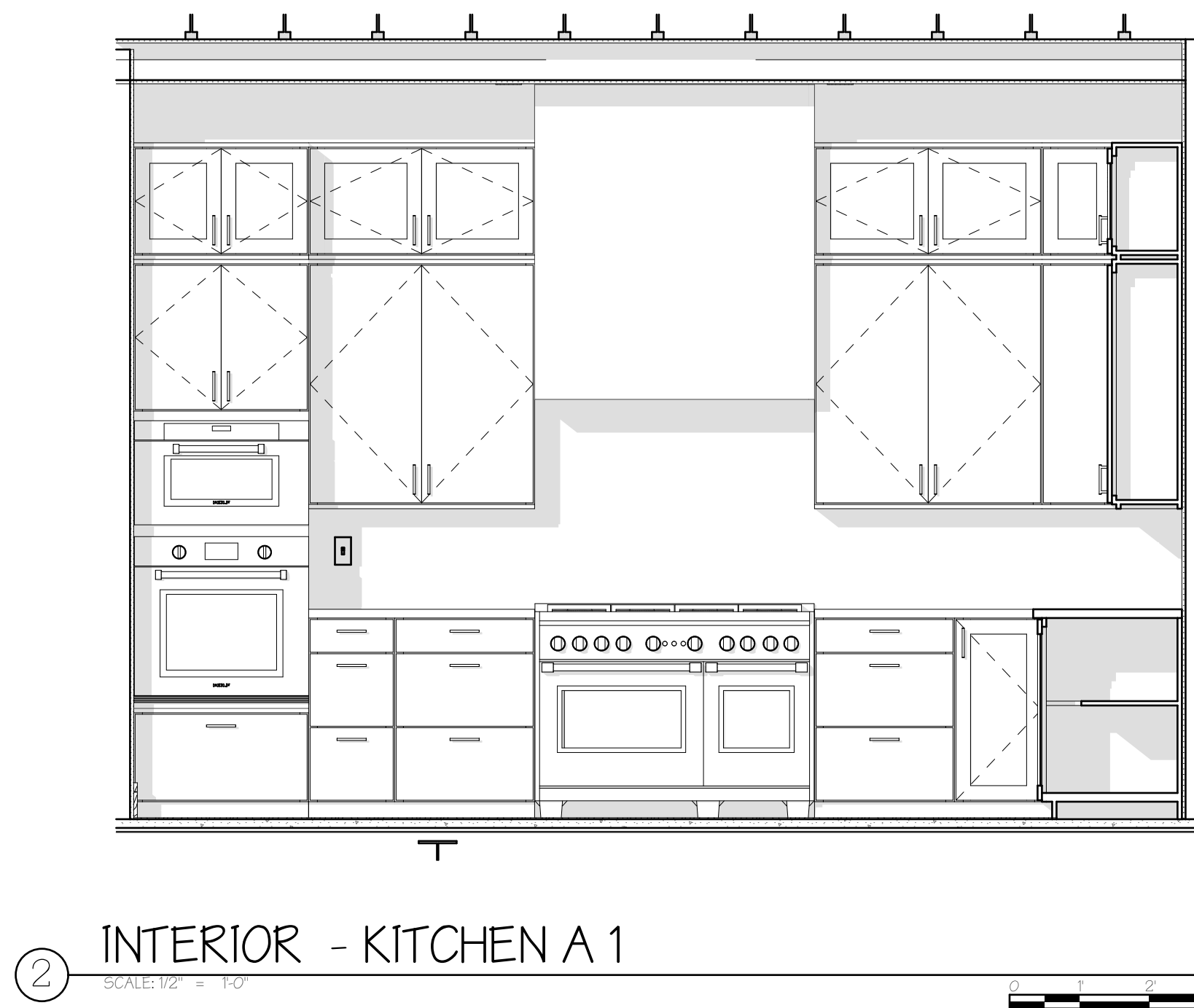
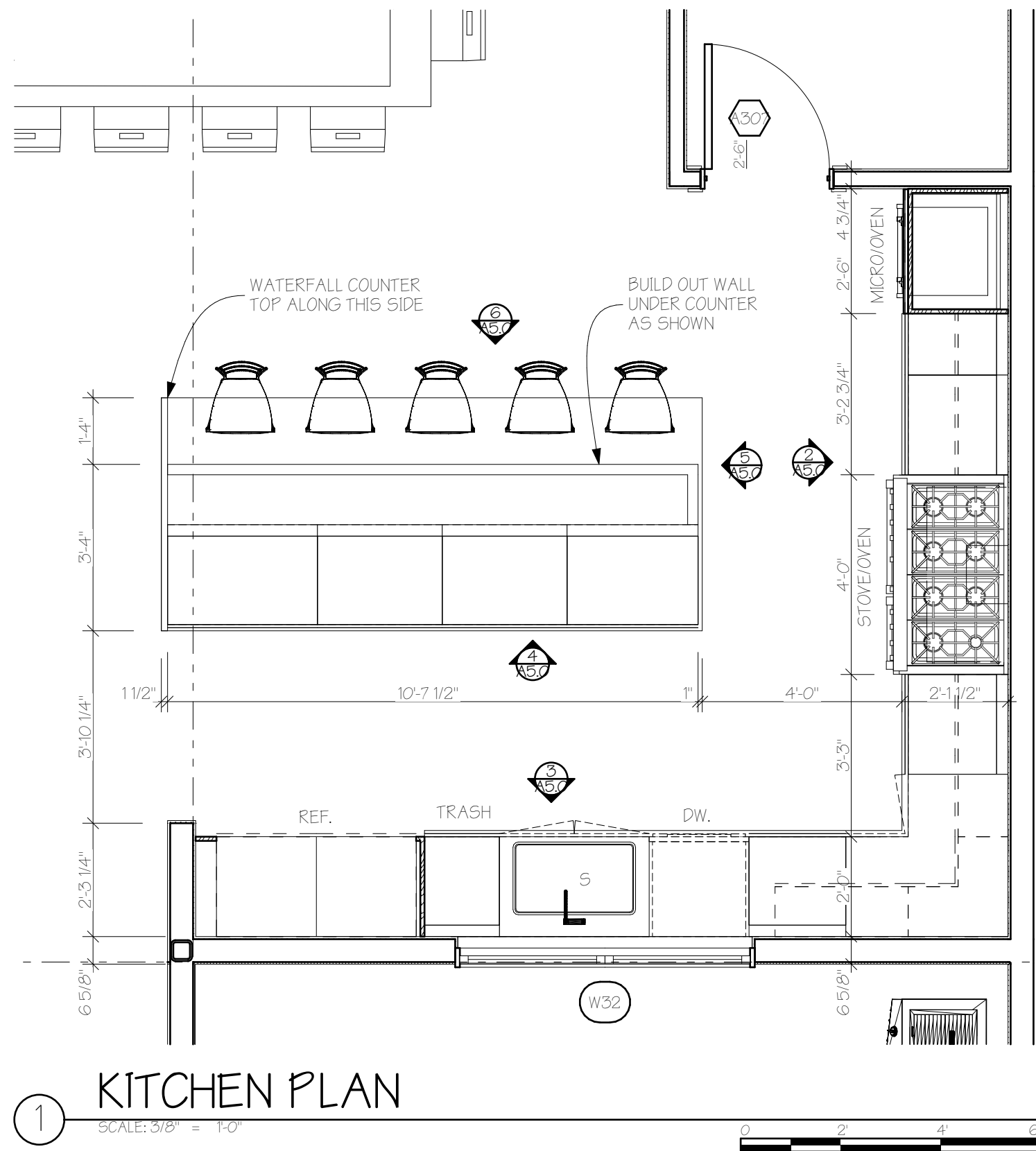
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DETAILS

SHEET NO:

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APEX
ARCHITECTURE

PO BOX 771987
STEAMBOAT SPRINGS, CO 80477
PH: 720-354-9360
adams@apex-architect.com

STATE OF COLORADO
BRIAN S. ADAMS
ARC.00403036
02/12/2025
LICENSED ARCHITECT

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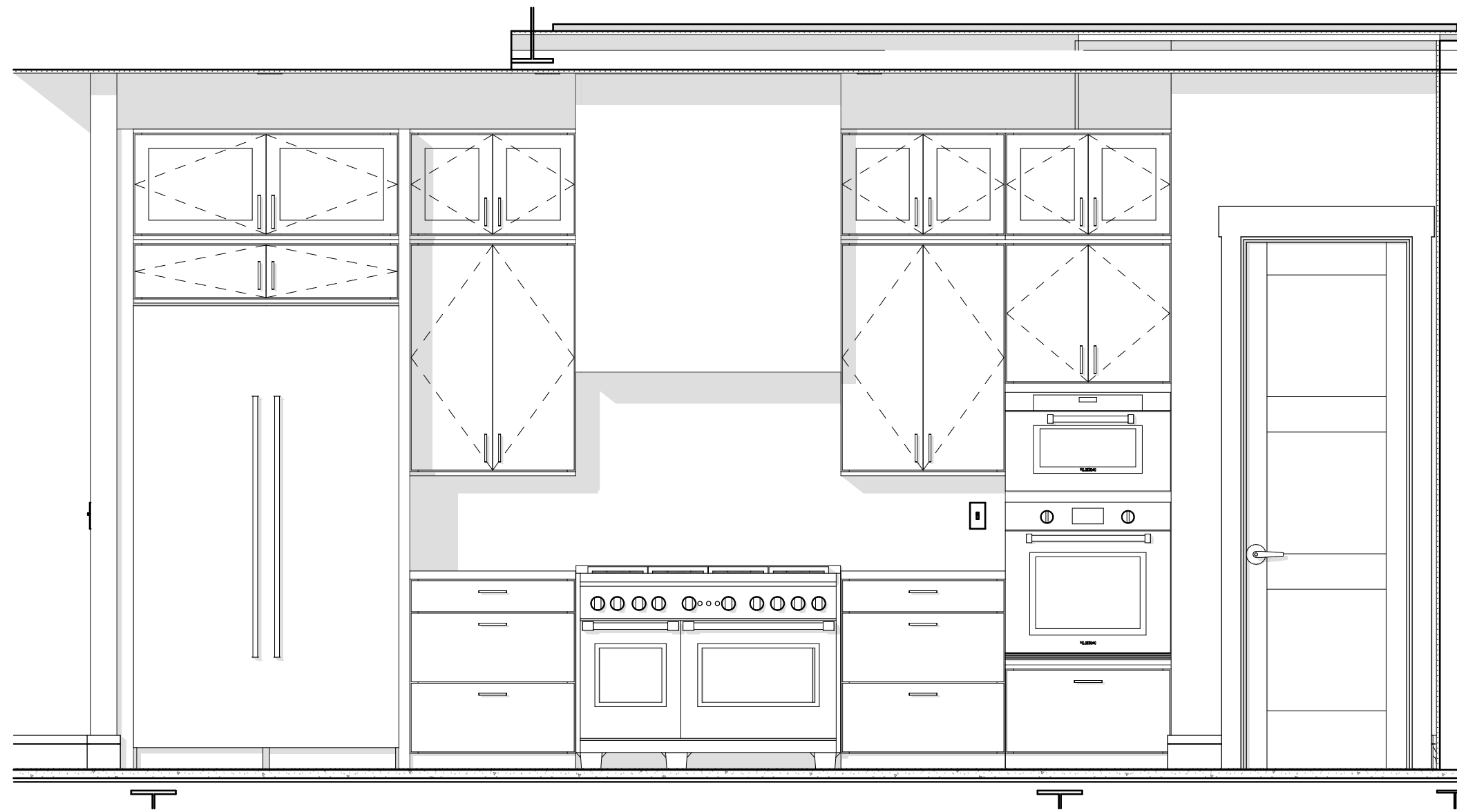
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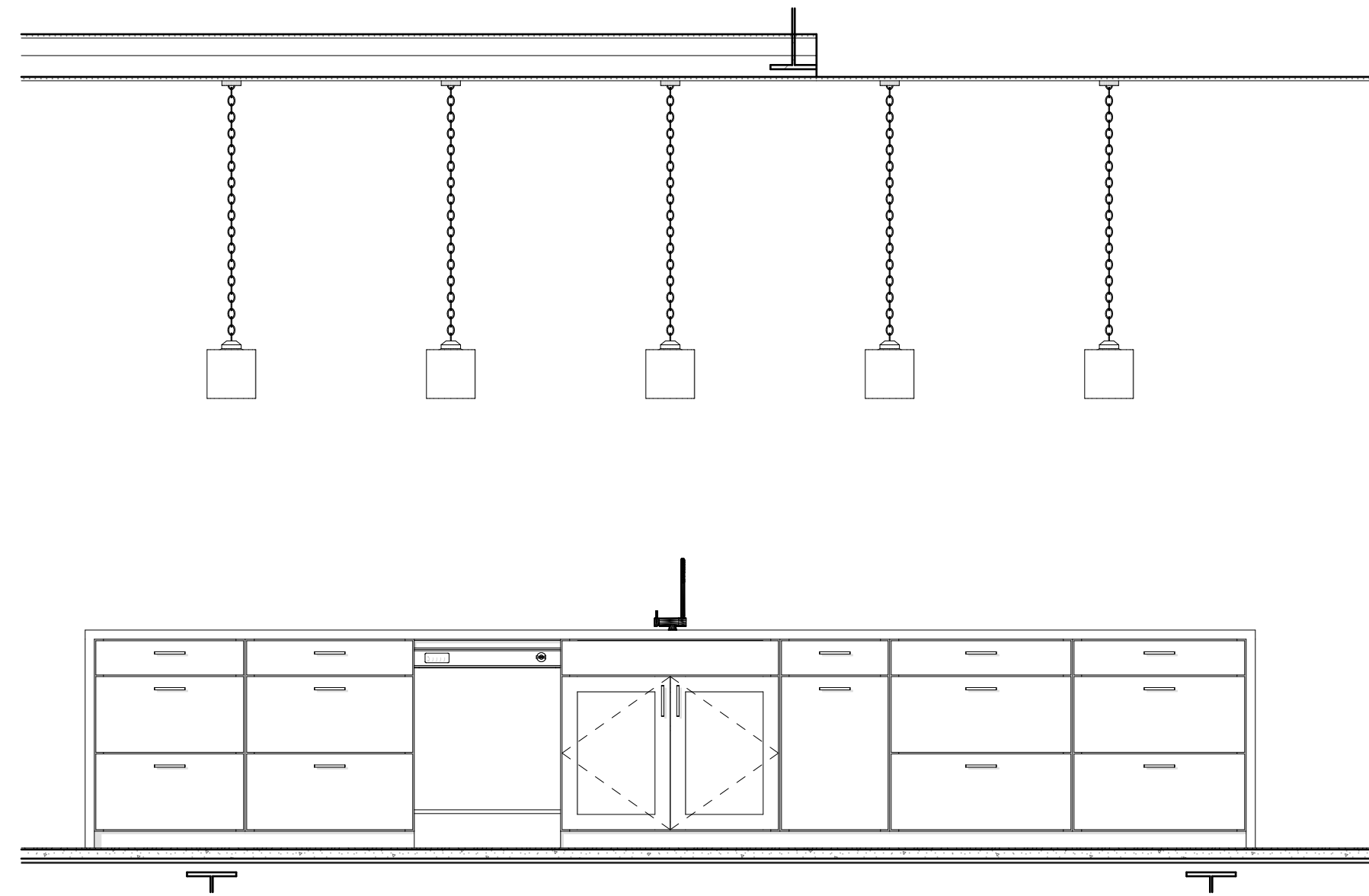
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SHEET TITLE:
INTERIOR ELEVATION(S)

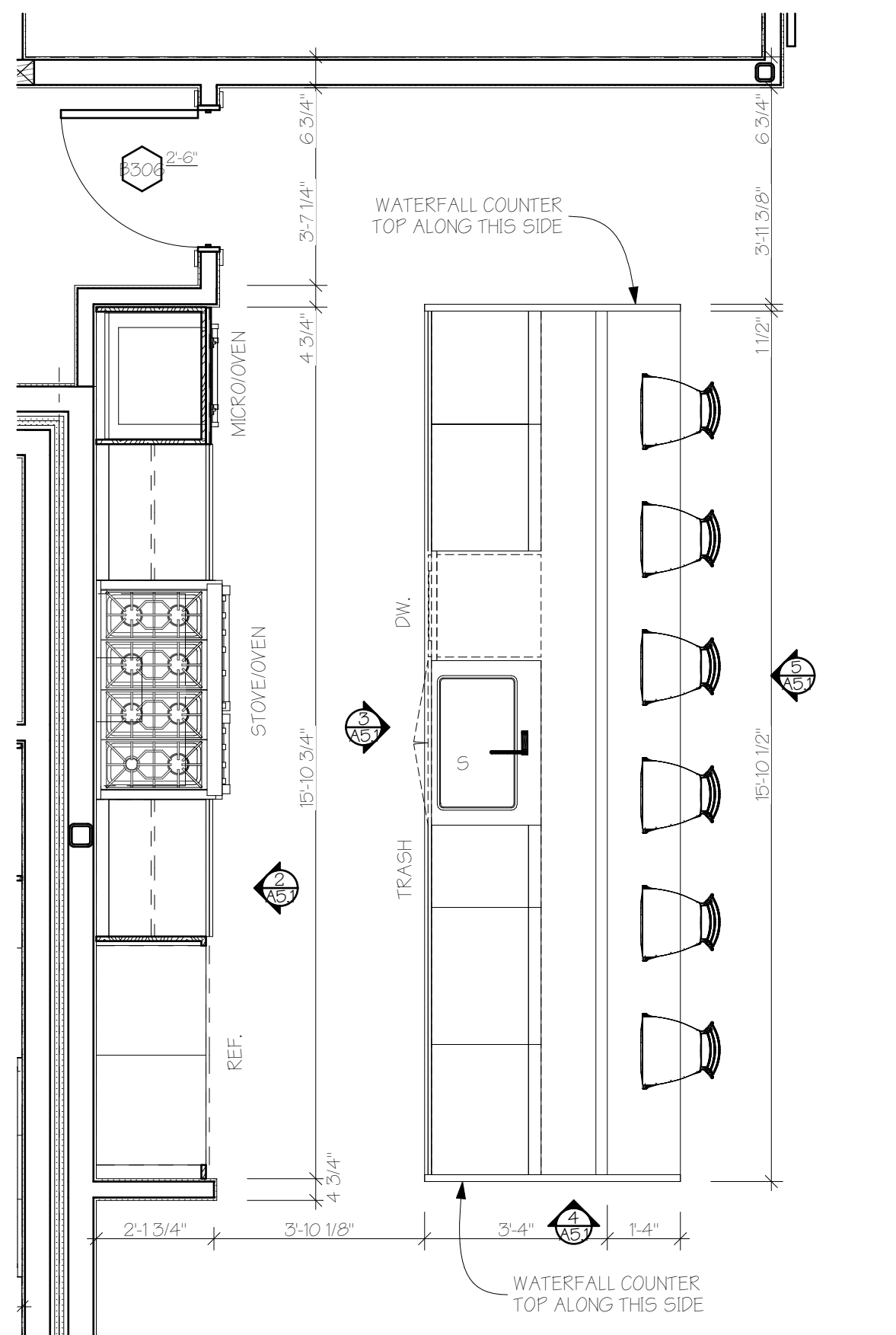
SHEET NO:
A5.0
Sheet 26 of 35



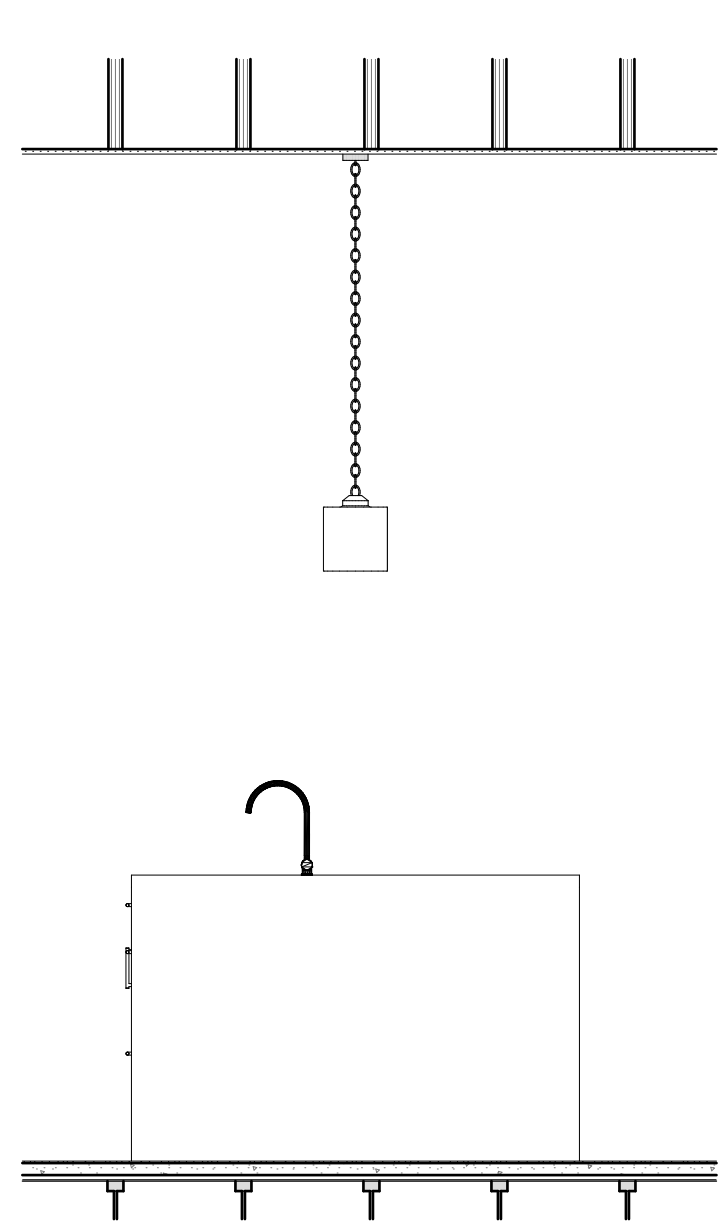
2 INTERIOR - KITCHEN B 1
SCALE: 1/2" = 1'-0"



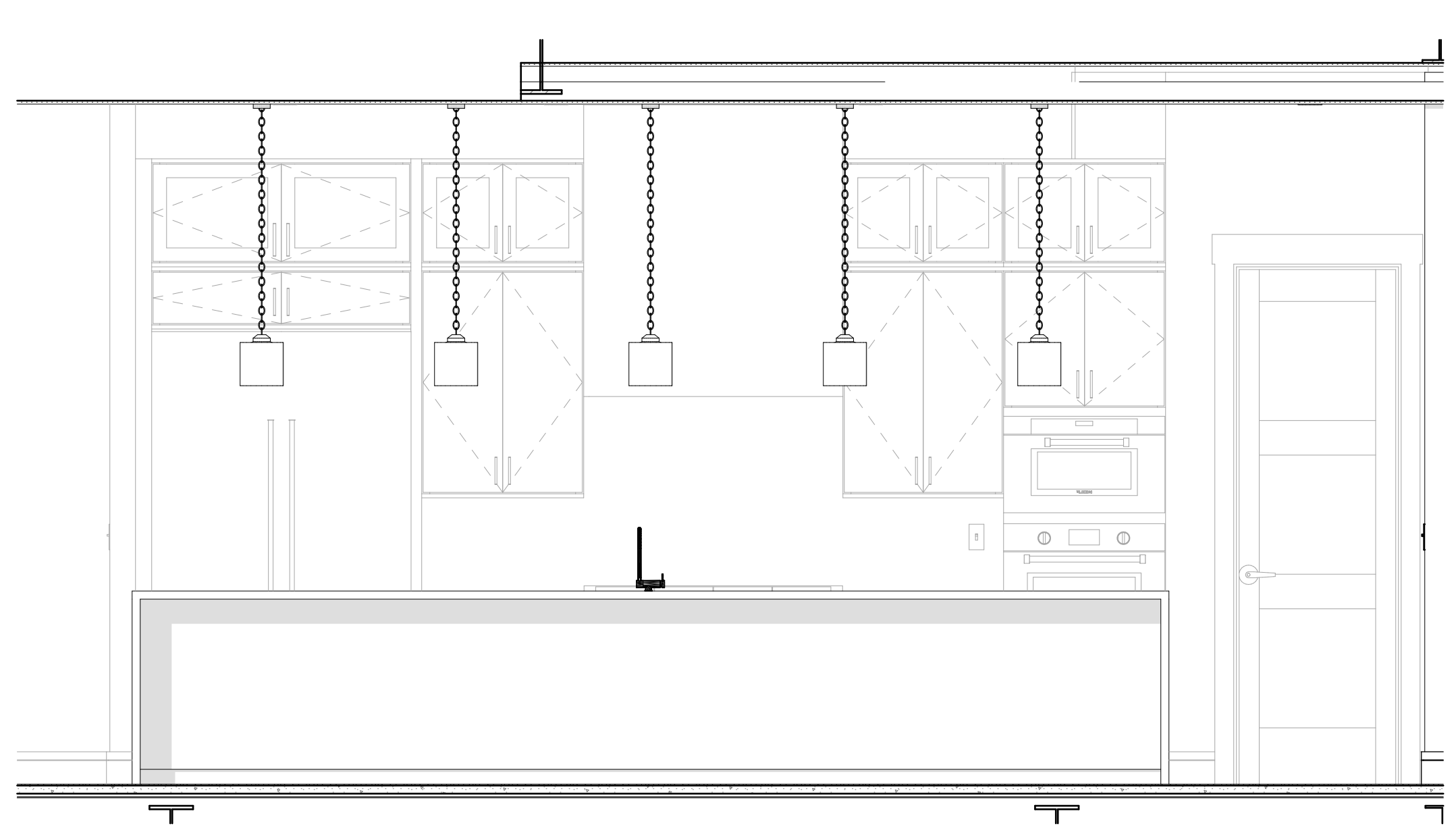
3 INTERIOR - KITCHEN B ISLAND 1
SCALE: 1/2" = 1'-0"



1 KITCHEN PLAN
SCALE: 3/8" = 1'-0"



4 INTERIOR - KITCHEN B ISLAND 2
SCALE: 1/2" = 1'-0"



5 INTERIOR - KITCHEN B ISLAND 3
SCALE: 1/2" = 1'-0"



6 INTERIOR - LIVING F.P. 2
SCALE: 1/2" = 1'-0"



7 INTERIOR - M.BED F.P. 2
SCALE: 1/2" = 1'-0"

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APEX
ARCHITECTURE

PO BOX 771787
STEAMBOAT SPRINGS, CO 80477
PH: 720-354-9360
adams@apex-architect.com

STATE OF COLORADO
BRIAN S. ADAMS
ARC.00403036
02/12/2025
LICENSED ARCHITECT

**REVIEWED
FOR
CODE
COMPLIANCE**
04/21/2025

A New Two-Unit Building for
BEAR CLAW DUPLEX
T.B.D. SKI TRAIL LANE
LOT 11A, BEAR CLAW ESTATES SUBD
ROUTT COUNTY, COLORADO

REVISIONS:
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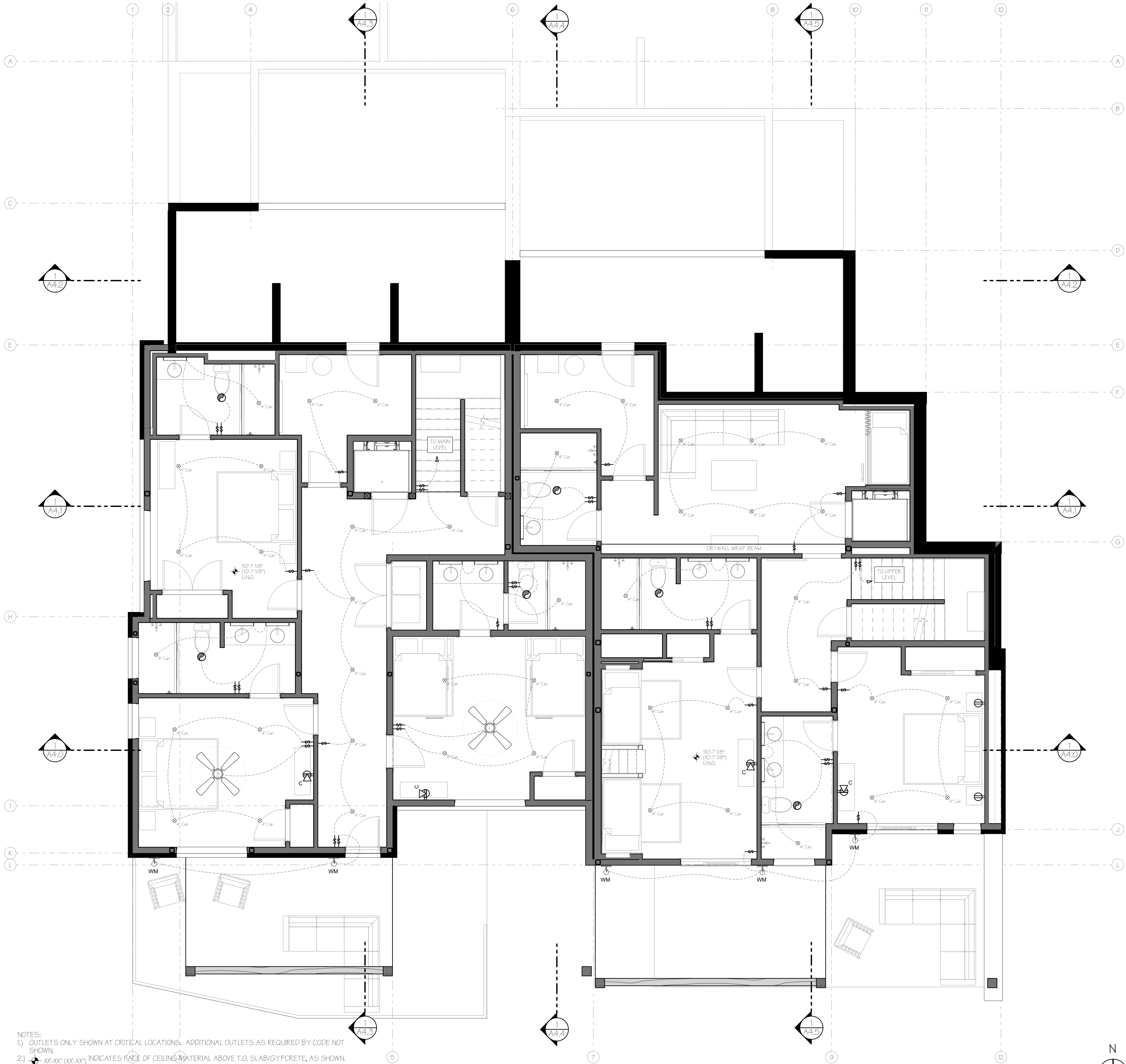
PROJECT NO: 24010

SHEET TITLE:
INTERIOR ELEVATION(S)

SHEET NO:
A5.1
Sheet 27 of 35

ELECTRICAL & LIGHTING LEGEND	
SWITCHES	
	Single Pole Switch
	3 Way Switch
	Dimmer Switch
	Fan Switch
	Timer Switch
	Electrical Panel
	Disconnect Switch
OUTLETS/OTHER	
	Duplex/Fourplex Receptacle 110v
	Switched Duplex Receptacle 110v
	GFI Receptacle
	Receptacle 220 V
	Weather Duplex Outlet
	Recessed Floor Receptacle
	Home Link Port - Cable
	Home Link Port - Cat 5 Internet
	Home Link Port - Telephone
	Door Bell
	Sound System
	"J" Box
	Exhaust Fan
	Smoke Detector
FIXTURES	
	Light Fixture
	Monopoint Light Fixture
	Wall Mounted Light Fixture
	Wall Mounted Spot Light Fixture
	Porcelain Light Fixture w/ Chain
	Dec. Fan / Light Fixture
	Recessed Can Light Fixture
	Eyeball Can Light Fixture
	Heat Lamp
	Chandelier Fixture
	Ext. Wall Mounted Fixture
	Track Lighting
	Ctg Mounted Pendant Fixture
	Undercabinet lighting
	Valance
	Light w/ Door Switch
	LowVolt Light Fixture
	1 x 4 Fluorescent Fixture
	2 x 4 Fluorescent Fixture
	2 x 2 Fluorescent Fixture

LIGHT FIXTURE QUANTITIES			
FLOOR	TYPE	QTY	SYMBOL
LOWER	CEILING FAN	2	
	EXT. WALL MOUNT	5	
	REC CAN - 4"	44	
	VANITY	10	
MAIN	CEILING FAN	4	
	CHAND - RECROOM	2	
	EXT. WALL MOUNT	4	
	REC CAN - 4"	69	
	VANITY	9	
UPPER	WALL SCONCE	8	
	CEILING FAN	2	
	CHAND. DINING	2	
	ENTRY PEND.	2	
	EXT. WALL MOUNT	13	
	GARAGE DR	2	
	KITCHEN PEND.	8	
	LED STRIP	8	
	REC CAN - 4"	54	
	UNDERCAB	6	
TERRACE	VANITY	2	
	WALL SCONCE	3	
	EXT. WALL MOUNT	4	
	REC CAN - 4"	17	
	SAUNA LIGHT	2	
	STEP LIGHT - EXT	10	



- NOTES:
1) OUTLETS ONLY SHOWN AT CRITICAL LOCATIONS. ADDITIONAL OUTLETS AS REQUIRED BY CODE NOT SHOWN.
2) XX-XX" (XX-XX") INDICATES FACE OF CEILING MATERIAL ABOVE T.O. SLAB/GYPCRETE, AS SHOWN.

LOWER LEVEL RCP AND LIGHTING PLAN

SCALE: 1/4" = 1'-0"



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ROUIT COUNTY, COLORADO

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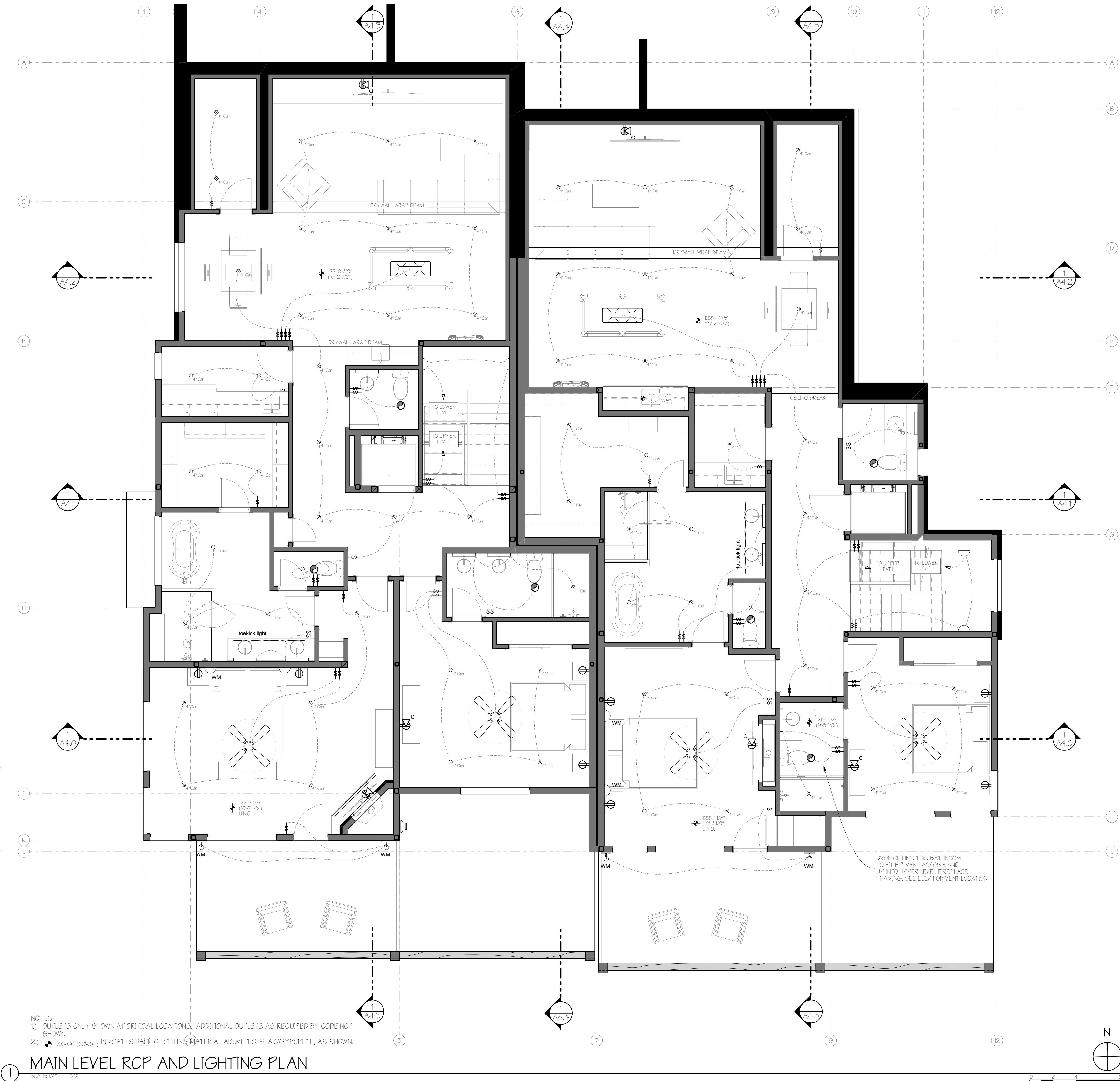
ISSUE DATE: 02/12/2025
PERMIT SET

PROJECT NO: 24010

SHEET TITLE:
LOWER LEVEL RCP,
LIGHTING LEGEND/
QUANTITIES

SHEET NO:

A6.0
Sheet 26 of 35



ELECTRICAL NOTES

RE302.1 Additional Electric Infrastructure. Combustion equipment in residential buildings must meet the requirements of Sections RE302.2 through RE302.6.

Exceptions: 1. Interior fireplaces that do not serve as a primary source of heating
2. Exterior fireplaces and firepits.

RE302.2 Combustion Equipment. Combustion equipment shall be provided with all of the following:

1. A dedicated, appropriately phased branch circuit sized to accommodate future electric equipment or appliances to serve a comparable capacity to meet the heating load.
2. An electric receptacle or junction box that meets the requirements of Section RE302.5, and is connected to the electrical panel through the branch circuit. Each electrical receptacle or junction box shall have reasonable access to the combustion equipment or dedicated physical space for future electric equipment with no obstructions other than the current combustion equipment.
3. Where combustion equipment is used for space or water heating, dedicated physical space shall be provided for future electric equipment, including an electric resistance backup coil for ducted systems, if applicable.

RE302.3 Electrical Panel Space. The electrical panel shall have a reserved space for a minimum two-pole circuit breaker for each branch circuit provided for future electric equipment or appliances.

RE302.4 Labeling. The junction box or receptacle and the dedicated circuit breaker space serving future electric equipment or appliances in the electrical panel shall be labeled for their intended use.

RE302.5 Adjacency. The electrical receptacle or junction box must be provided within 3 feet of the combustion equipment or appliances, or within 3 feet of the dedicated physical space for future electric equipment or appliances. Exception: For combustion equipment dedicated to space or water heating, the electrical receptacle or junction box shall be located not more than 6 feet from the combustion equipment or the dedicated physical space for future electric equipment.

Residential Electric Vehicle Ready Code Section RV502:

RV502 Electric Vehicle Power Transfer Infrastructure. New vehicle parking spaces for residential buildings shall be provided in accordance with Sections RV502.1 and RV502.3.

RV502.1 One- and Two-family Dwellings and Townhouses. Each dwelling unit with a dedicated attached or detached garage or other onsite designated parking provided for the dwelling unit shall be provided with one EV ready space per dwelling unit.

RV502.2 EV Ready Spaces. Each EV ready space shall have a branch circuit that complies with all of the following:

1. Terminates at a receptacle, located within 3 feet of each EV ready space it serves. EV ready includes two adjacent parking spaces if the receptacle for the electrical facilities of this section is installed adjacent to and between both parking spaces.
2. Has a minimum circuit capacity of 8.3 kVA (40A 208/240V).
3. The electrical panel, electrical distribution equipment directory, and all outlets or enclosures shall be marked "For future electric vehicle supply equipment". Exception: A receptacle need not be provided if a hard-wired EVSE is installed.

RV502.3 Identification. Construction documents shall designate the EV ready space and indicate the locations of raceway and/or conduit and the termination points serving them. The circuits or spaces reserved in the electrical panel for EV ready spaces shall be clearly identified in the panel or subpanel directory.

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MAIN LEVEL RCP AND LIGHTING PLAN

SCALE: 1/4" = 1'-0"



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ROUIT COUNTY, COLORADO

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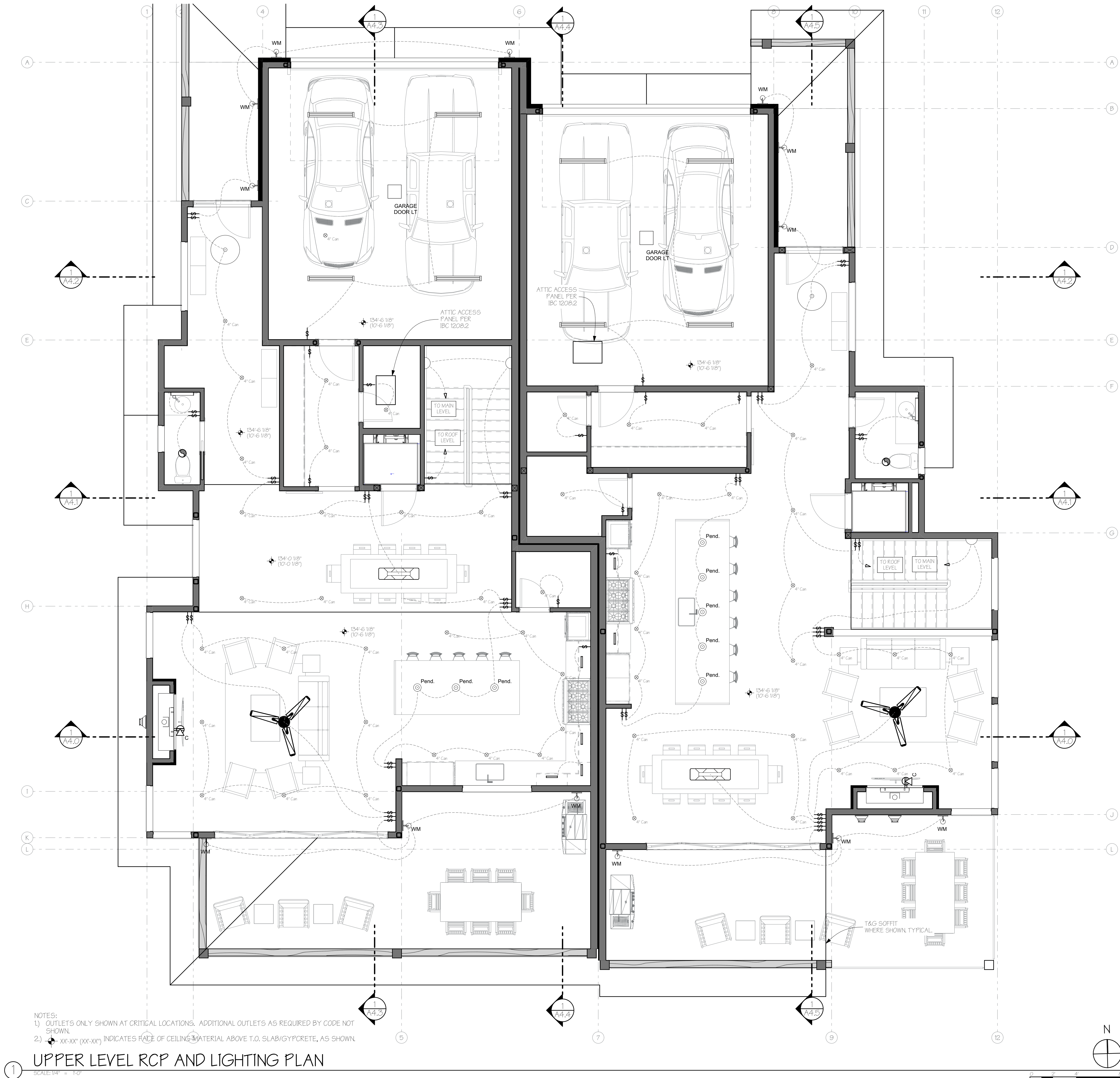
PROJECT NO: 24010

SHEET TITLE:
MAIN LEVEL RCP,
ELECTRICAL NOTES

SHEET NO:

A6.1

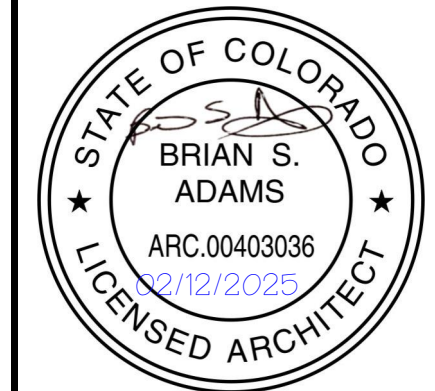
Sheet 29 of 35



- NOTES:
- 1) OUTLETS ONLY SHOWN AT CRITICAL LOCATIONS. ADDITIONAL OUTLETS AS REQUIRED BY CODE NOT SHOWN.
 - 2) XX'-XX" (XX'-XX") INDICATES FACE OF CEILING MATERIAL ABOVE T.O. SLAB/GYPCRETE, AS SHOWN.

UPPER LEVEL RCP AND LIGHTING PLAN

SCALE: 1/4" = 1'-0"



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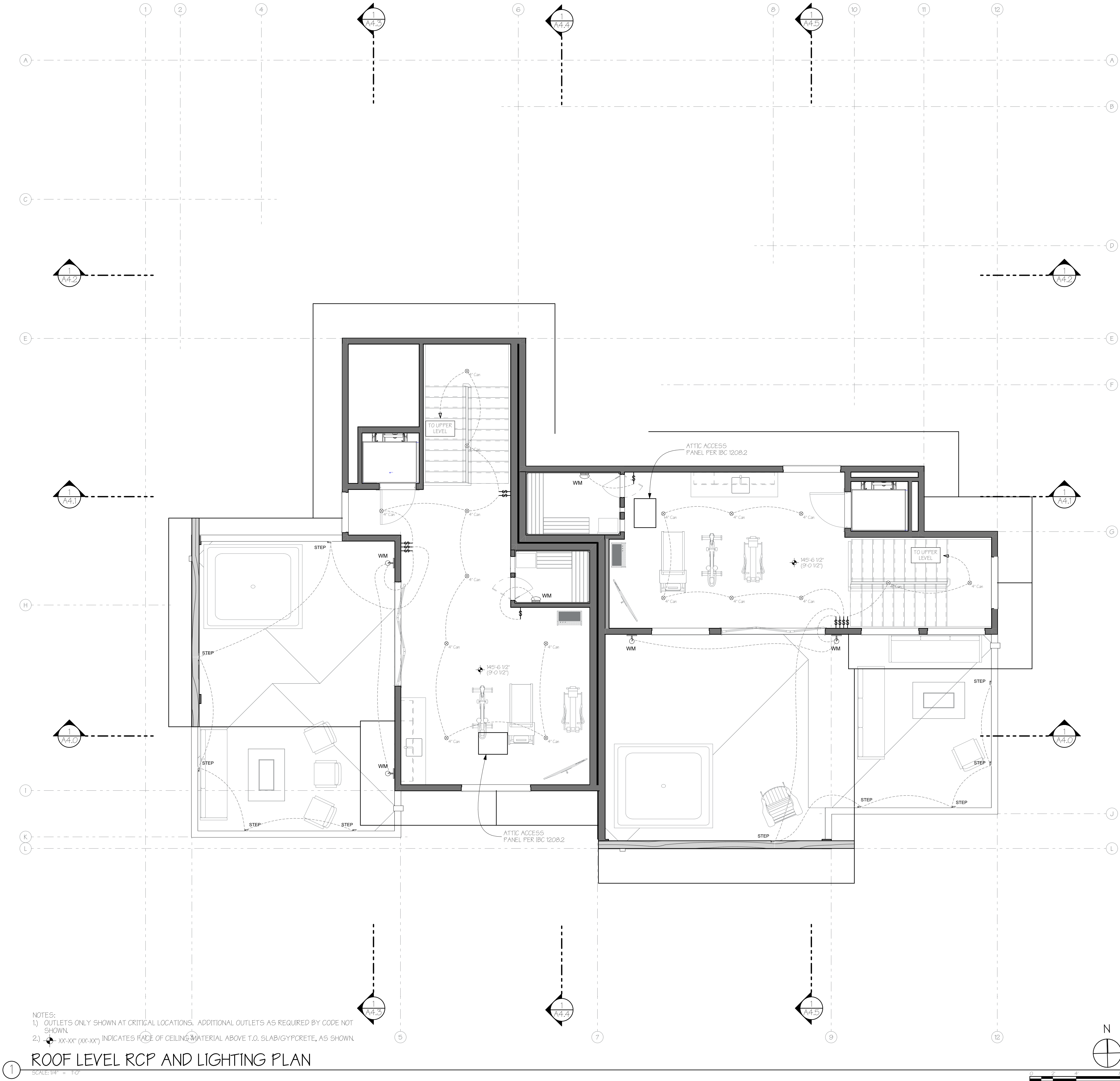
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ISSUE DATE: 02/12/2025
PERMIT SET

PROJECT NO: 24010

SHEET TITLE:
UPPER LEVEL RCP

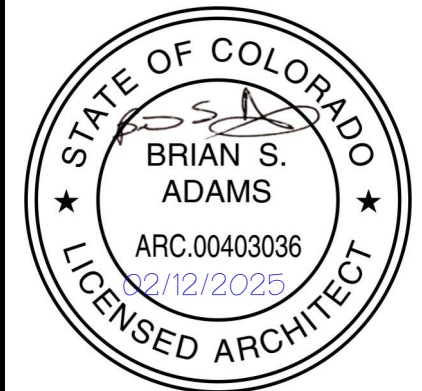
SHEET NO:
A6.2
Sheet 30 of 35



NOTES:
1) OUTLETS ONLY SHOWN AT CRITICAL LOCATIONS. ADDITIONAL OUTLETS AS REQUIRED BY CODE NOT SHOWN.
2) XX'-XX" (XX'-XX") INDICATES FACE OF CEILING MATERIAL ABOVE T.O. SLAB/GYPCRETE, AS SHOWN.

ROOF LEVEL RCP AND LIGHTING PLAN

SCALE: 1/4" = 1'-0"



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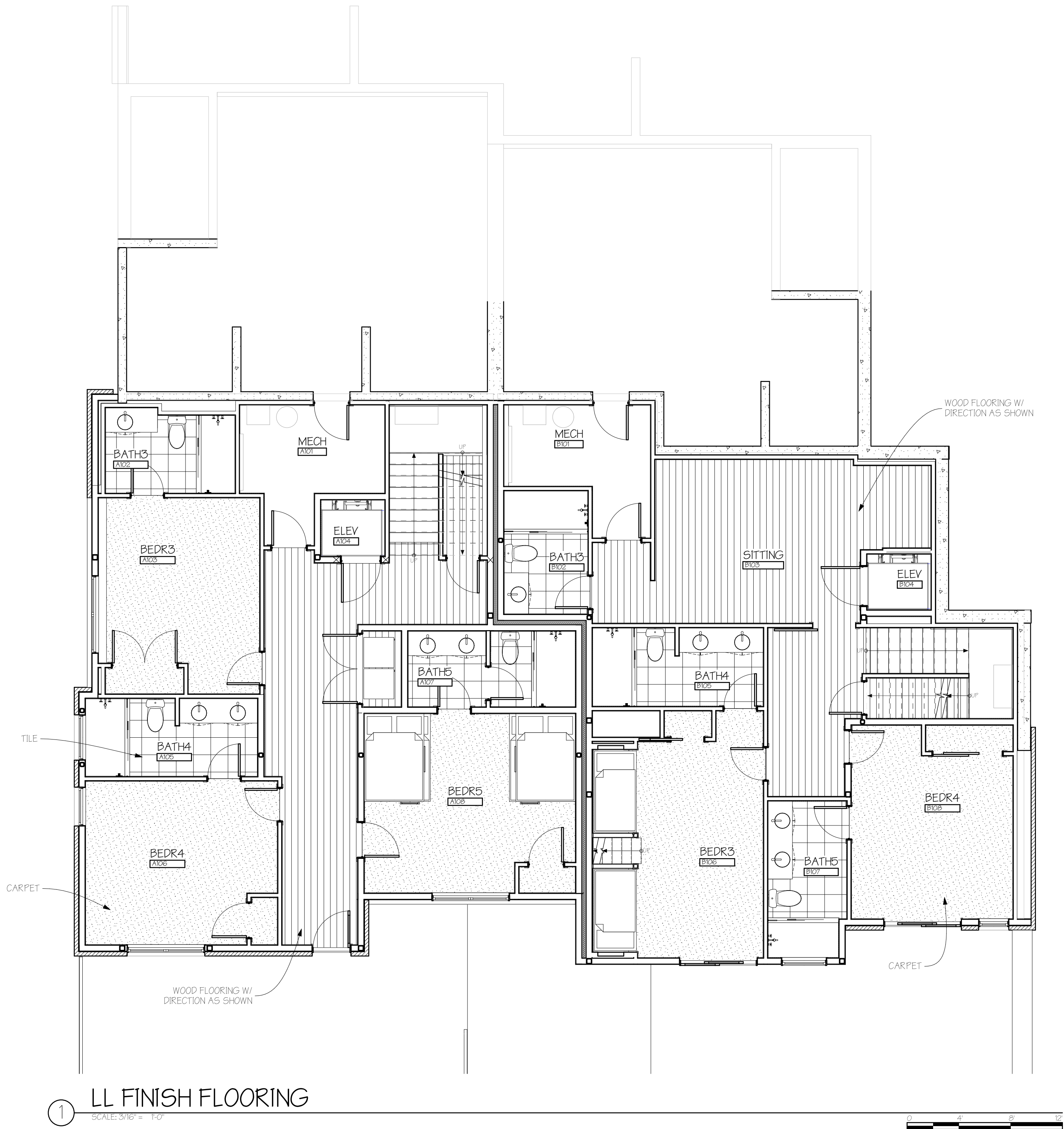
REVISIONS:				
ISSUE	DATE	CHANGE	BY	NO.

ISSUE DATE: 02/12/2025
PERMIT SET

PROJECT NO: 24010

SHEET TITLE:
ROOF DECK LEVEL RCP

SHEET NO:
A6.3
Sheet 31 of 35



FLOORING QUANTITIES		
FLOOR	TYPE	SURFACE AREA (SF)
LOWER		
	A CARPET	581
	A TILE - BATH 3	38
	A TILE - BATH 4	49
	A TILE - BATH 5	44
	A WOOD	291
	B CARPET	369
	B TILE - BATH 3	35
	B TILE - BATH 4	48
	B TILE - BATH 5	45
	B WOOD	375
MAIN		
	A CARPET	80
	A TILE - BATH 2	41
	A TILE - LAUNDRY	54
	A TILE - M. BATH	122
	A WOOD	1,297
	B CARPET	126
	B TILE - BATH 2	30
	B TILE - LAUNDRY	36
	B TILE - M. BATH	143
	B WOOD	1,121
UPPER		
	A TILE - MUDROOM	97
	A WOOD	1,108
	B TILE - MUDROOM	94
	B WOOD	1,033
TERRACE		
	A WOOD	363
	B WOOD	256

* STAIR/LANDING MATERIAL NOT INCLUDED
IN CALCULATIONS ABOVE



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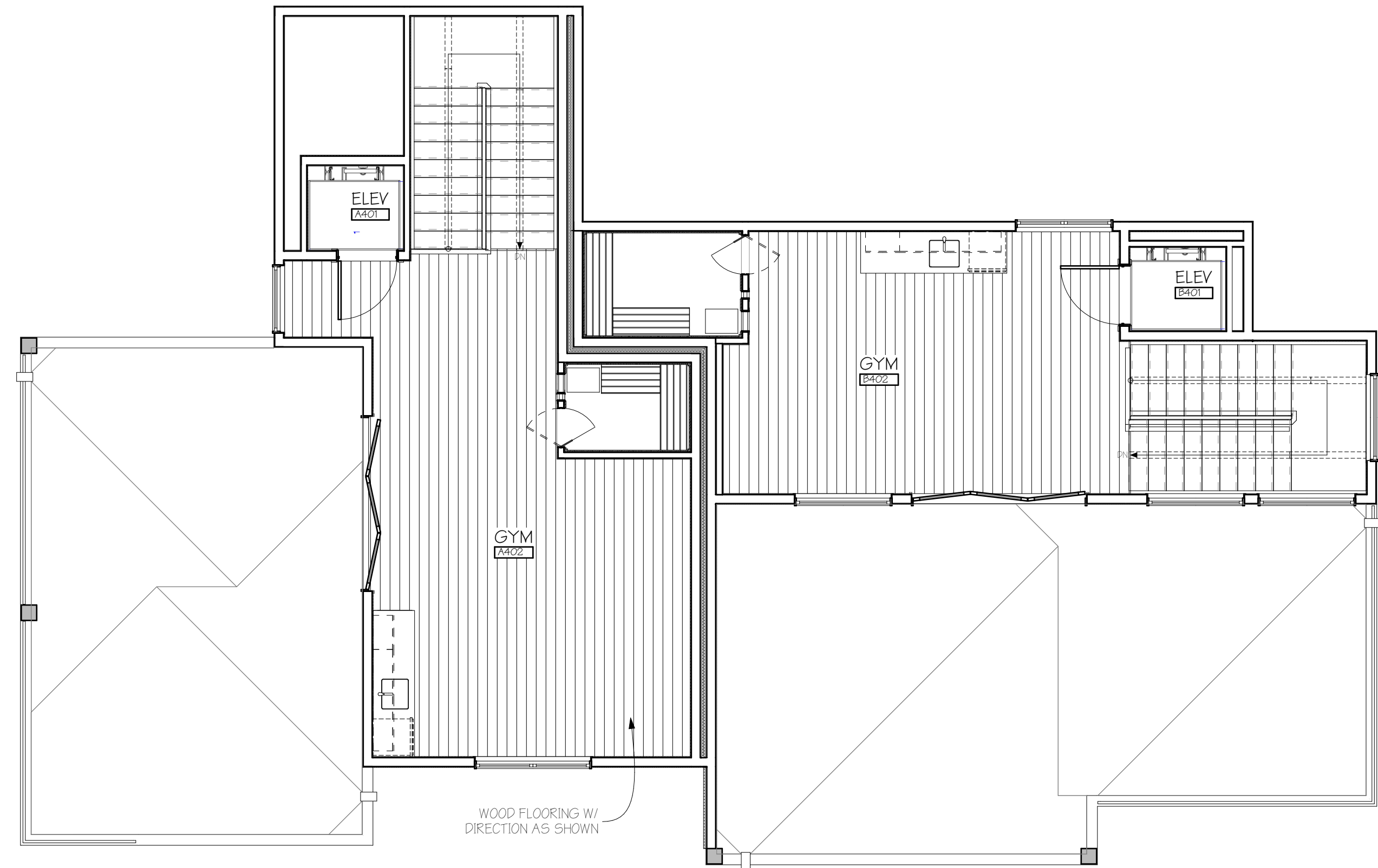
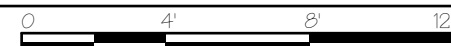
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ISSUE DATE: 02/12/2025 PERMIT SET			
PROJECT NO: 24010			
SHEET TITLE: FINISH FLOOR PLAN(S)			
SHEET NO:			
A6.4 Sheet 32 of 35			



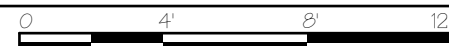
1 UL FINISH FLOORING

SCALE: 3/16" = 1'-0"



2 ROOF FINISH FLOORING

SCALE: 3/16" = 1'-0"



FLOORING QUANTITIES		
FLOOR	TYPE	SURFACE AREA (SF)
LOWER	A CARPET	581
	A TILE - BATH 3	38
	A TILE - BATH 4	49
	A TILE - BATH 5	44
	A WOOD	291
	B CARPET	369
	B TILE - BATH 3	35
	B TILE - BATH 4	48
	B TILE - BATH 5	45
	B WOOD	375
MAIN	A CARPET	80
	A TILE - BATH 2	41
	A TILE - LAUNDRY	54
	A TILE - M. BATH	122
	A WOOD	1,297
	B CARPET	126
	B TILE - BATH 2	30
	B TILE - LAUNDRY	36
	B TILE - M. BATH	143
	B WOOD	1,121
UPPER	A TILE - MUDROOM	97
	A WOOD	1,108
	B TILE - MUDROOM	94
	B WOOD	1,033
TERRACE	A WOOD	363
	B WOOD	256

* STAIR/LANDING MATERIAL NOT INCLUDED IN CALCULATIONS ABOVE



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T.B.D. SKI TRAIL LANE
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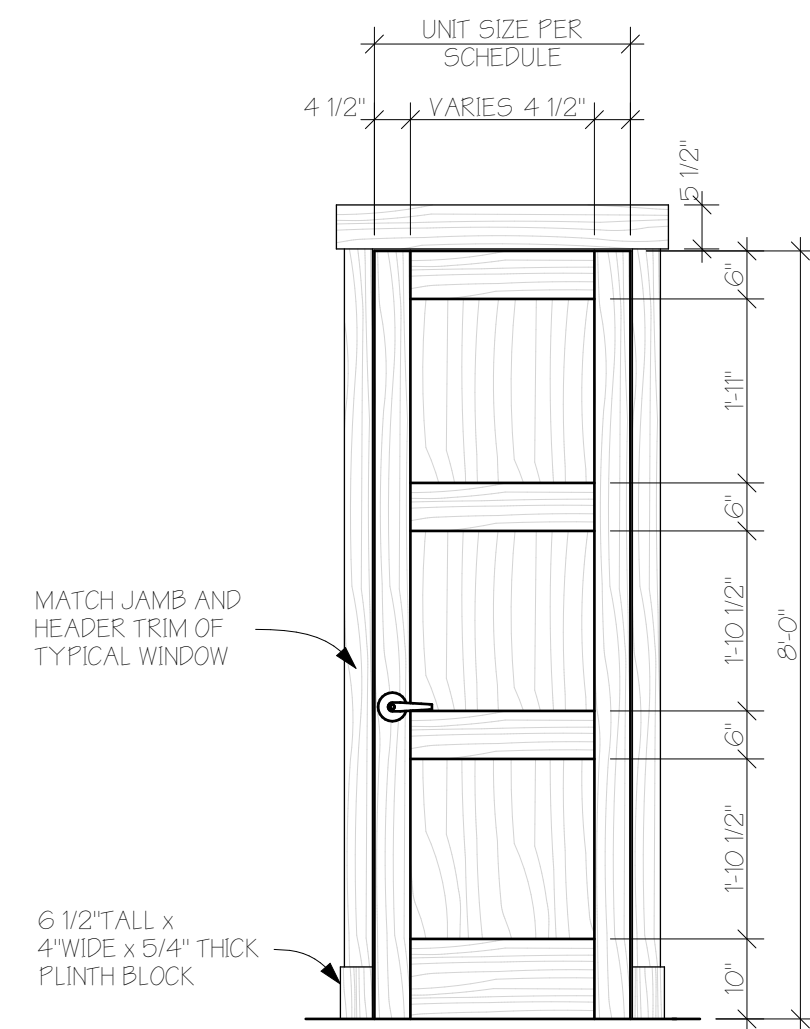
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PERMIT SET

PROJECT NO: 24010

SHEET TITLE:
FINISH FLOOR PLAN(S)

SHEET NO:
A6.5
Sheet 33 of 35



3 INTERIOR DOOR & TRIM



4 GARAGE DOOR
SCALE: 1/2" = 1'-0"

NOTES:
1.) ALL GLASS TO BE TEMPERED GLASS.
2.) SEE DOOR PROFILES THIS SHEET FOR FURTHER INFO.

1 DOOR SCHEDULE

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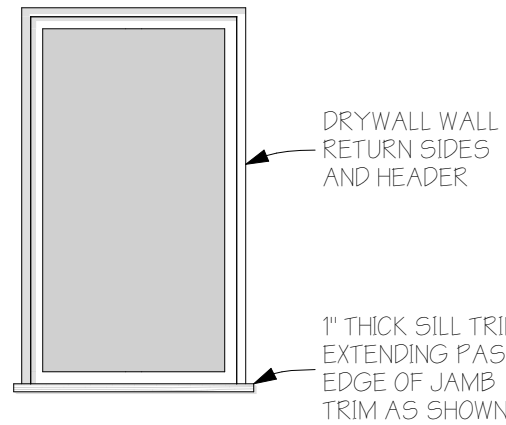
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PROJECT NO: 24010

SHEET TITLE:
DOOR SCHEDULE,
PROFILE(S)

SHEET NO: _____

A7.0
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2 WINDOW INTERIOR TRIM
SCALE 1/2" = 1'-0"

- NOTES:
- 1) SEE ELEVATION SHEET(S) FOR TEMPERED GLASS LOCATIONS. WINDOW SUPPLIER TO VERIFY.
 - 2) SEE WINDOW DETAILS FOR FURTHER INFORMATION.
 - 3) WINDOW SUPPLIER TO BE SELECTED PRIOR TO R.O. FRAMING. ABOVE SIZES HAVE NOT BEEN VERIFIED WITH A SUPPLIER.
 - 4) WALL SYSTEM THICKNESS TO BE 6 5/8" +/- NOT INCLUDING EXTERIOR SIDING. VERIFY ALL REQUIRED JAMB EXTENSIONS WITH CONTRACTOR & ARCHITECT.

1 WINDOW SCHEDULE

ID	SIZE (W X H)	HEAD HEIGHT	QTY	ELEVATION	FUNCTION	NOTES
W1	2'-4"5'-0"	8'-0"	1		CASEMENT	
W2	6'-0"8'-0"	8'-0"	1		EXTERIOR SLIDING DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W3	3'-6"2'-6"	8'-0"	1		AWNING	
W4	6'-0"8'-0"	8'-0"	1		EXTERIOR SLIDING DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W5	6'-0"5'-0"	8'-0"	1		CASEMENT, CASEMENT	
W6	3'-0"8'-0"	8'-0"	1		EXTERIOR INSWING DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W7	6'-0"5'-0"	8'-0"	1		CASEMENT, CASEMENT	
W8	3'-0"5'-0"	8'-0"	1		CASEMENT	
W9	3'-6"2'-6"	8'-0"	1		AWNING	
W10	6'-0"5'-0"	8'-0"	1		CASEMENT, CASEMENT	
W11	2'-4"4'-0"	8'-0"	1		CASEMENT	
W12	4'-6"4'-0"	-20'-0"	1		FIXED	
W13	3'-6"5'-0"	8'-0"	2		FIXED	
W14	6'-0"5'-0"	8'-0"	1		CASEMENT, CASEMENT	
W15	3'-0"8'-0"	8'-0"	1		EXTERIOR INSWING DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W16	6'-0"7'-0"	8'-0"	1		FIXED	
W17	3'-0"7'-0"	8'-0"	1		FIXED, AWNING	
W18	6'-0"5'-0"	8'-0"	1		CASEMENT, CASEMENT	
W19	3'-0"8'-0"	8'-0"	1		EXTERIOR INSWING DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W20	6'-0"7'-0"	8'-0"	2		FIXED	
W21	3'-4"7'-0"	8'-0"	1		FIXED, AWNING	
W22	4'-0"7'-0"	8'-0"	1		FIXED, AWNING	
W23	6'-0"5'-0"	8'-0"	1		CASEMENT, CASEMENT	
W24	2'-4"4'-0"	8'-0"	1		CASEMENT	
W25	6'-0"5'-0"	8'-0"	1		CASEMENT, CASEMENT	
W26	6'-0"5'-0"	8'-0"	1		FIXED	
W27	2'-4"4'-0"	8'-0"	1		CASEMENT	
W28	4'-6"7'-0"	-7'-6"	1		FIXED	
W29	5'-0"8'-0"	9'-0"	2		FIXED	

ID	SIZE (W X H)	HEAD HEIGHT	QTY	ELEVATION	FUNCTION	NOTES
W30	3'-6"8'-0"	9'-0"	2		FIXED, AWNING	
W31	15'-0"9'-0"	9'-0"	1		EXTERIOR BIFOLD DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W32	6'-0"5'-6"	9'-0"	1		CASEMENT, CASEMENT	
W33	15'-0"9'-0"	9'-0"	1		EXTERIOR BIFOLD DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W34	3'-4"8'-0"	9'-0"	1		FIXED, AWNING	
W35	4'-0"8'-0"	9'-0"	2		FIXED, AWNING	
W36	5'-0"5'-0"	8'-0"	1		FIXED	
W37	2'-4"4'-0"	8'-0"	1		CASEMENT	
W38	6'-0"5'-0"	8'-0"	1		FIXED	
W39	5'-0"5'-0"	8'-0"	1		CASEMENT, CASEMENT	
W40	4'-6"7'-0"	2'-0"	1		FIXED	
W41	4'-6"5'-0"	8'-0"	1		FIXED	
W42	5'-0"5'-0"	8'-0"	2		FIXED	
W43	9'-0"8'-0"	8'-0"	1		EXTERIOR BIFOLD DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W44	5'-0"5'-0"	8'-0"	1		FIXED	
W45	6'-0"4'-6"	8'-0"	1		CASEMENT, CASEMENT	
W46	9'-0"8'-0"	8'-0"	1		EXTERIOR BIFOLD DOOR	PROVIDE SCREEN DOOR THIS UNIT.
W47	3'-6"5'-0"	8'-0"	1		FIXED	



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ROUIT COUNTY, COLORADO

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ISSUE				
ISSUE DATE:		02/12/2025 PERMIT SET		
PROJECT NO:		24010		
SHEET TITLE: WINDOW SCHEDULE, PROFILE				