



SEAD
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CODE STUDY

RFP BUILDING 3 WAS COMPLETED UNDER RCRBD PERMIT No. SB-06-826

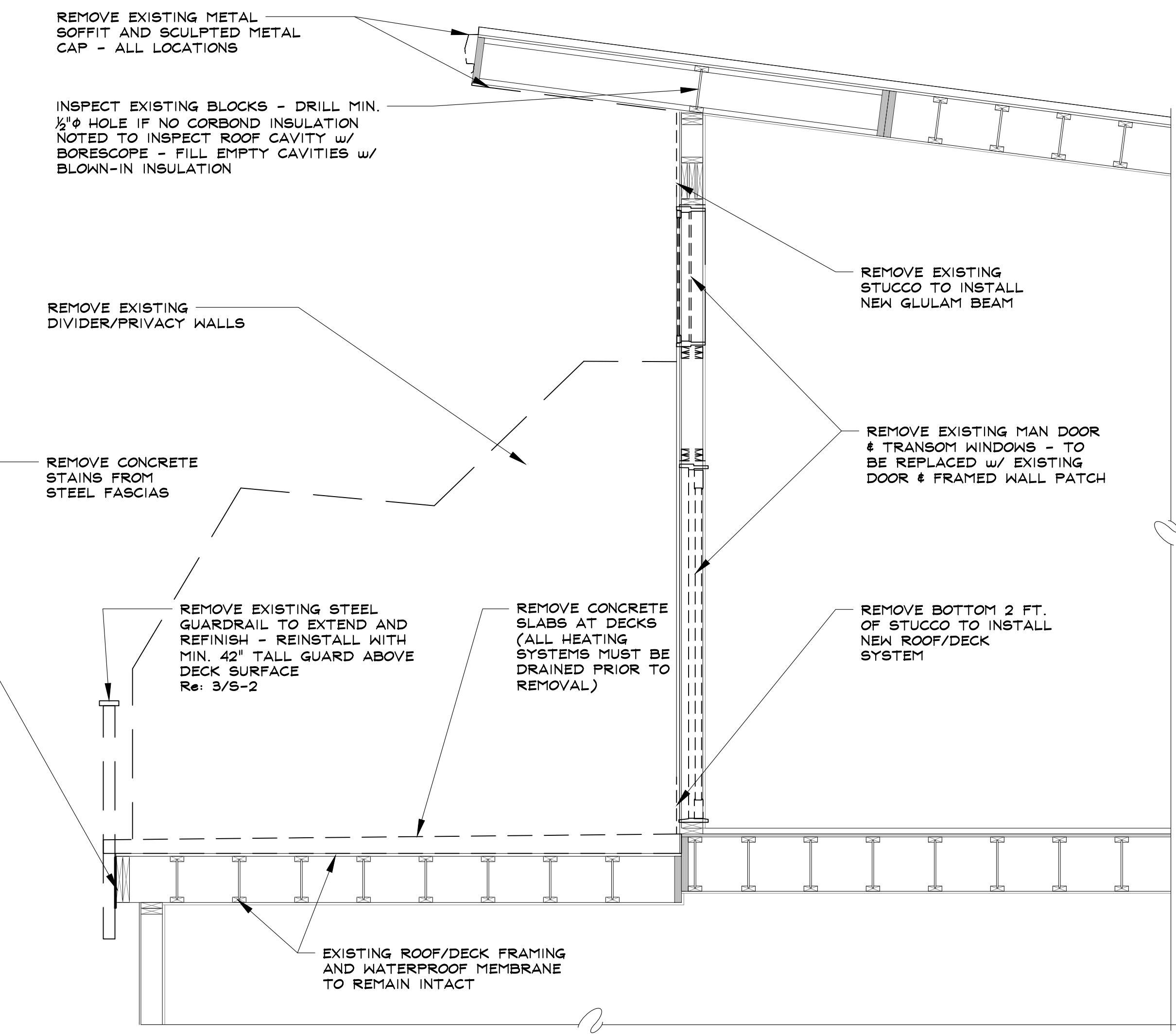
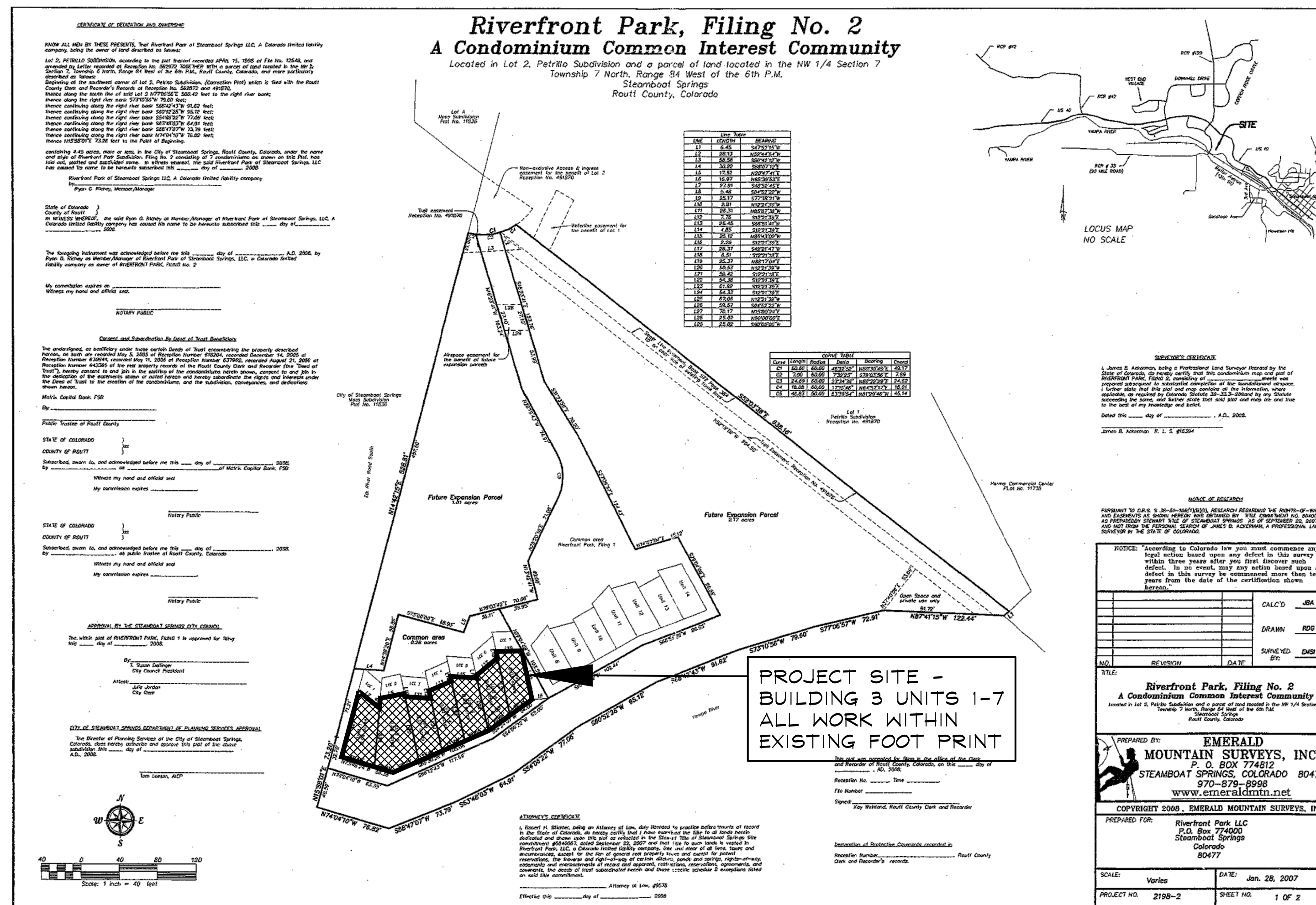
BUILDING TYPE: V-1 HOUR
'B' & R-2 OCCUPANCIES

NO CHANGE TO BUILDING USE, OCCUPANCY OR EGRESS WITH PROPOSED ROOF/DECK REPAIR

SHEET SCHEDULE	
SHEET	CONTENTS
AD-1	SITE PLAN, CODE STUDY, DEMO PLAN & DEMO ELEVATION
S-1	ROOF AND DECK FRAMING REPAIR PLAN
S-2	TYPICAL SECTION THROUGH DECK
S-2.1	GUARDRAIL CONSTRUCTION
S-3	TYPICAL SECTIONS THROUGH PRIVACY WALL
S-4	TYPICAL CONNECTION DETAILS
S-5	FLASHING & WATERPROOFING DETAILS
S-6	SECTIONS THROUGH PRIVACY WALL UNITS 7 & 6
S-7	SECTIONS THROUGH PRIVACY WALL UNITS 5 & 4
S-8	SECTIONS THROUGH PRIVACY WALL UNITS 3 & 2
S-9	SECTIONS THROUGH PRIVACY WALL UNIT 1
R-1	ROOF DEMO PLAN, SECTION, AND PARAPET PLAN
R-2	PROPOSED PARAPET AND ROOF SECTIONS
R-3	PROPOSED ELEVATIONS

CONCEPTUAL ROOF/DECK REPAIR SCOPE OF WORK & SEQUENCE

1. REMOVE EXISTING STEEL GUARDRAILS AND CABLES FOR EXTENSION, RE-FINISHING & RE-USE
2. REMOVE EXISTING DIVIDING WALLS BETWEEN UNITS
3. REMOVE EXISTING CONCRETE TOPPING SLABS - LEAVE WATERPROOF MEMBRANES & STRUCTURES INTACT
4. REMOVE BOTTOM 2 FEET OF STUCCO SIDING ABOVE DECKS
5. REMOVE SOFFITS @ SOUTH EAVES, INSPECT BLOCKING BETWEEN RAFTERS, AND DRILL 1/2" HOLES IN AREAS WHERE NO CORBOND INSULATION IS VISIBLE TO INSPECT ROOF CAVITY w/ BORESCOPE - FILL EMPTY CAVITIES WITH BLOWN-IN CELLULOSE INSULATION
6. CUT STUCCO AT TOP OF SOUTH WALLS TO INSTALL GLULAM BEAMS PER PLAN Re: 1/S-1 UNDER RAFTERS & FASTENED TO WALL
7. CONSTRUCT GLULAM TIMBER FRAMES UNDER EACH END OF NEW GLULAM BEAMS
8. CONSTRUCT NEW SLOPED ROOF OVER EXISTING ROOF/DECK STRUCTURE WITH DECK ON REVERSE TAPER SLEEPERS - REQUIRES RAISING EXISTING EXTERIOR DOOR FOR MAXIMUM 7" STEP FROM FINISHED FLOOR
9. REPLACE REFINISHED GUARDRAILS WITH TOP CAP TO MINIMUM 42" ABOVE NEW DECK SURFACE
10. BUILD NEW WOOD FRAMED DIVIDER WALLS TO ENCLOSE AND PROTECT GLULAM TIMBER FRAMES - THE USE OF FIRE RETARDANT SHEATHING TO PROTECT THE INTEGRITY OF THE EXISTING 1-HOUR SYSTEMS AT 6 LOCATIONS Re:2/S-1.
11. REPLACE STUCCO WITH NEW FLASHING AND 'J' CHANNEL
12. REPLACE ROOF SOFFITS - CUT TO FIT AT NEW GLULAM BEAMS
13. REMOVE SOFFITS, GUTTERS AND METAL FASCIA AT NORTH EAVES. INSPECT BLOCKING BETWEEN RAFTERS AND DRILL 1/2" HOLES IN AREAS WHERE NO CORBOND INSULATION IS VISIBLE TO INSPECT ROOF CAVITY w/ BORESCOPE - FILL EMPTY CAVITIES WITH BLOWN-IN CELLULOSE INSULATION
14. REMOVE 2 FT. WIDE STRIP OF ROOFING AND SHEATHING TO INSTALL NEW PARAPET WALLS Re: 1/R-1 2/R-2
15. REMOVE ALL SCULPTED METAL CAPS AND ABOVE ROOF SIDEWALL METAL SIDING.
16. INSTALL NEW SNOW FENCES - DETAILS TO BE SUPPLIED BY MANUFACTURER
17. INSTALL 2" POLYISO FLUTE FILLER, 4" POLYISO INSULATION BOARDS AND 1/2" CARLISLE SECURESHIELD HD SHEATHING FOR FULLY ADHERED CARLISLE EPDM MEMBRANE. DETAILS TO BE SUPPLIED BY MANUFACTURER.

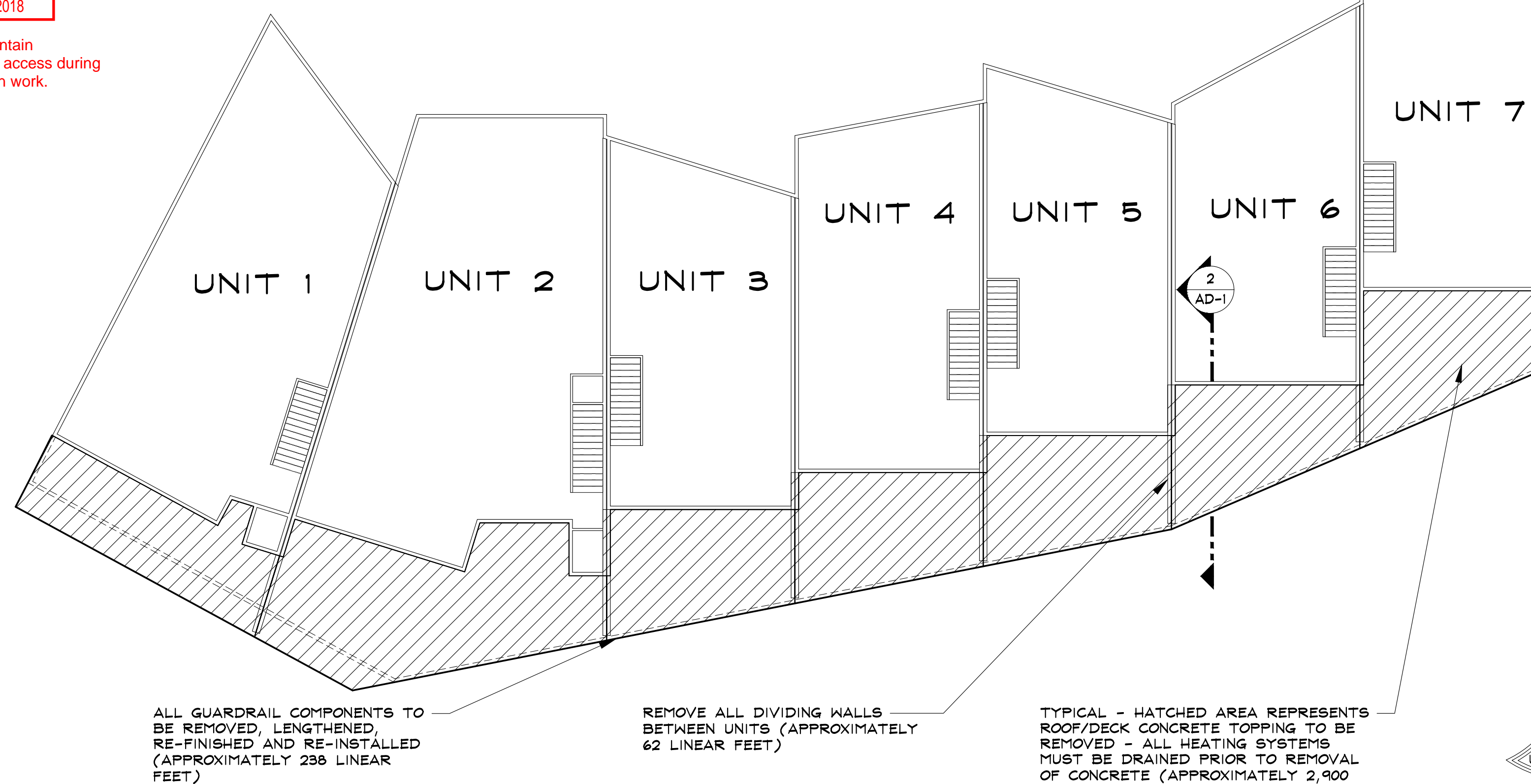


2 TYPICAL ROOF/DECK DEMOLITION SECTION

SCALE: 1/2" = 1'-0"

3 SITE PLAN

COPIY OF PLAT FROM JAN. 28, 2007



1 CONCEPTUAL ROOF/DECK DEMOLITION PLAN

APPROXIMATELY 2,900 SQ. FT. OF CONCRETE TOPPING TO BE REMOVED
APPROXIMATELY 298 LINEAR FT. OF GUARDRAILS TO BE REMOVED, EXTENDED, REFINISHED, & REINSTALLED
APPROXIMATELY 62 LINEAR FT. OF DIVIDING WALLS TO BE REMOVED AND REPLACED

SCALE: N.T.S.

PJ3311-1
Fire Prevention
In: 10/08/2018
Out: 10/09/2018

Please maintain emergency access during construction work.
Full Permit

RIVERFRONT PARK - BUILDING 3
1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR FOR:
RIVERFRONT PARK OWNER'S ASSOCIATION

ISSUE DATES
OAC REVIEW
09 . 06 . 18
PERMIT
09 . 14 . 18

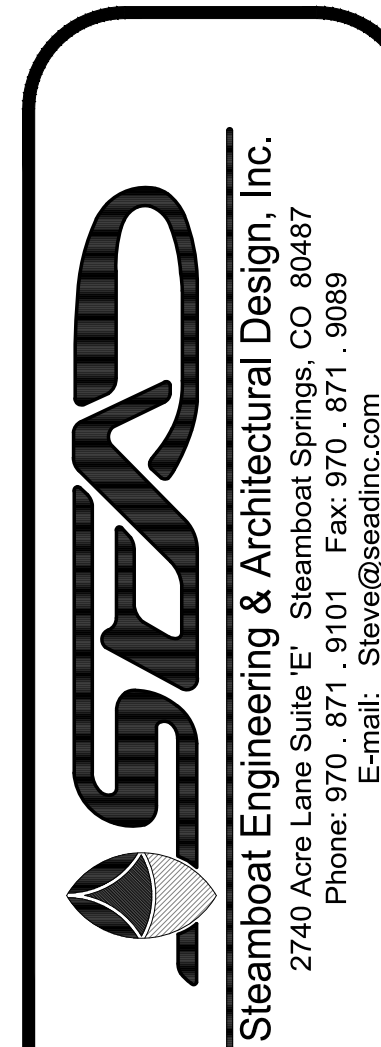
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PROJECT # 17075

SITE AND DEMOLITION PLANS

AD-1

SHEET 1 of 14

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RIVERFRONT PARK - BUILDING 3
1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR FOR:
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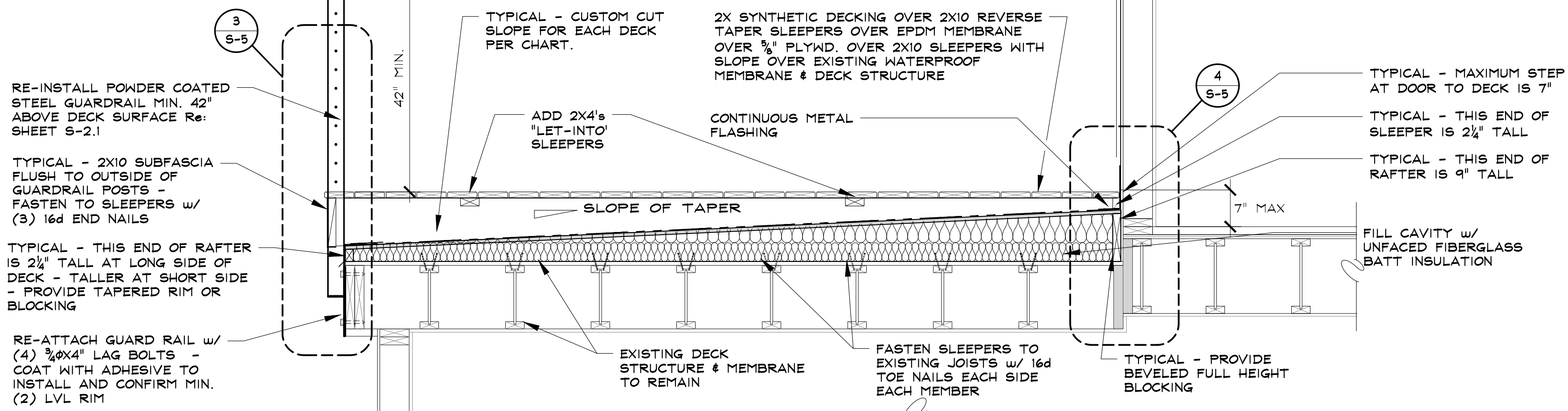
SECTION THROUGH DECK

S-2

SHEET 3 OF 13

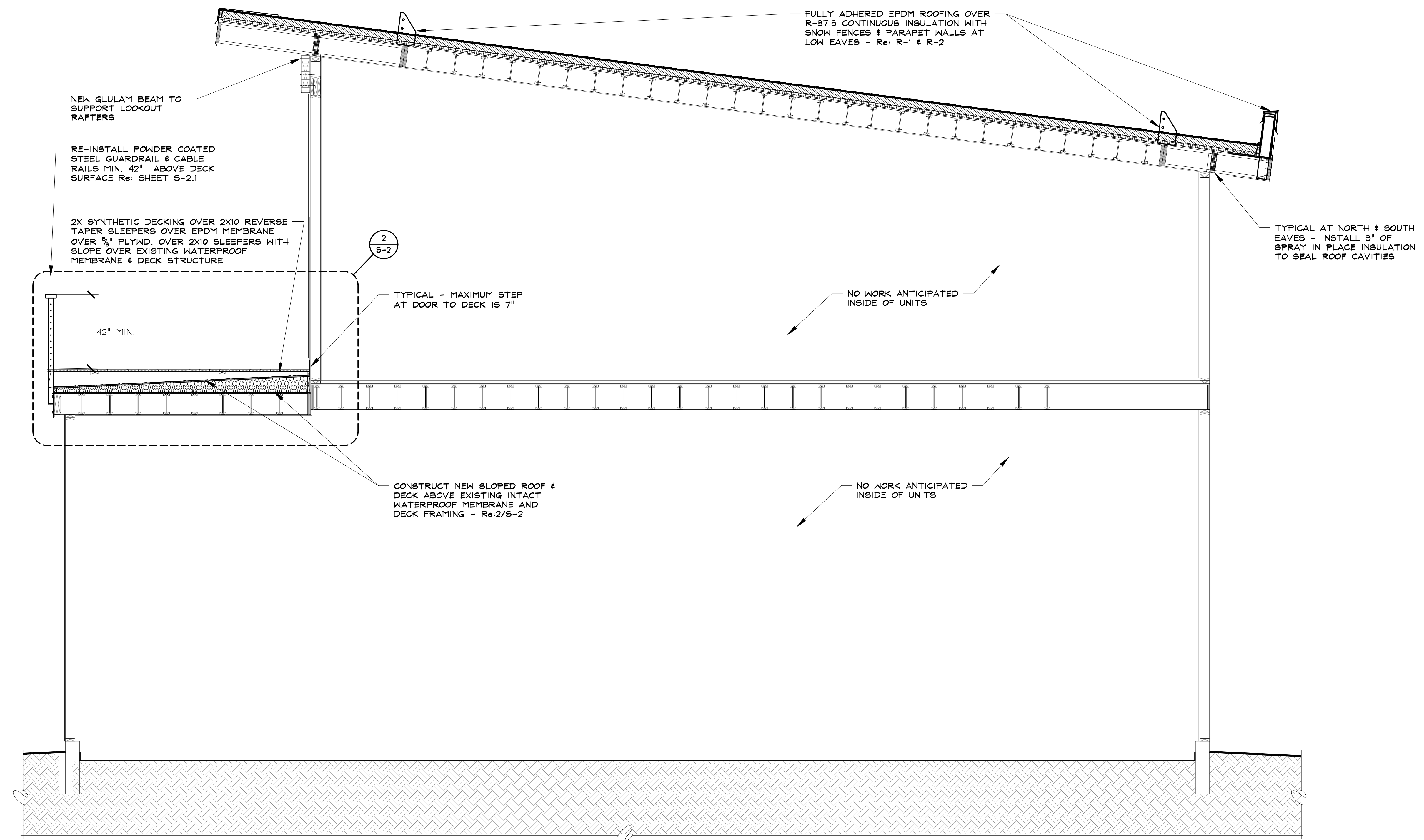
SLOPE OF TAPER	
UNIT	APPROXIMATE SLOPE
1	East: (1/8)/12 West: (1/4)/12
2	East: (1/32)/12 West: (1/32)/12
3	(1/8)/12
4	(1/8)/12
5	(1/8)/12
6	(1/32)/12
7	(5/16)/12

NOTE:
FIELD VERIFY ALL MEASUREMENTS
SLOPE OF TAPERS TO BE DETERMINED
AT LONG POINT OF DECK FRAMING,
TYPICALLY ON WEST SIDE EXCEPT
UNITS 1 & 2



2 CONCEPTUAL BUILDING REPAIR SECTION DETAIL

SCALE: 3/8"=1'-0"

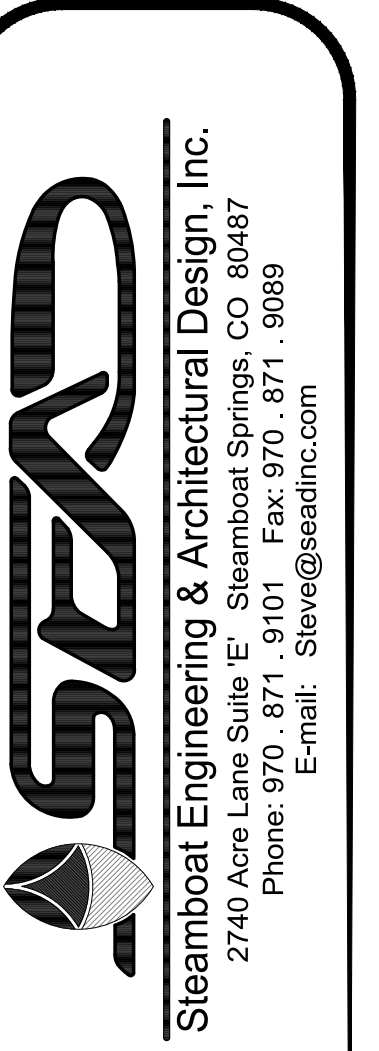


1 CONCEPTUAL BUILDING REPAIR SECTION

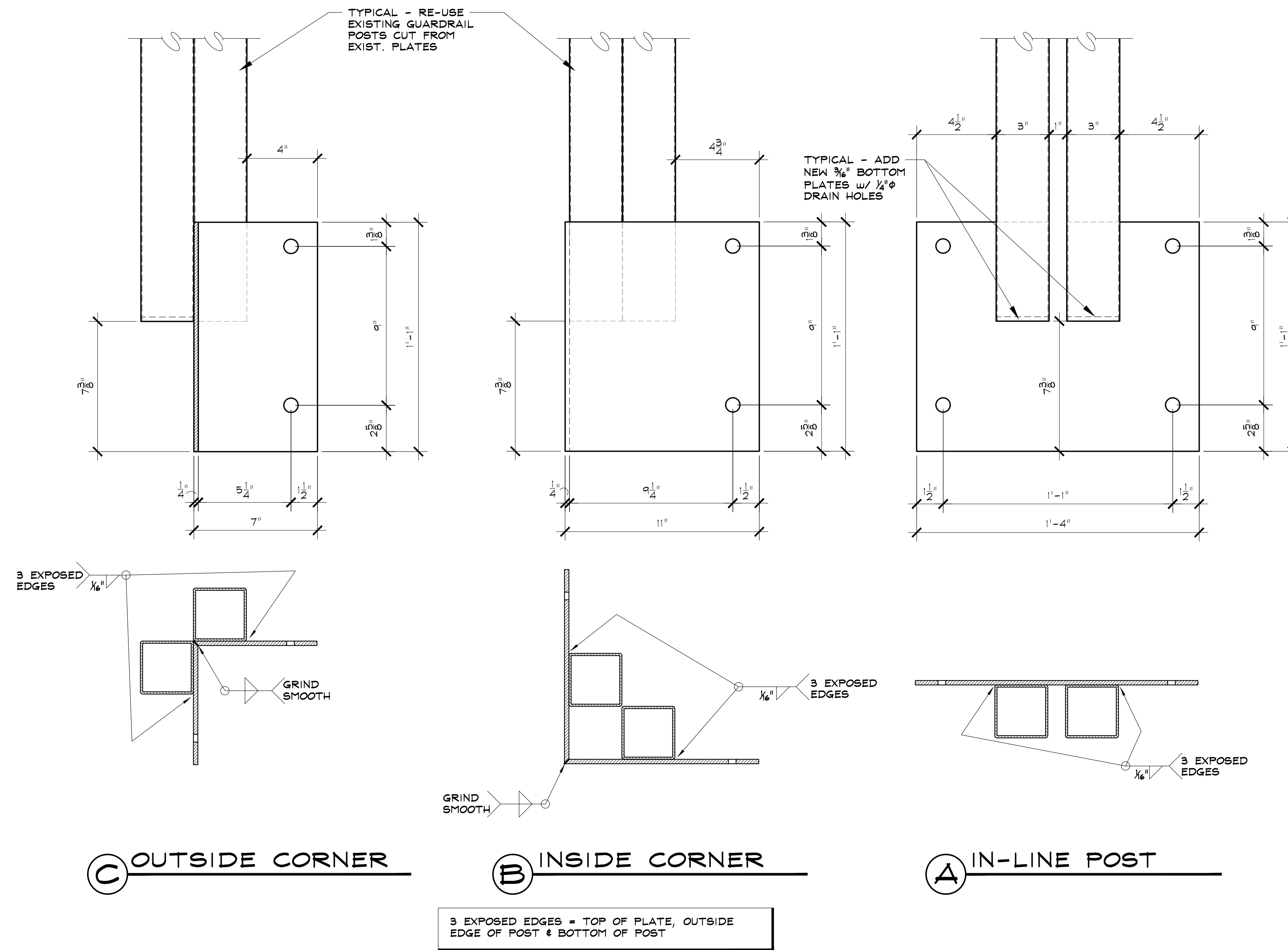
SCALE: 3/8"=1'-0"

GUARDRAIL REPAIR SCOPE OF WORK

RCRBD
Record Set



1. FIELD CUT CAP FOR MANAGEABLE SIZED GUARDRAIL SECTIONS TO BE REMOVED.
2. CUT 3"x3" TUBE STEEL GUARDRAIL POSTS FROM MOUNTING PLATES.
3. DRILL EXISTING GUARDRAIL MOUNTING PLATES TO 3/8"φ FOR NEW 3/8"φ LAGS.
4. WELD 3"x3" POSTS TO MOUNTING PLATES IN NEW CONFIGURATION TO PROVIDE A MIN. 42" HEIGHT ABOVE NEW DECK SURFACE Re:3/5-2.
5. DRILL 1/2"φ DRAIN HOLE IN BOTTOM CAPS OF EACH VERTICAL TUBE STEEL BEFORE FINISHING.
6. DRILL NEW HOLES TO ADD 3 OR 4 NEW CABLES - SIZE AND SPACING TO MATCH EXISTING - FIELD VERIFY MAX 4" SPACE BETWEEN BOTTOM CABLE & TOP OF NEW DECKING Re: 3/5-5.
7. RAILING ASSEMBLY TO BE SAND BLASTED PRIOR TO APPLICATION OF POWDER COATING.
8. NO FIELD WELDING OF RAILING AFTER POWDER COAT IS APPLIED.
9. NO DRILLING/REAMING OF CABLE HOLES AFTER POWDER COAT PAINT.
10. ALL CABLE FERRULES TO HAVE STAINLESS STEEL WASHERS, HEX NUT AND ACORN NUT AT TERMINATION.
11. NO EXPOSED FERRULE THREADS. BETWEEN HEX NUT AND ACORN NUT.

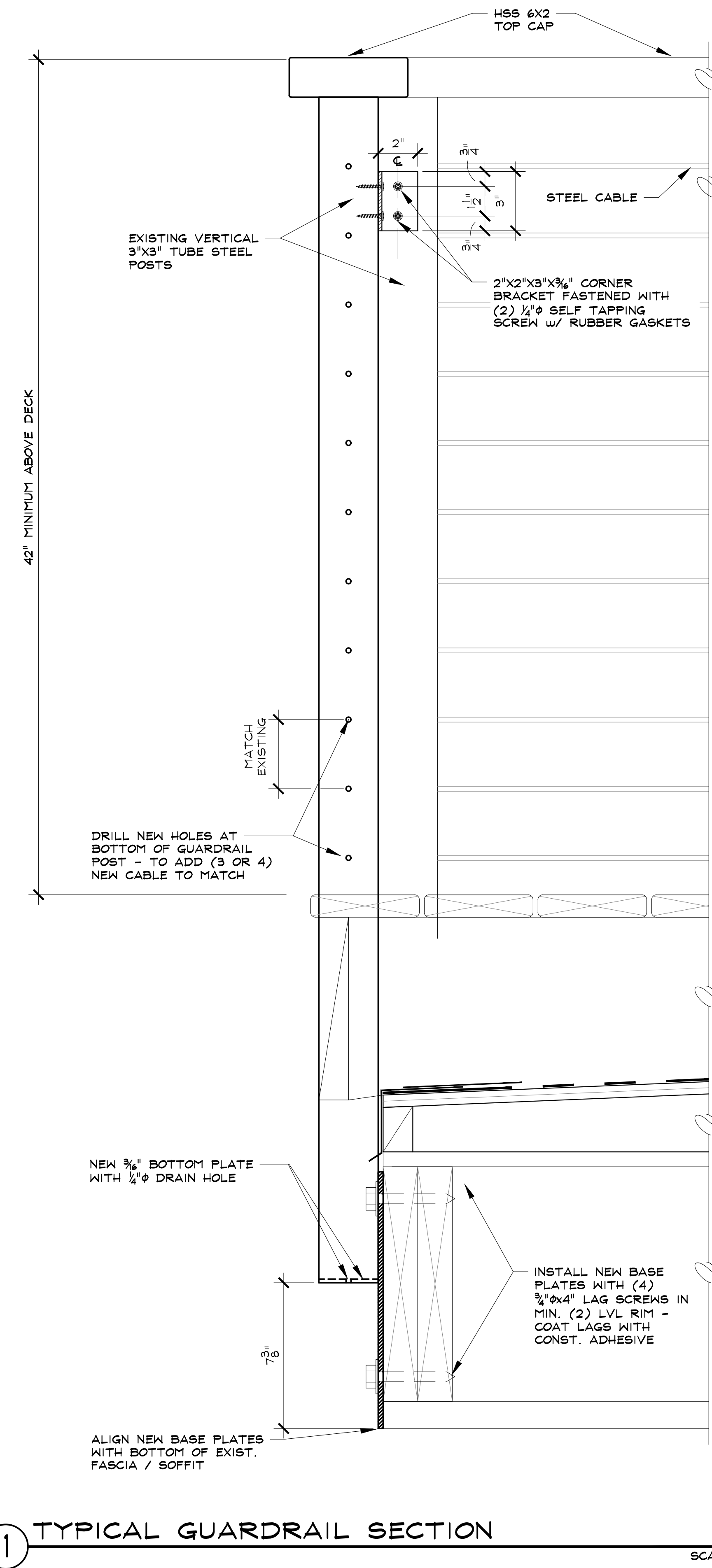
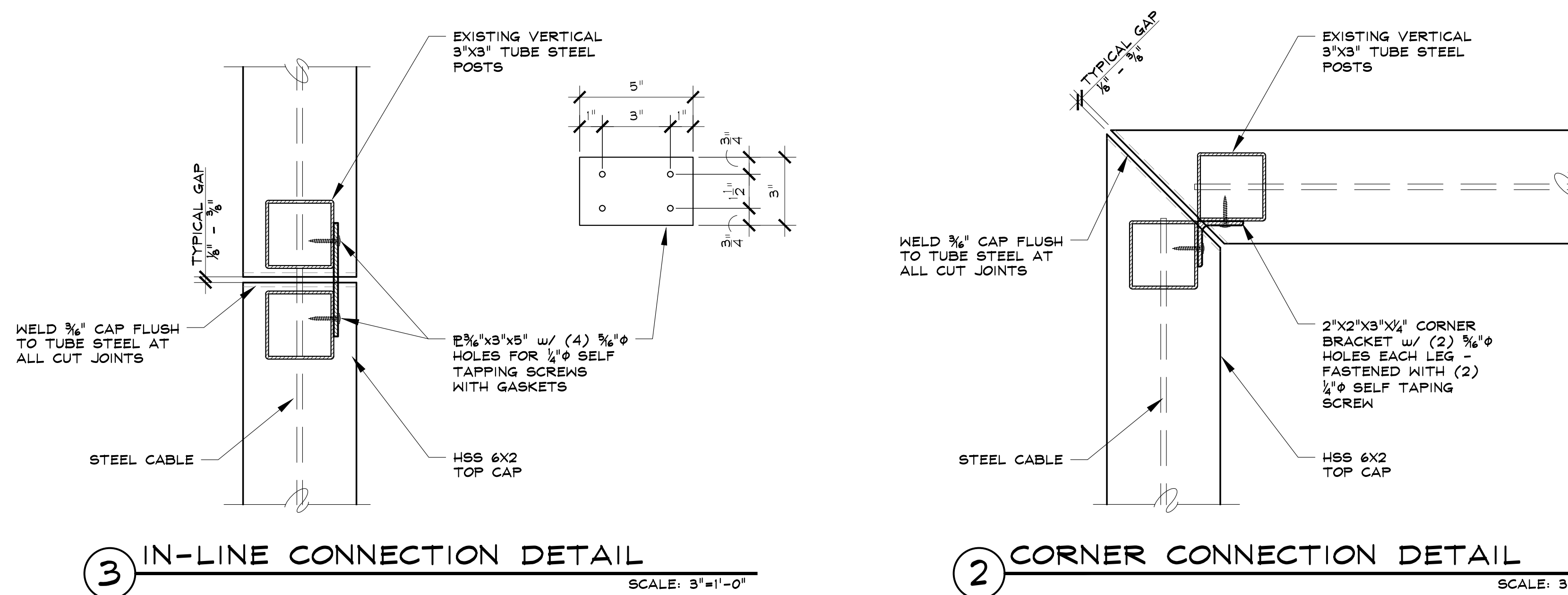


4 GUARDRAIL BASE PLATES

ALL GUARDRAIL POST BASES SHALL BE 1/2" PLATE - ALL SEAMS SHALL BE FULLY WELDED AND GROUND FLUSH

ALL HOLES SHALL BE 3/8" DIAMETER FOR 3/8" DIAMETER LAG SCREWS

SCALE: 3"=1'-0"



3 IN-LINE CONNECTION DETAIL

SCALE: 3"=1'-0"

2 CORNER CONNECTION DETAIL

SCALE: 3"=1'-0"

1 TYPICAL GUARDRAIL SECTION

SCALE: 3"=1'-0"

RIVERFRONT PARK - BUILDING 3

1900 BRIDGE LANE

STEAMBOAT SPRINGS, COLORADO

A REPAIR FOR:

RIVERFRONT PARK OWNER'S ASSOCIATION

ISSUE DATES

OAC REVIEW 09 . 06 . 18

PERMIT 09 . 14 . 18

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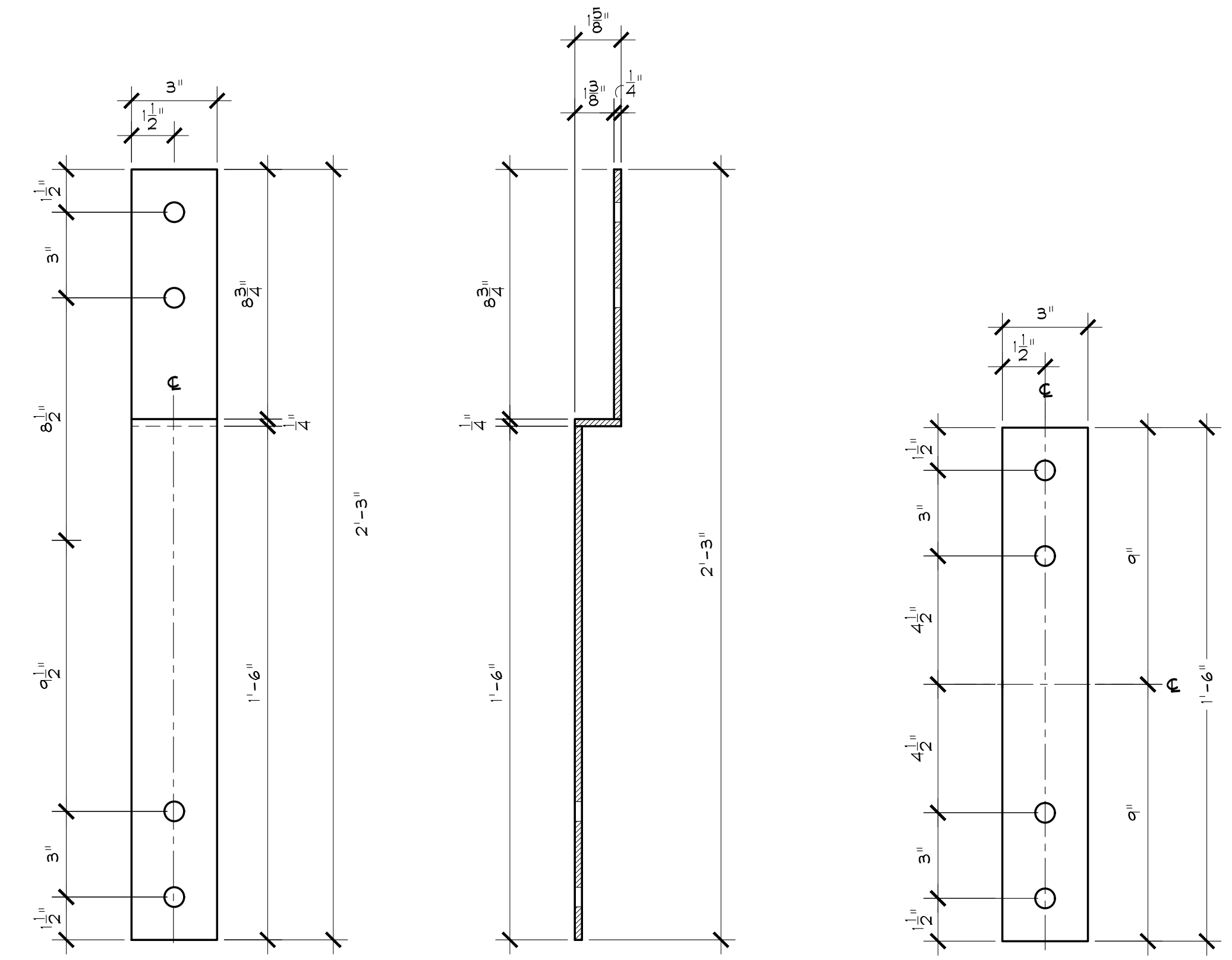
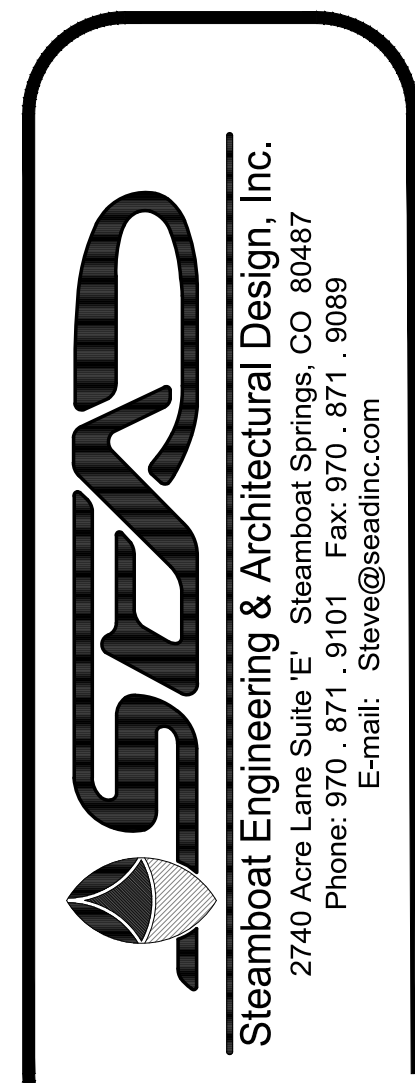
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GUARDRAIL CONSTRUCTION

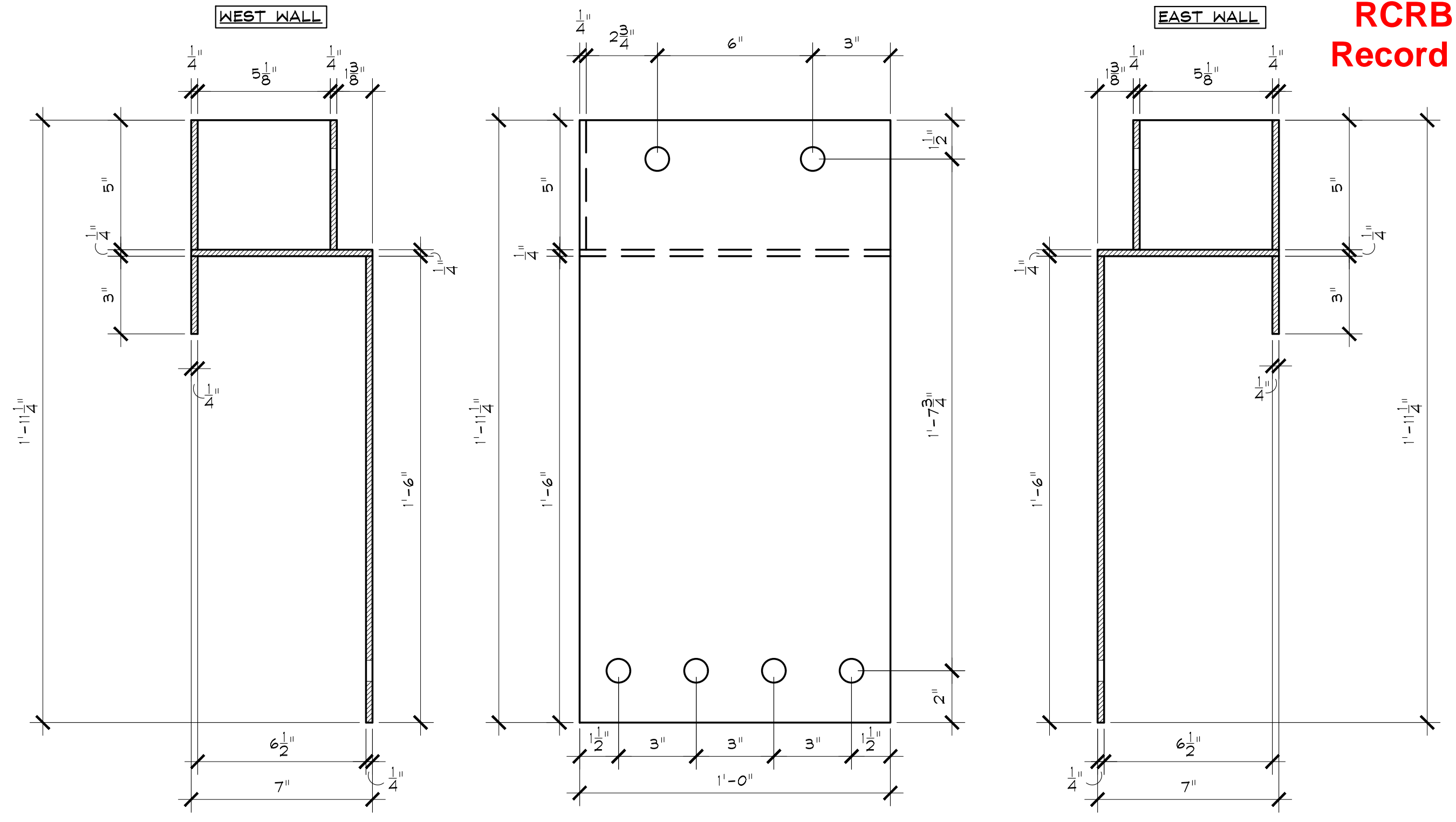
S-2.1

SHEET 4 of 14

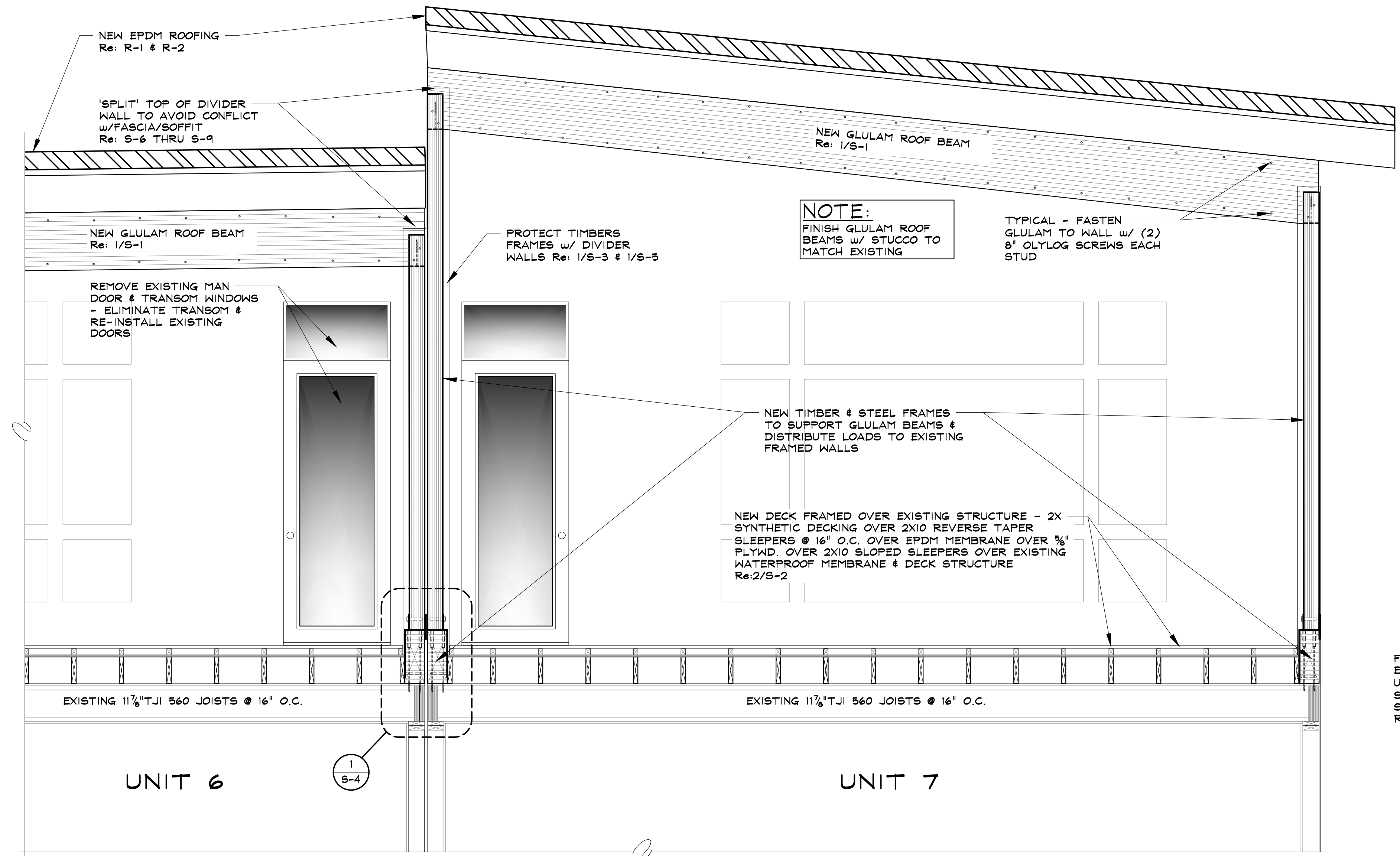


5 STEEL PLATE 'SP2'
1/4" PLATE
PROVIDE (4) 3/8" Ø HOLES FOR 3/4" Ø LAGS
(12) EACH
SCALE: 3" = 1'-0"

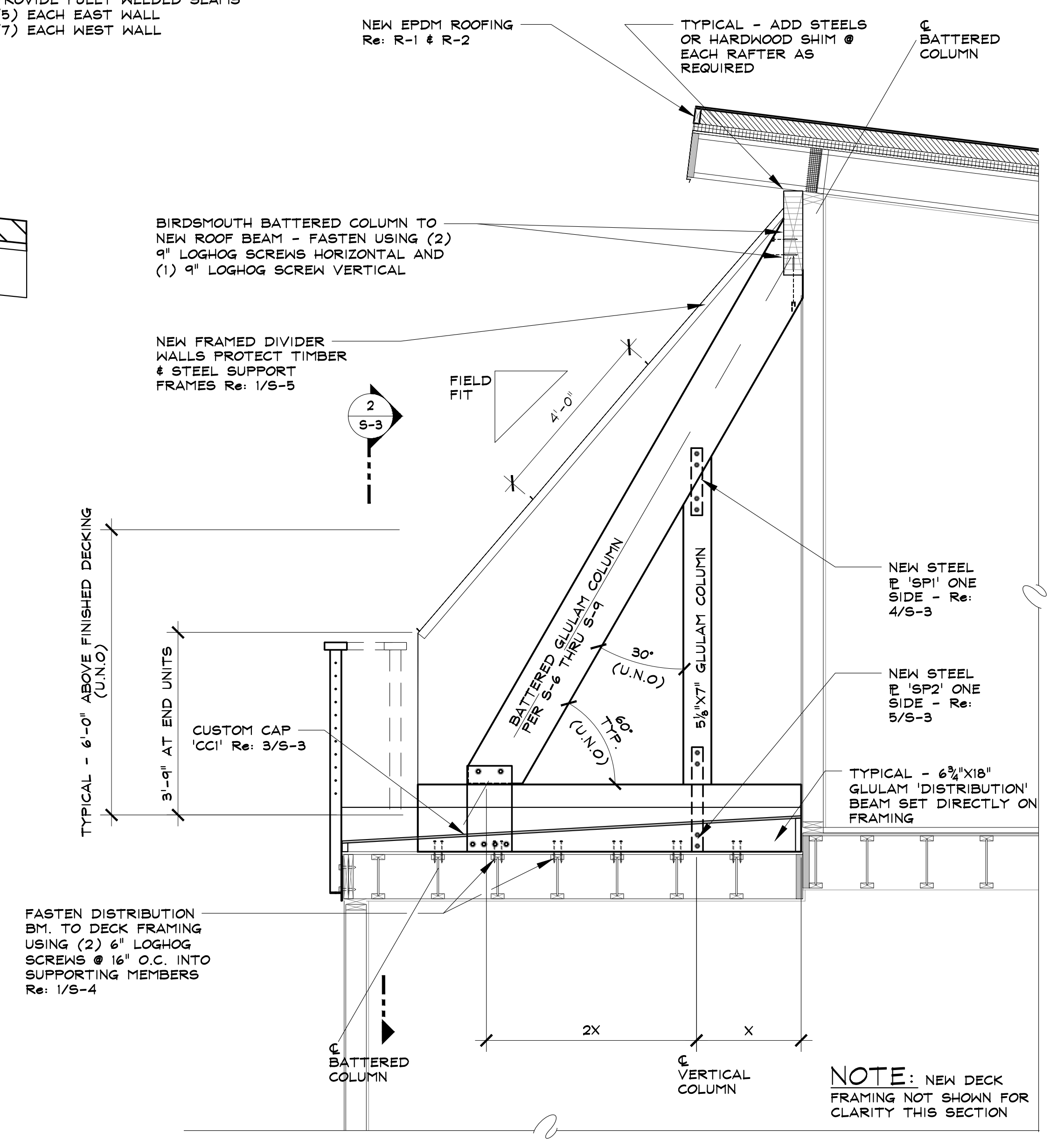
4 STEEL PLATE 'SPI'
1/4" PLATE
PROVIDE (4) 3/8" Ø HOLES FOR 3/4" Ø LAGS
(12) EACH
SCALE: 3" = 1'-0"



3 CUSTOM STEEL CAP 'CCI'
FABRICATE WITH 1/4" PLATE
PROVIDE (6) 3/8" Ø HOLES FOR 3/4" Ø LAGS
PROVIDE FULLY WELDED SEAMS
(5) EACH EAST WALL
(7) EACH WEST WALL
SCALE: 3" = 1'-0"



2 TYPICAL SOUTH WALL ELEVATION/SECTION
SCALE: 1/2" = 1'-0"



1 TYPICAL END WALL SECTION
NOTE: ALL BATTERED GLULAM COLUMNS SHALL BE STRESSED GRADE 24F-V4
Re: S-6 THRU S-9
SCALE: 1/2" = 1'-0"

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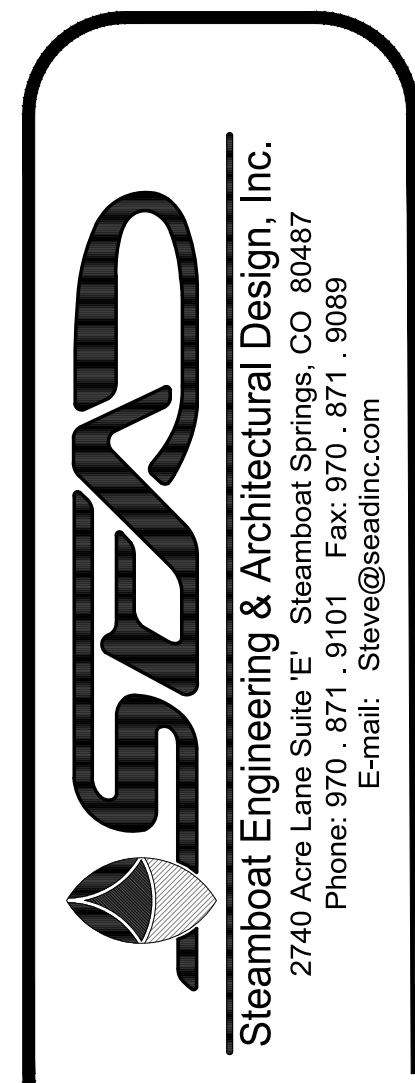
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SECTIONS THROUGH PRIVACY WALL

S-3

SHEET 5 of 14

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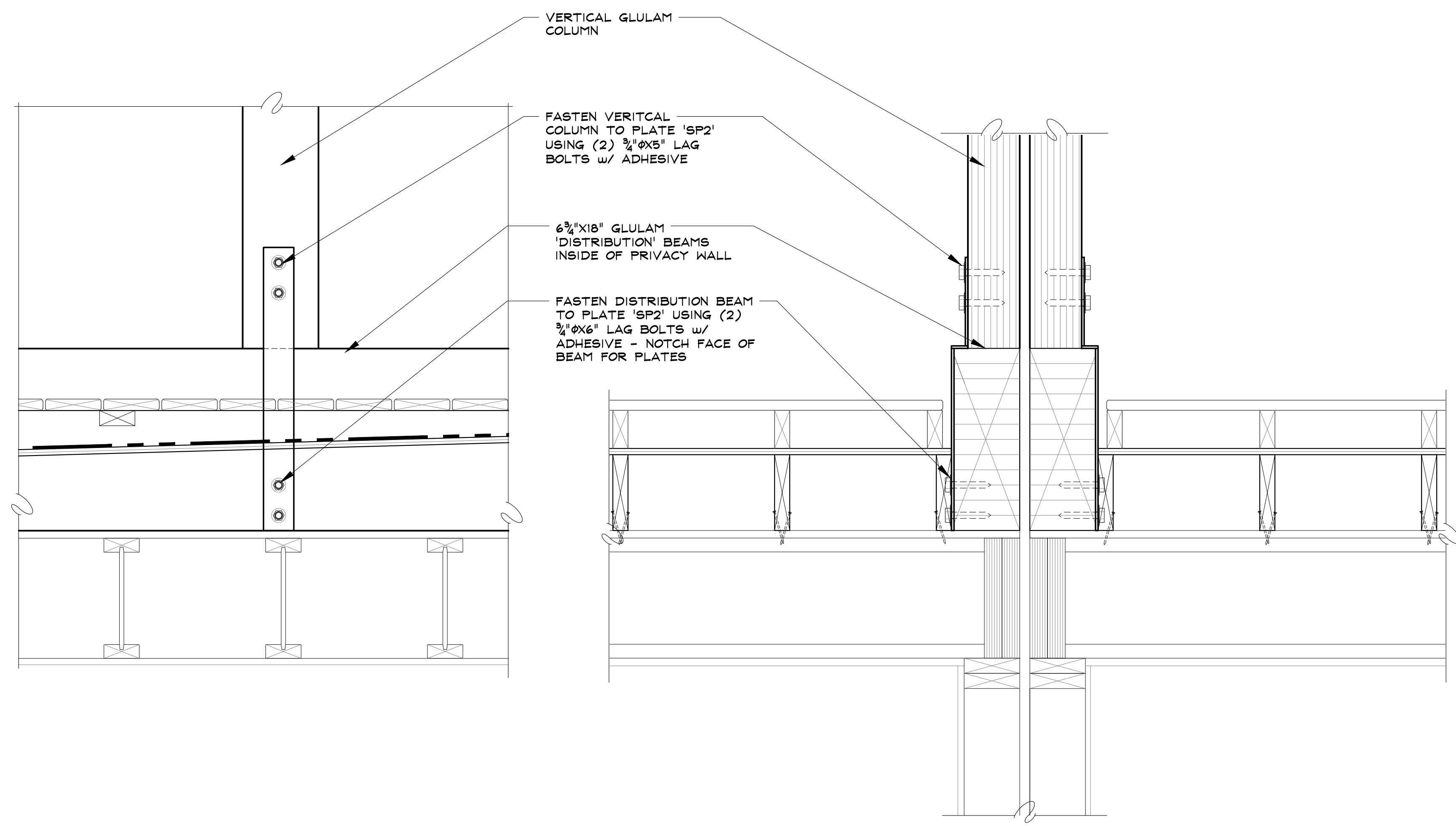
RIVERFRONT PARK - BUILDING 3
1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR FOR:
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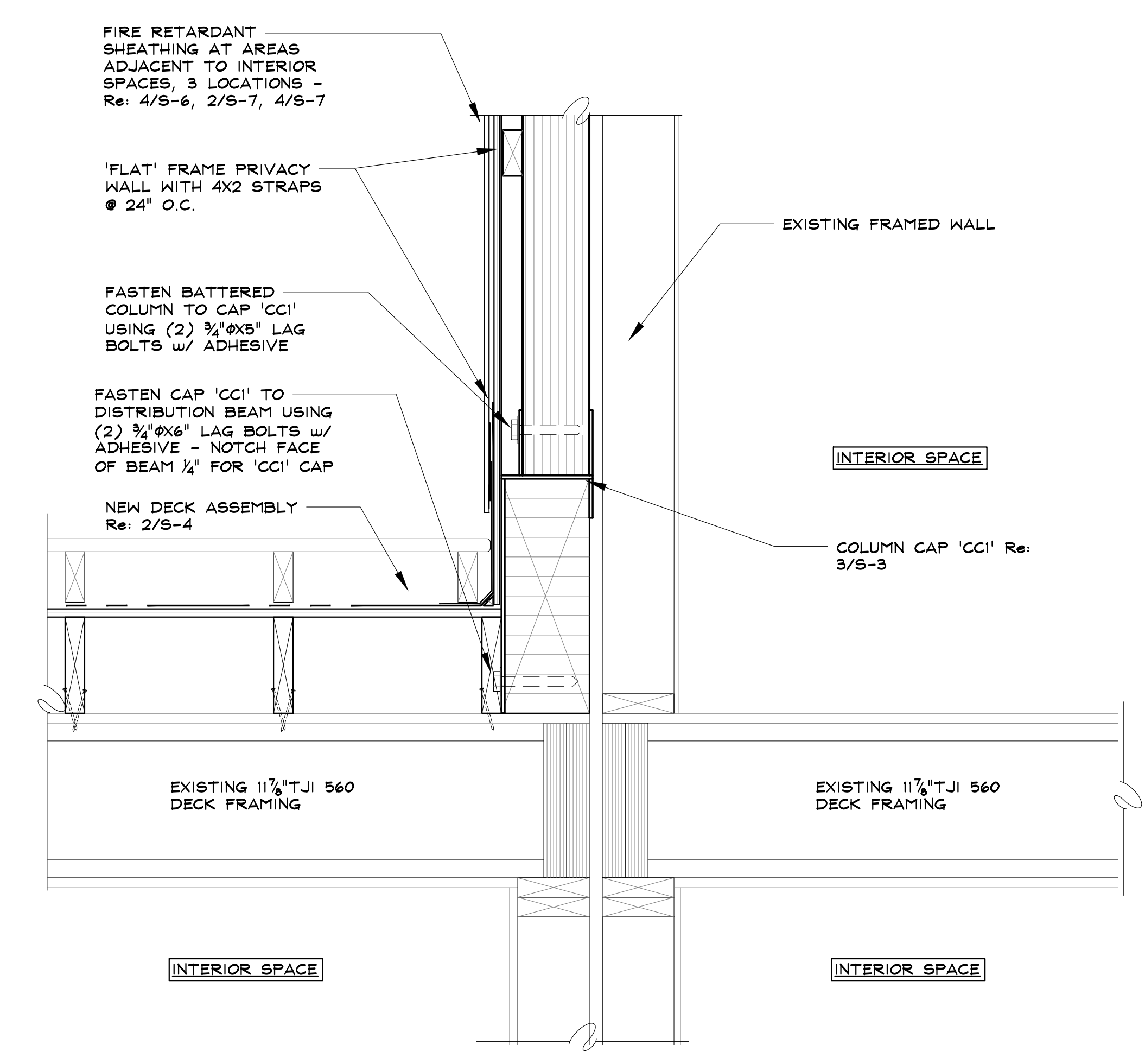
CONNECTION
DETAILS

S-4
SHEET 6 of 14



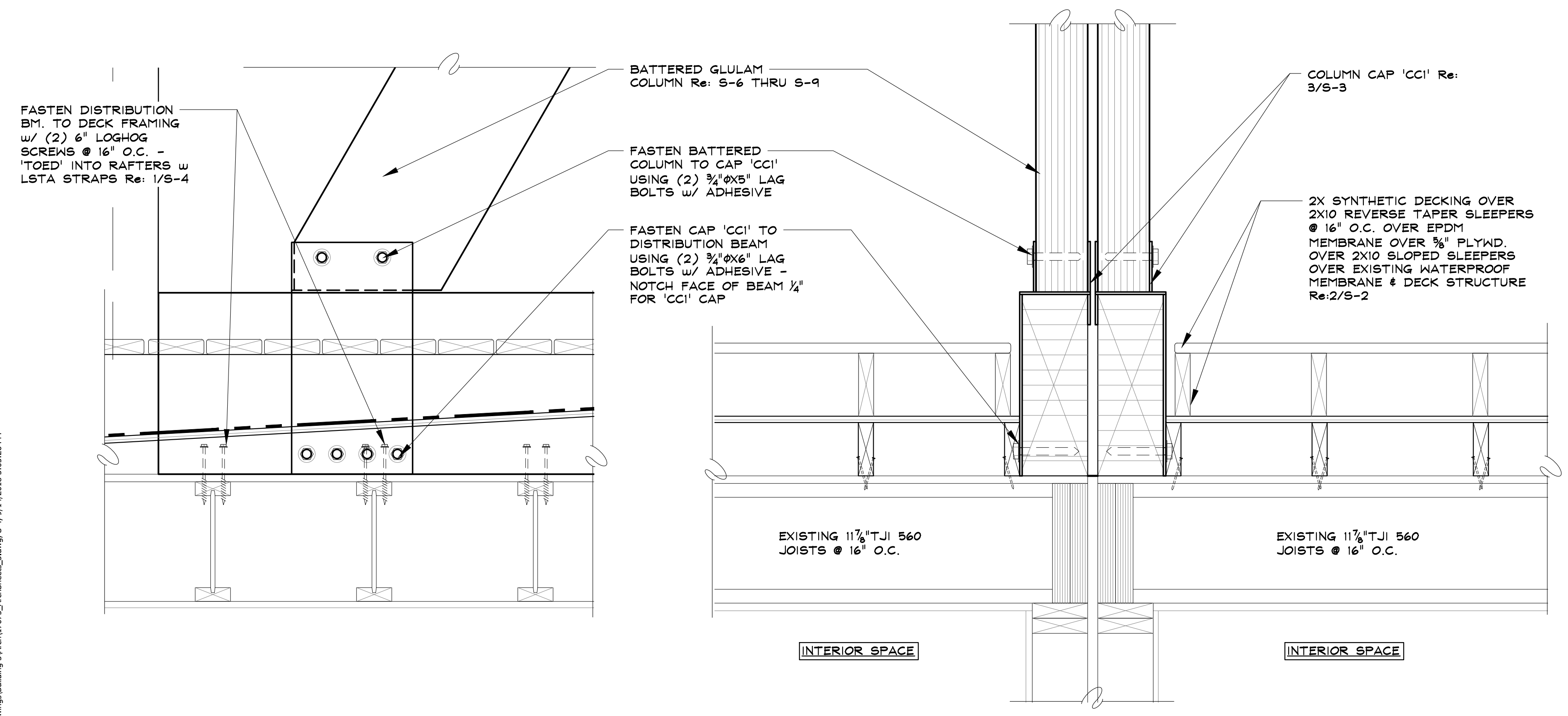
3 VERTICAL COLUMN TO DISTRIBUTION BEAM CONNECTION

SCALE: 1 1/2" = 1'-0"



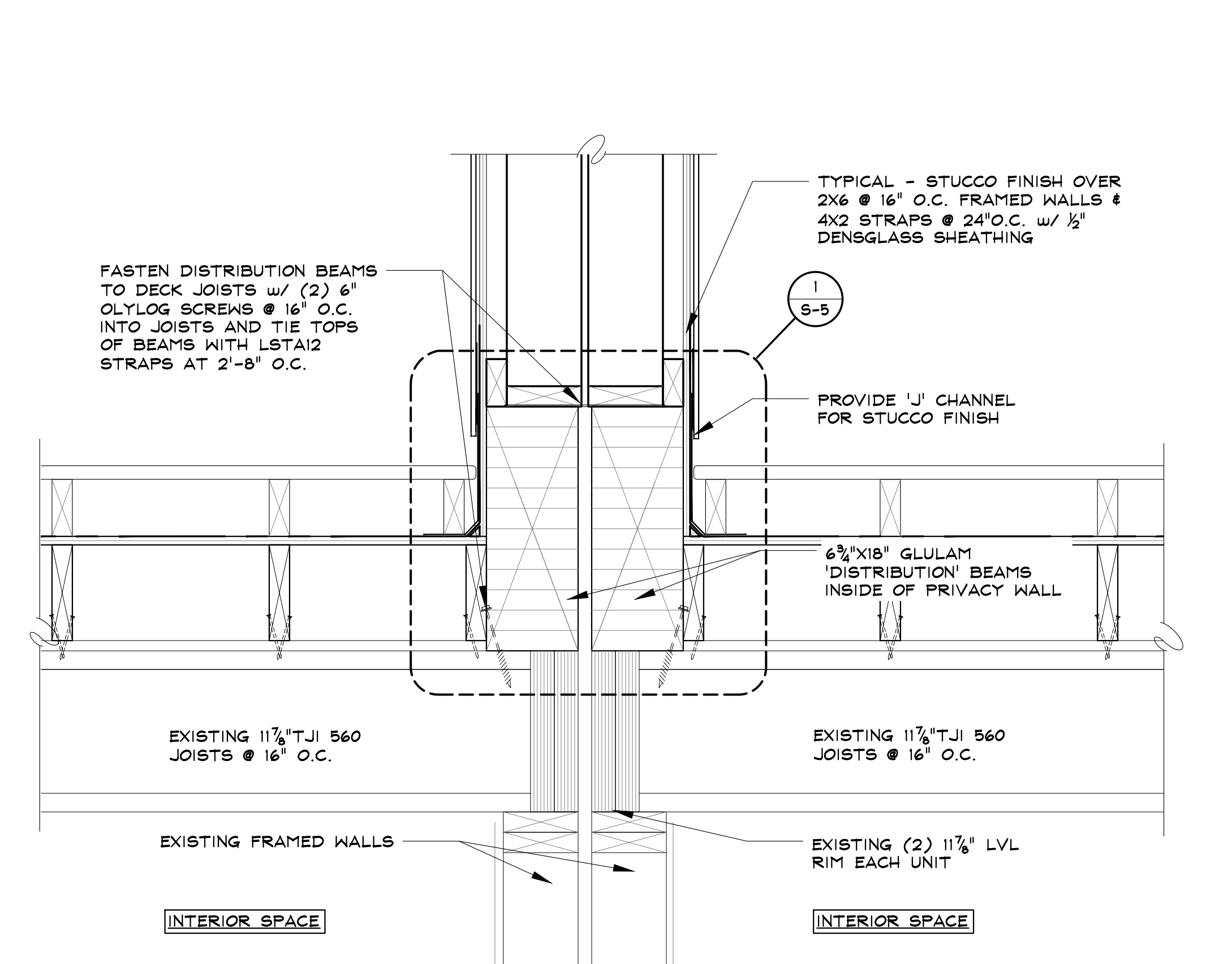
4 BATTERED COLUMN TO DISTRIBUTION BEAM @ EXISTING WALL

SCALE: 1 1/2" = 1'-0"



2 BATTERED COLUMN TO DISTRIBUTION BEAM CONNECTION

SCALE: 1 1/2" = 1'-0"



1 DISTRIBUTION BEAM TO DECK FRAMING

SCALE: 1 1/2" = 1'-0"

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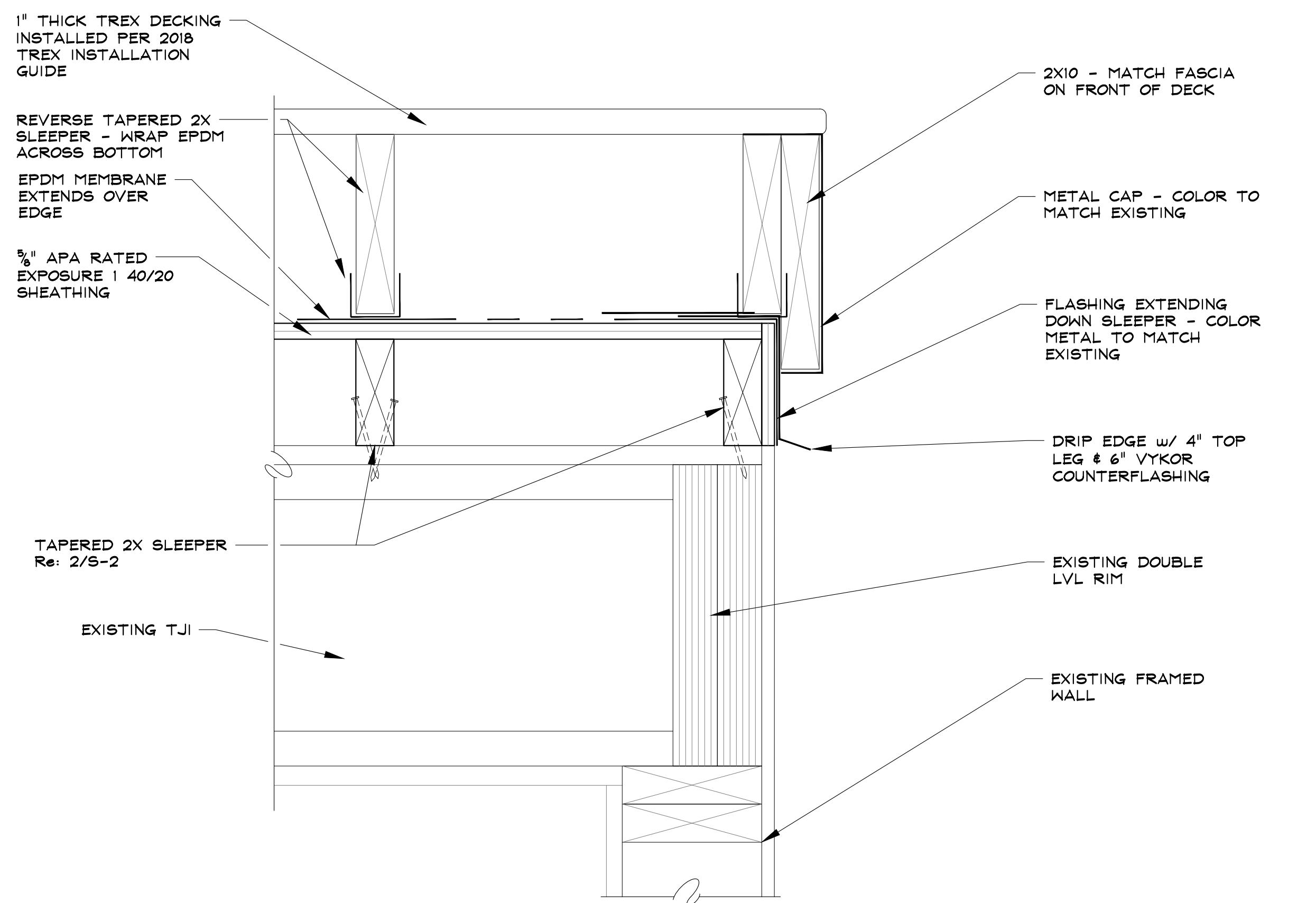


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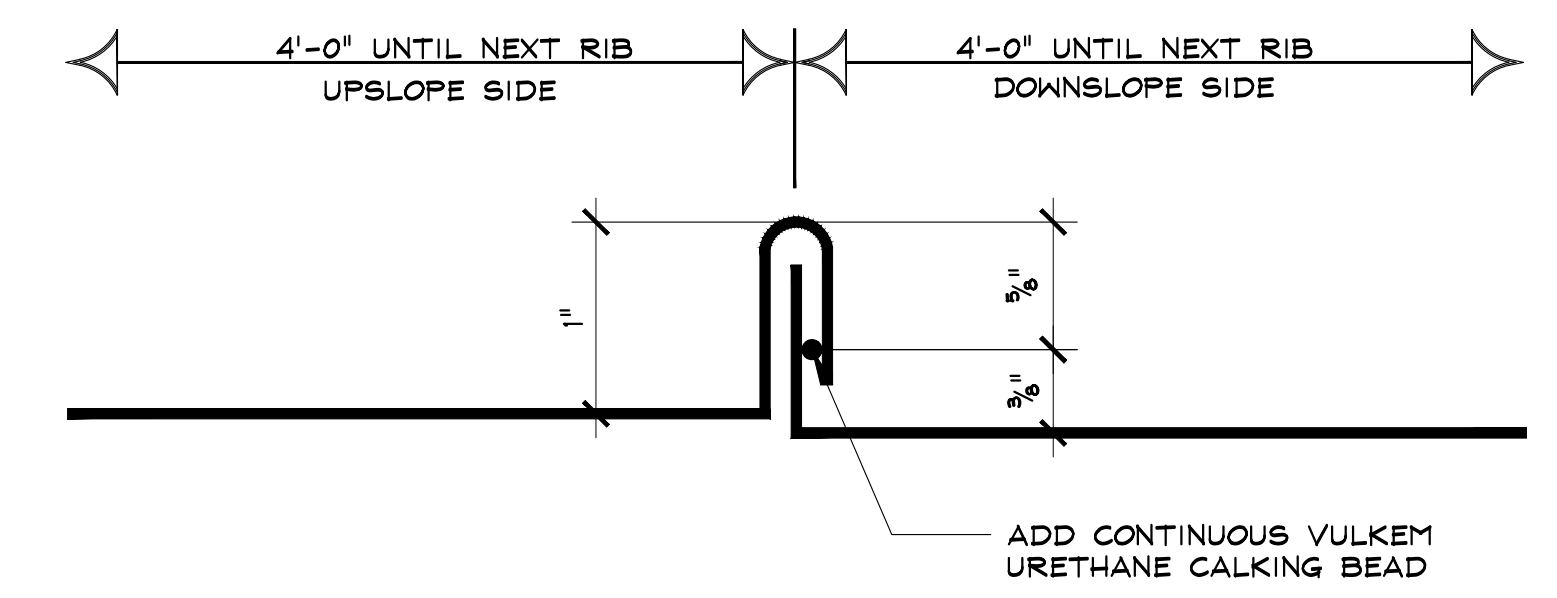
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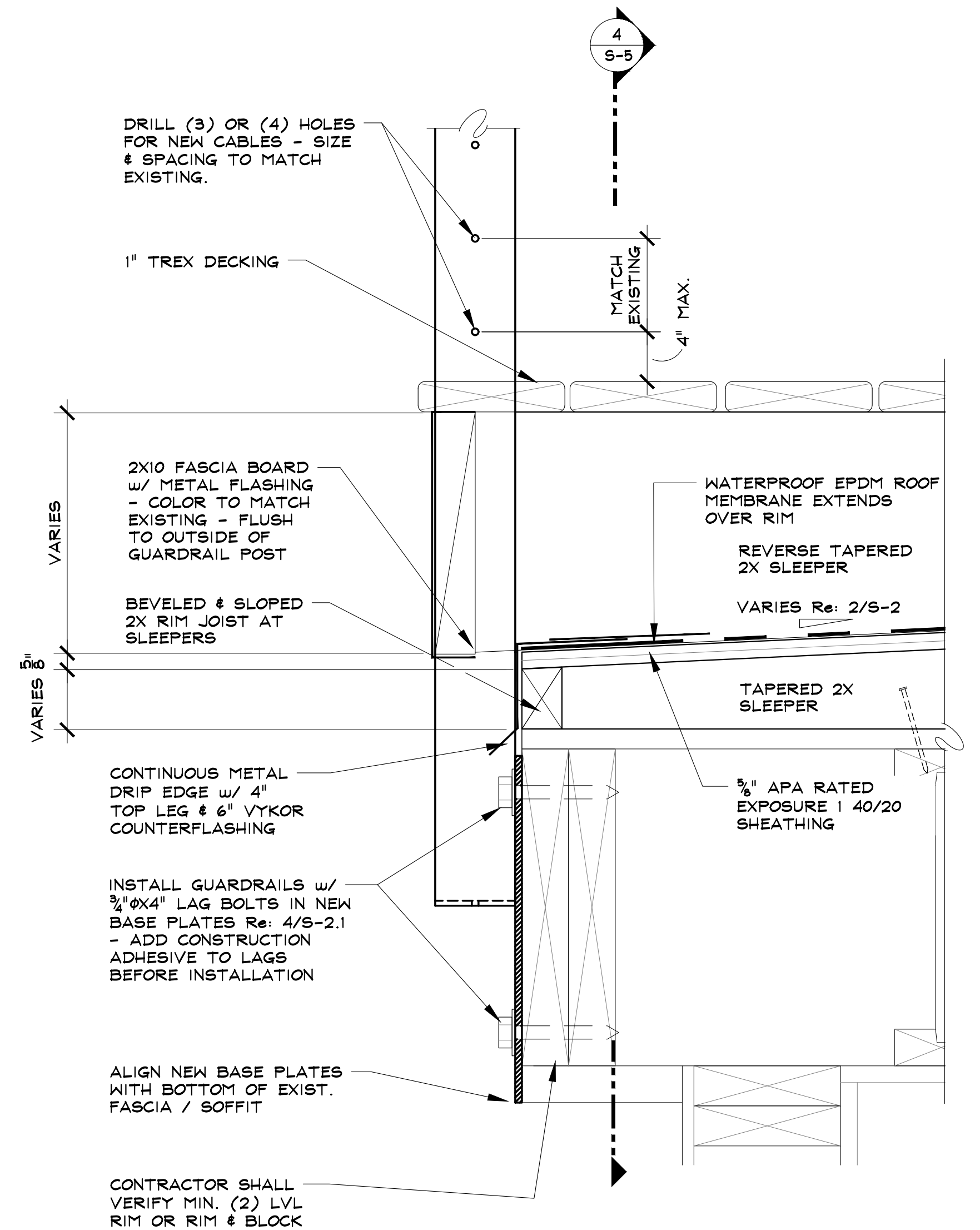
FLASHING / WATERPROOFING DETAILS
S-5
SHEET 7 of 14



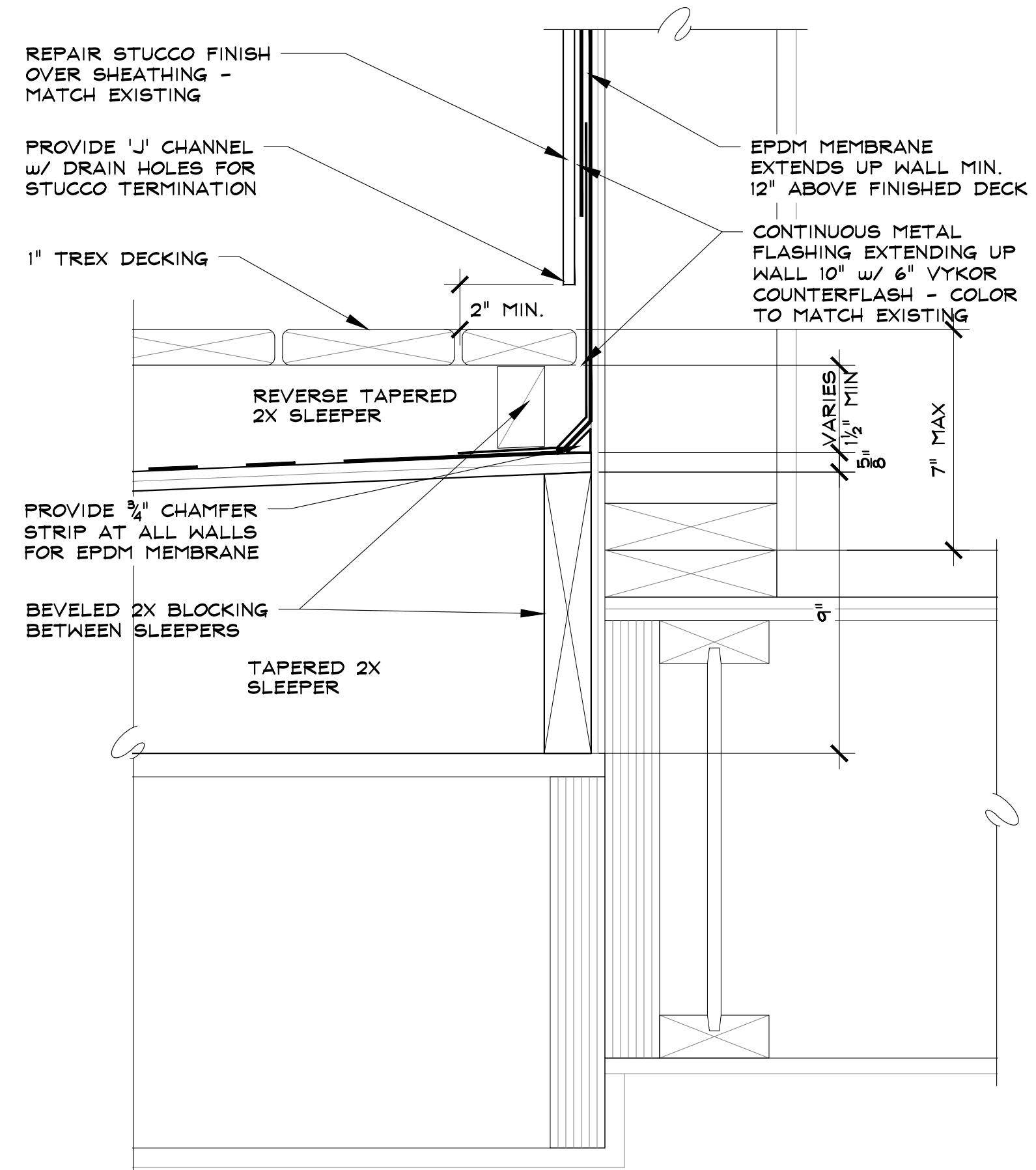
4 ROOF DECK EDGE
EXPLODED VIEW SCALE: 3" = 1'-0"



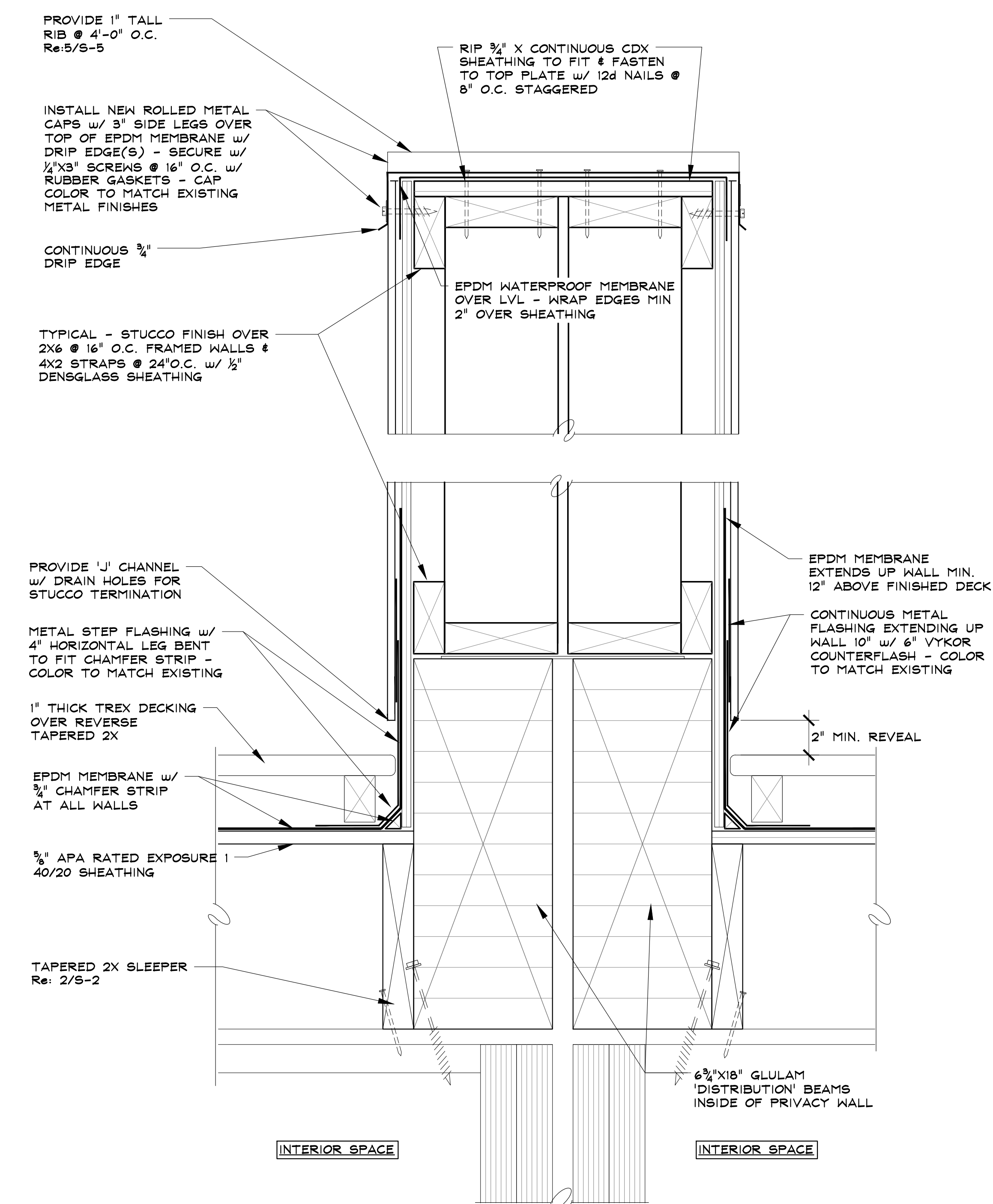
5 METAL CAP RIB
EXPLODED VIEW SCALE: 1'-0" = 1'-0"



3 SOUTH END OF ROOF DECK
EXPLODED VIEW SCALE: 3" = 1'-0"



2 NORTH END OF ROOF DECK
EXPLODED VIEW SCALE: 3" = 1'-0"



1 FLASHING DETAIL - TYPICAL AT DIVIDER WALL
EXPLODED VIEW SCALE: 3" = 1'-0"

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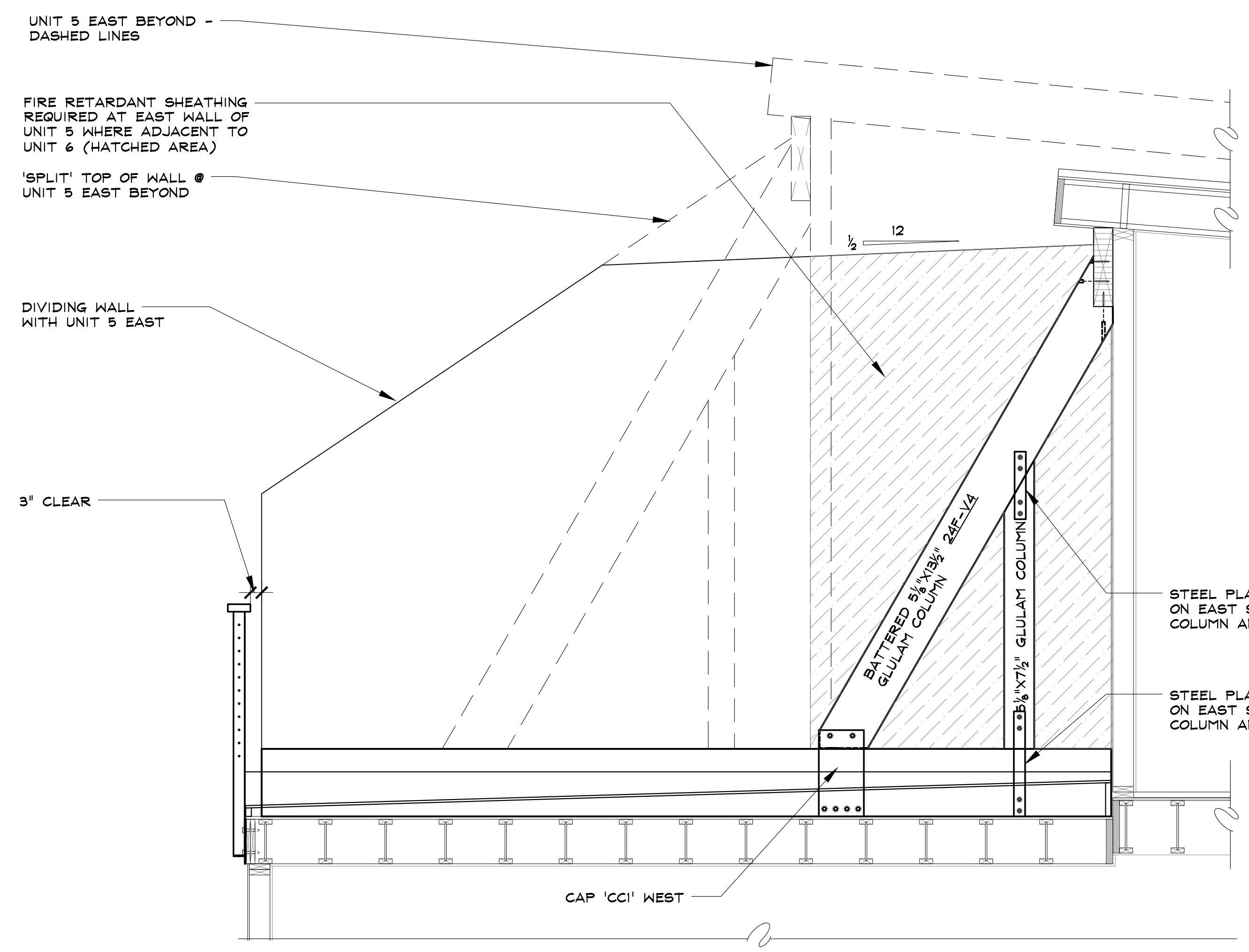
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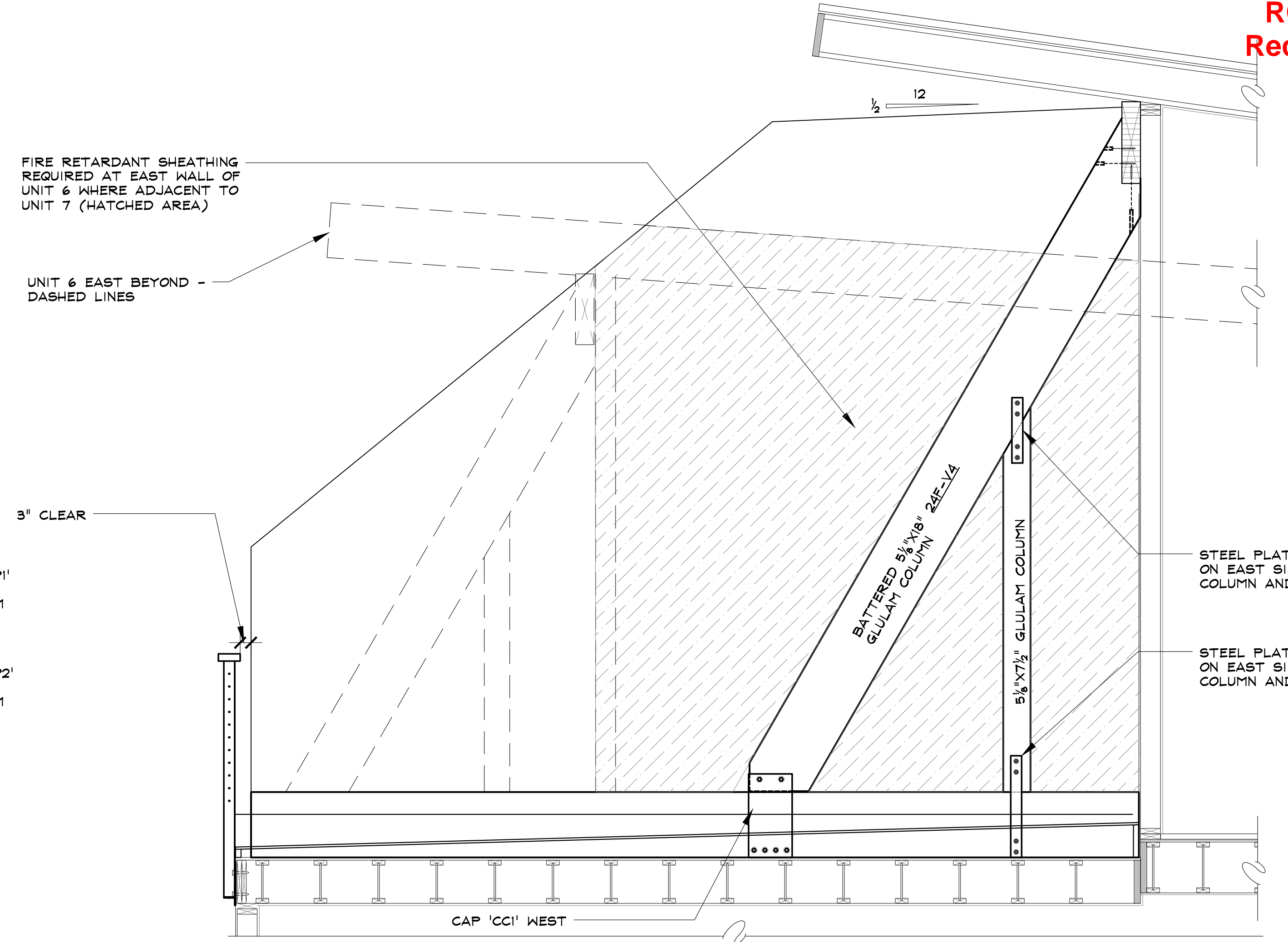
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SECTIONS THROUGH
PRIVACY WALL
UNITS 7 & 6

S-6
SHEET 8 of 14

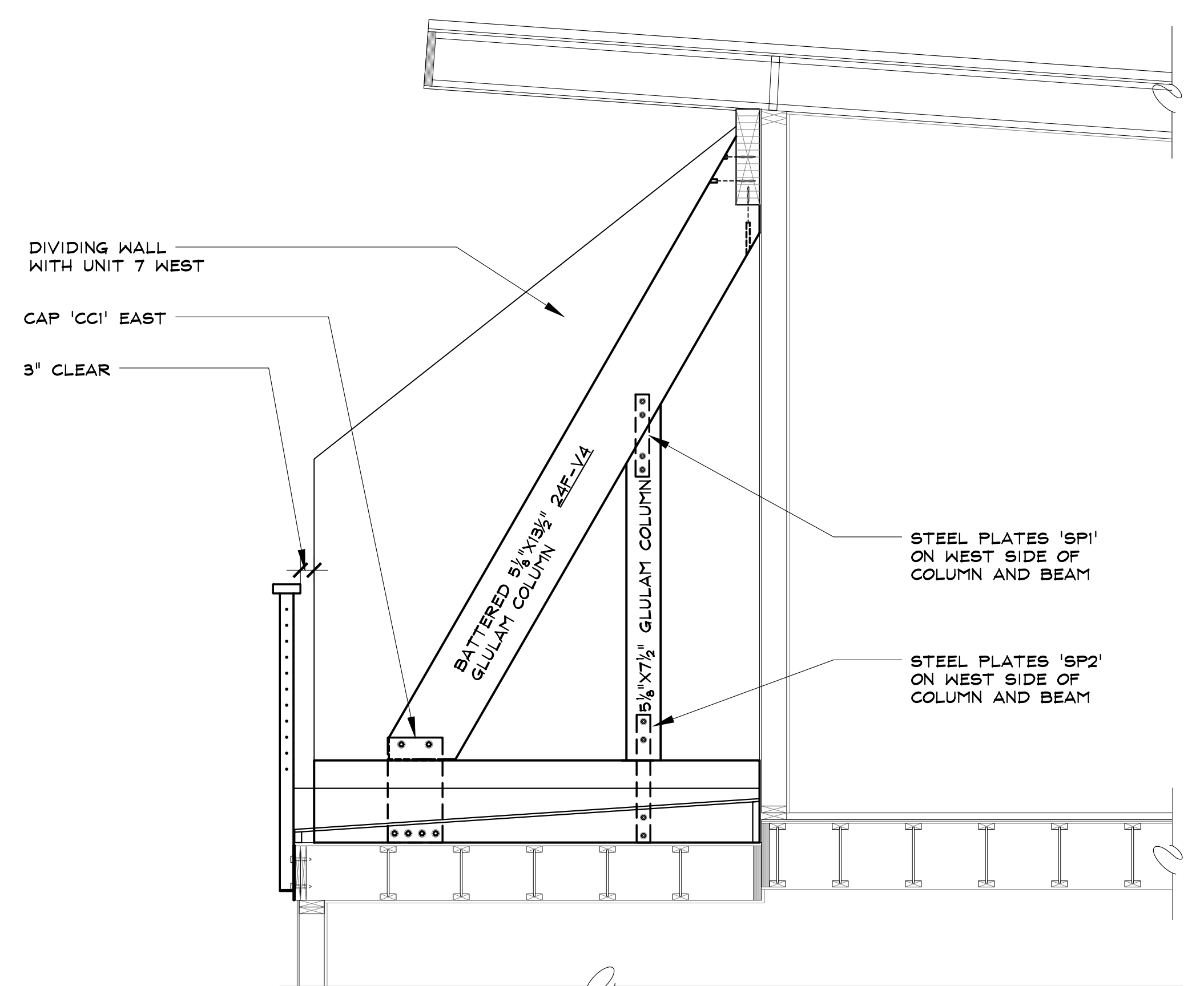


4 UNIT 6 WEST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"

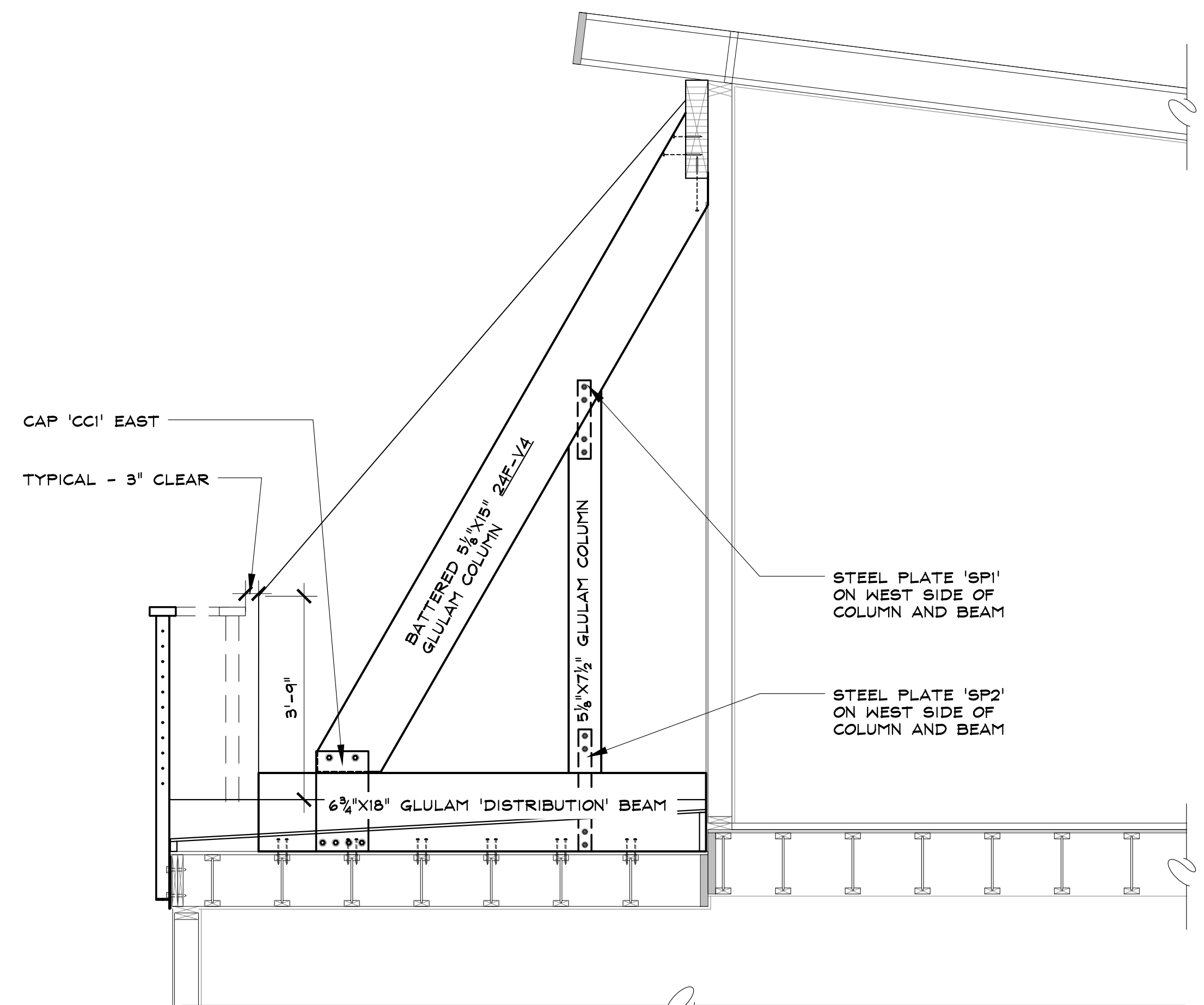


2 UNIT 7 WEST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"

NOTE: NEW DECK FRAMING NOT SHOWN FOR CLARITY THESE SECTIONS

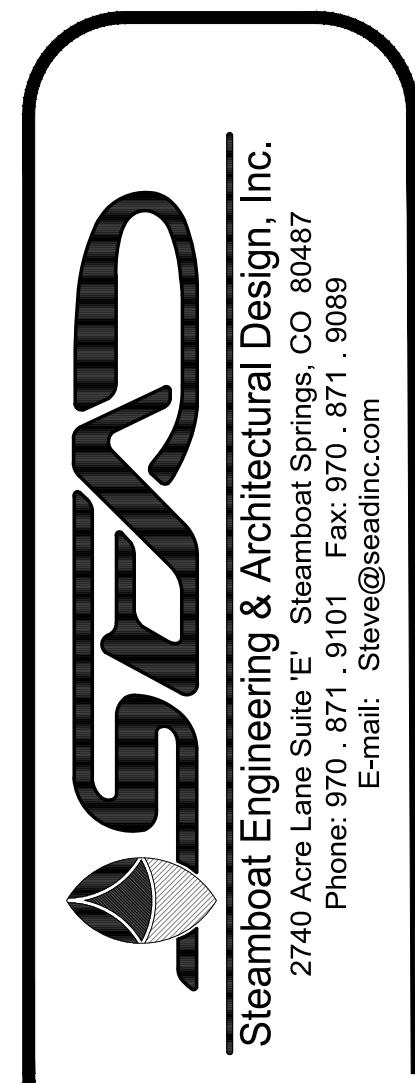


3 UNIT 6 EAST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"



1 UNIT 7 EAST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
DECK/ROOF FRAMING NOT SHOWN FOR CLARITY
SCALE: 1/2" = 1'-0"

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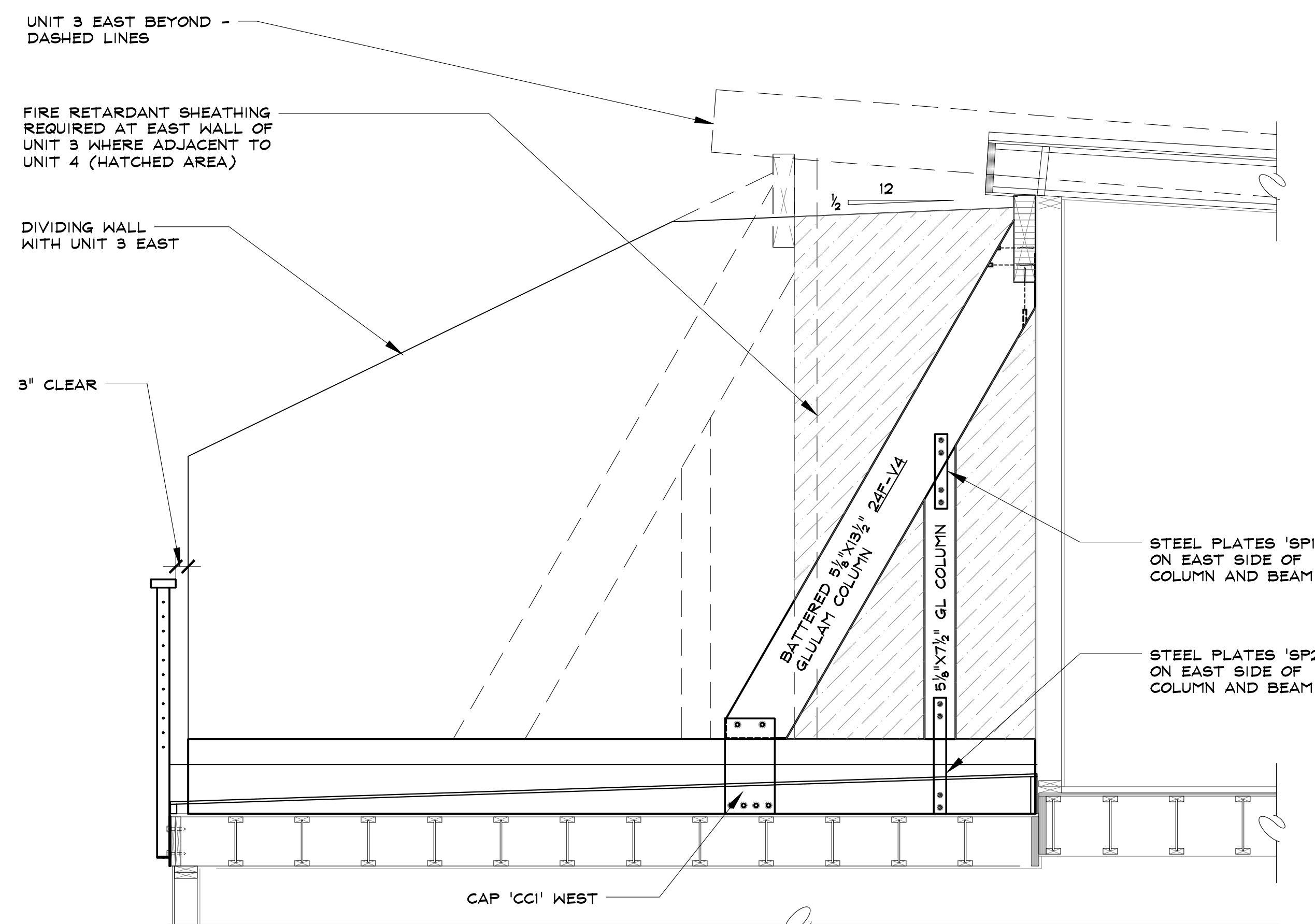


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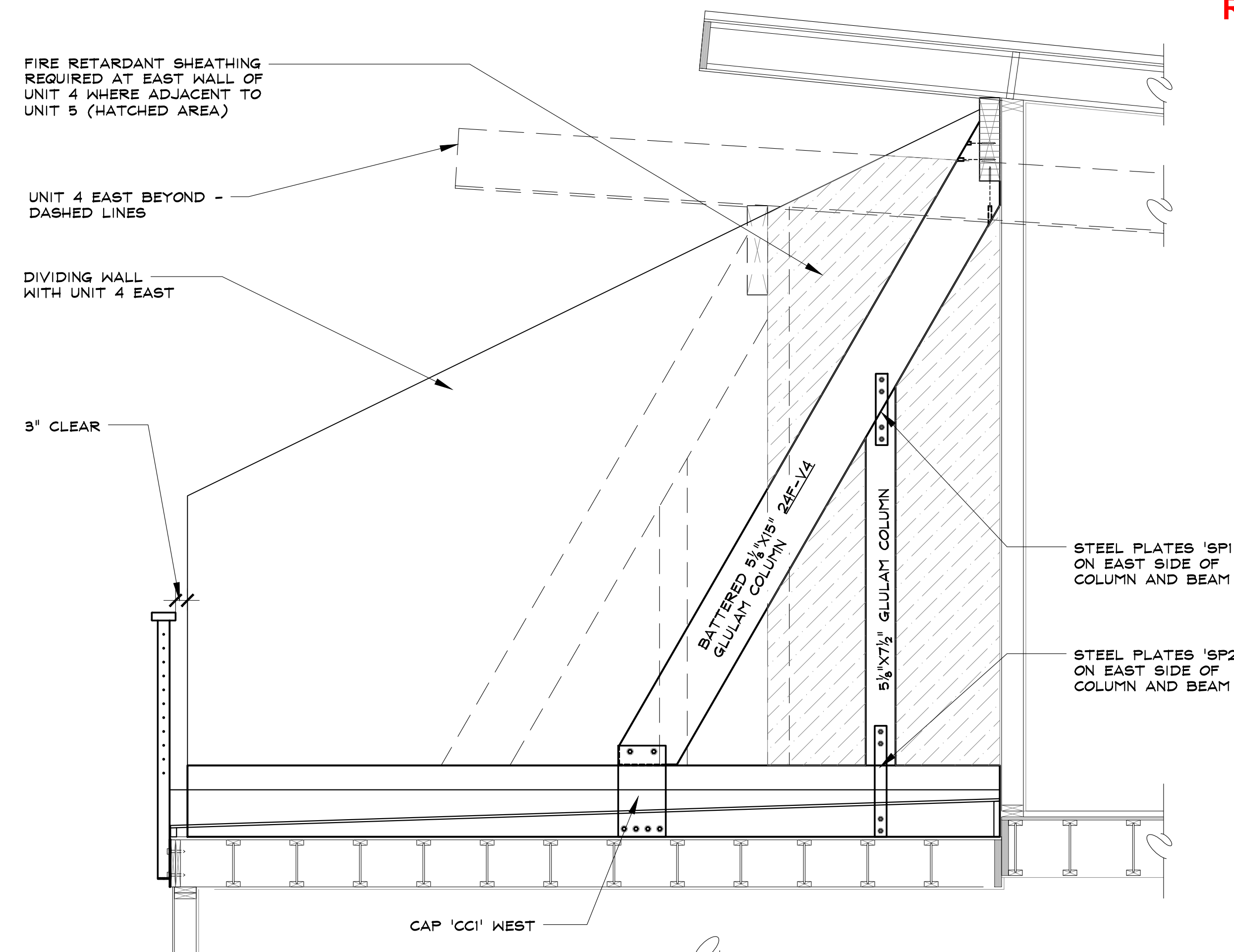
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SECTIONS THROUGH
PRIVACY WALL
UNITS 5 & 4
S-7
SHEET 9 of 14

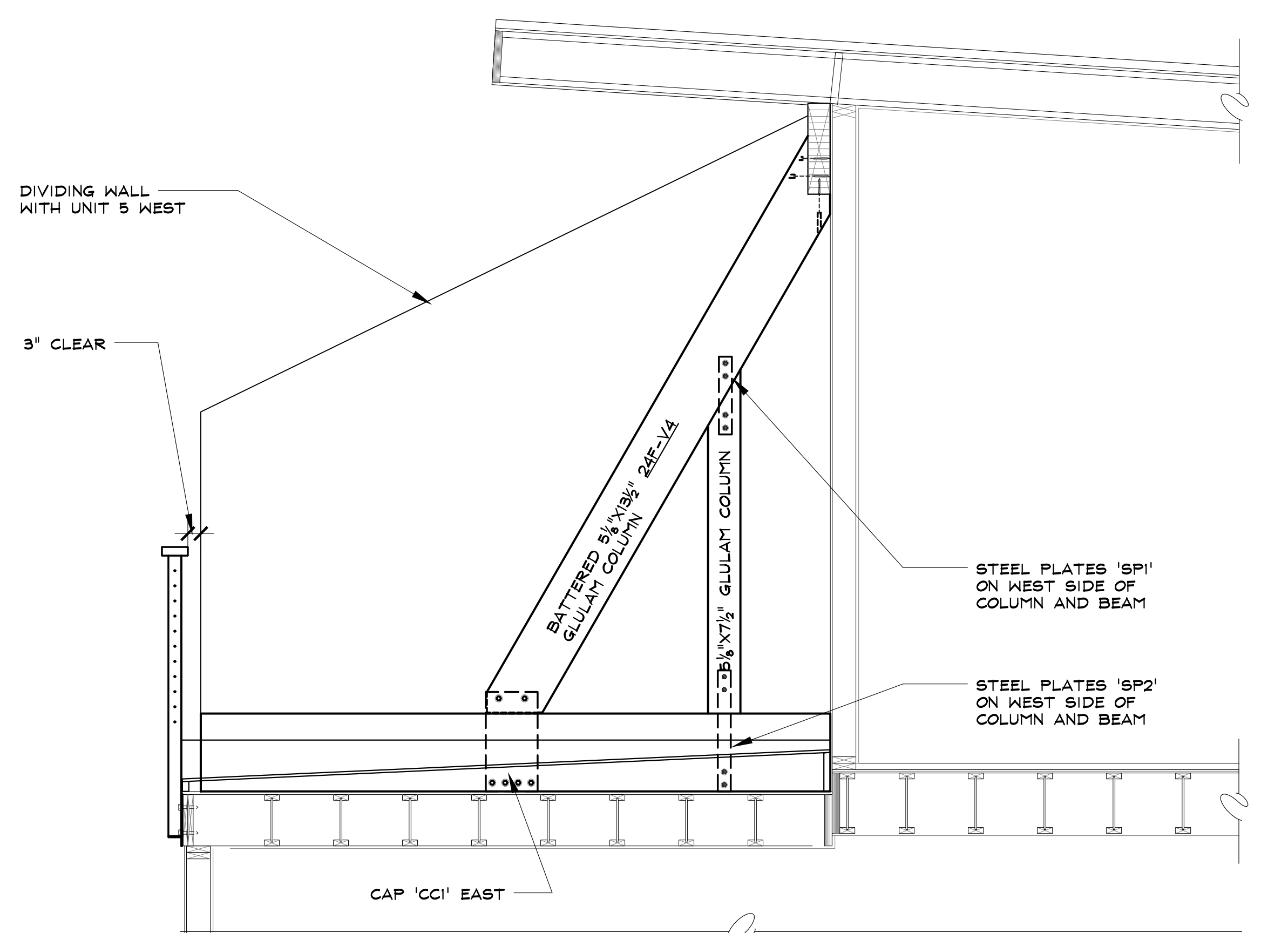


4 UNIT 4 WEST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"

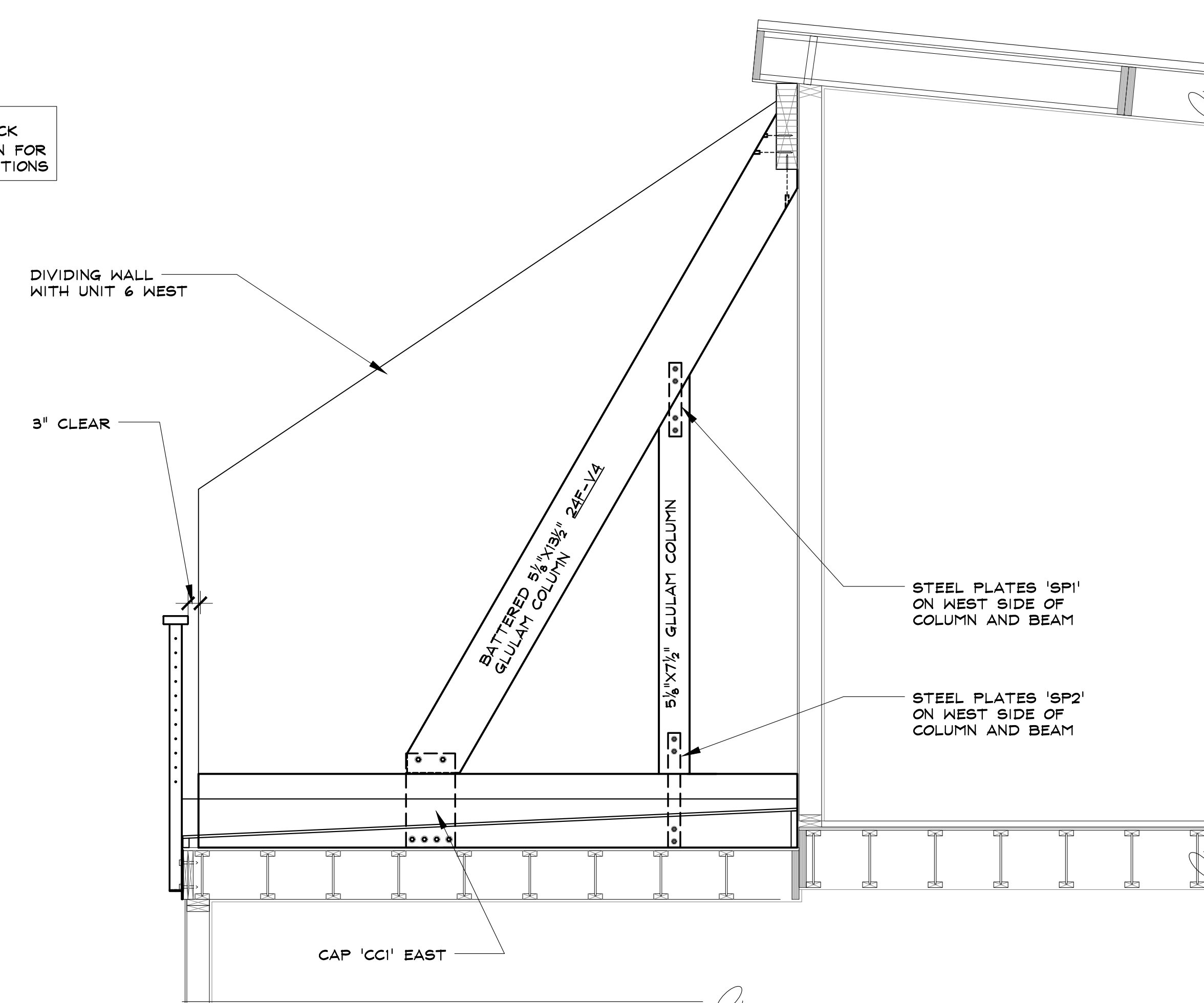


2 UNIT 5 WEST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"

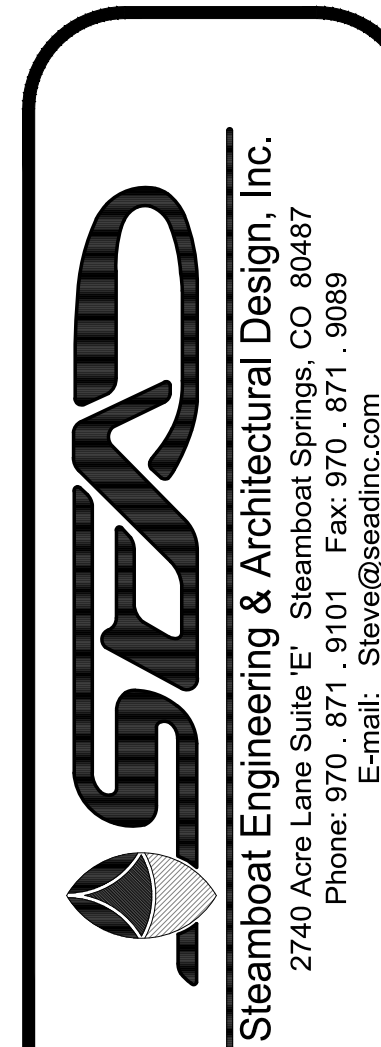
NOTE: NEW DECK FRAMING NOT SHOWN FOR CLARITY THESE SECTIONS



3 UNIT 4 EAST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"



1 UNIT 5 EAST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"



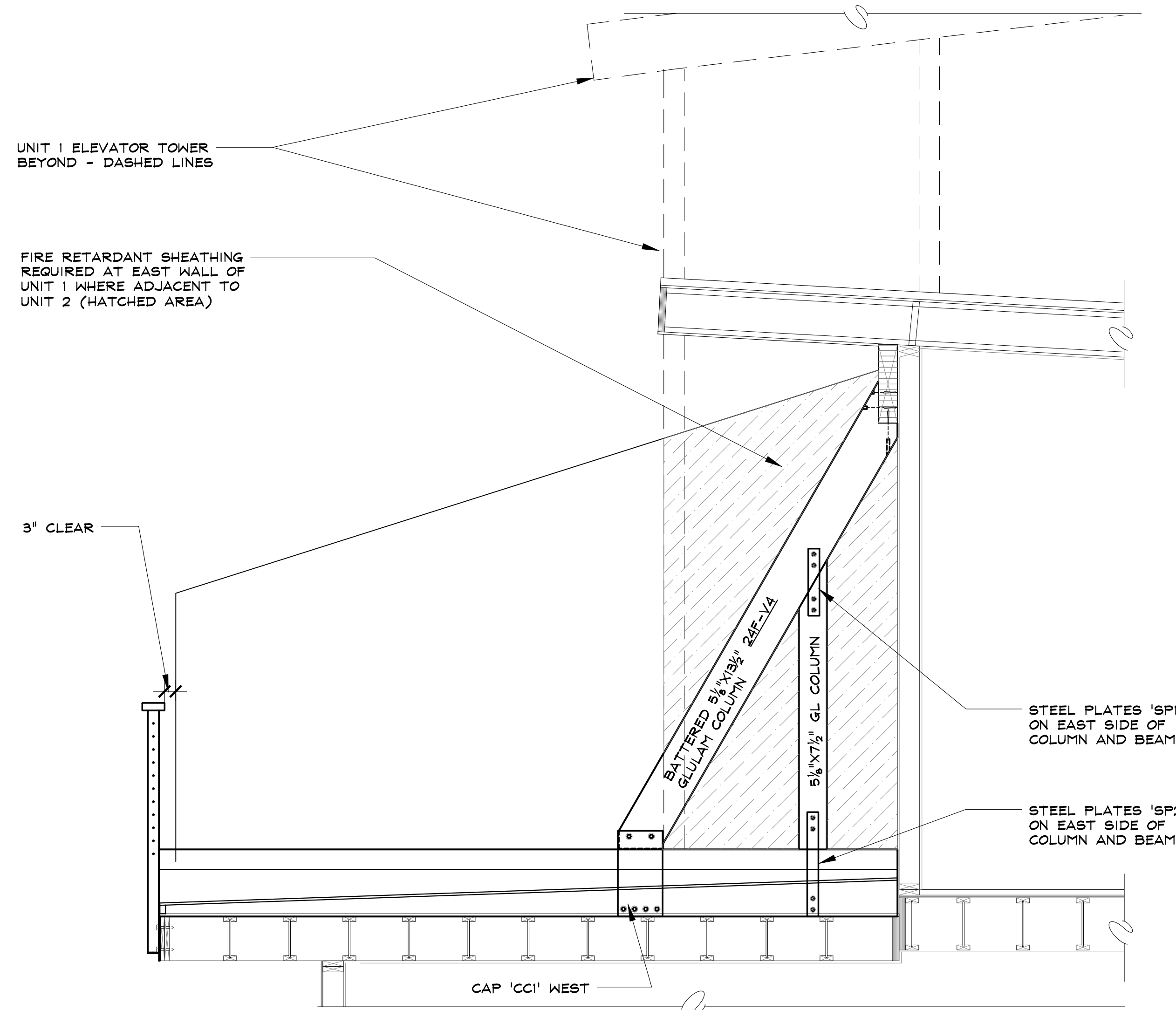
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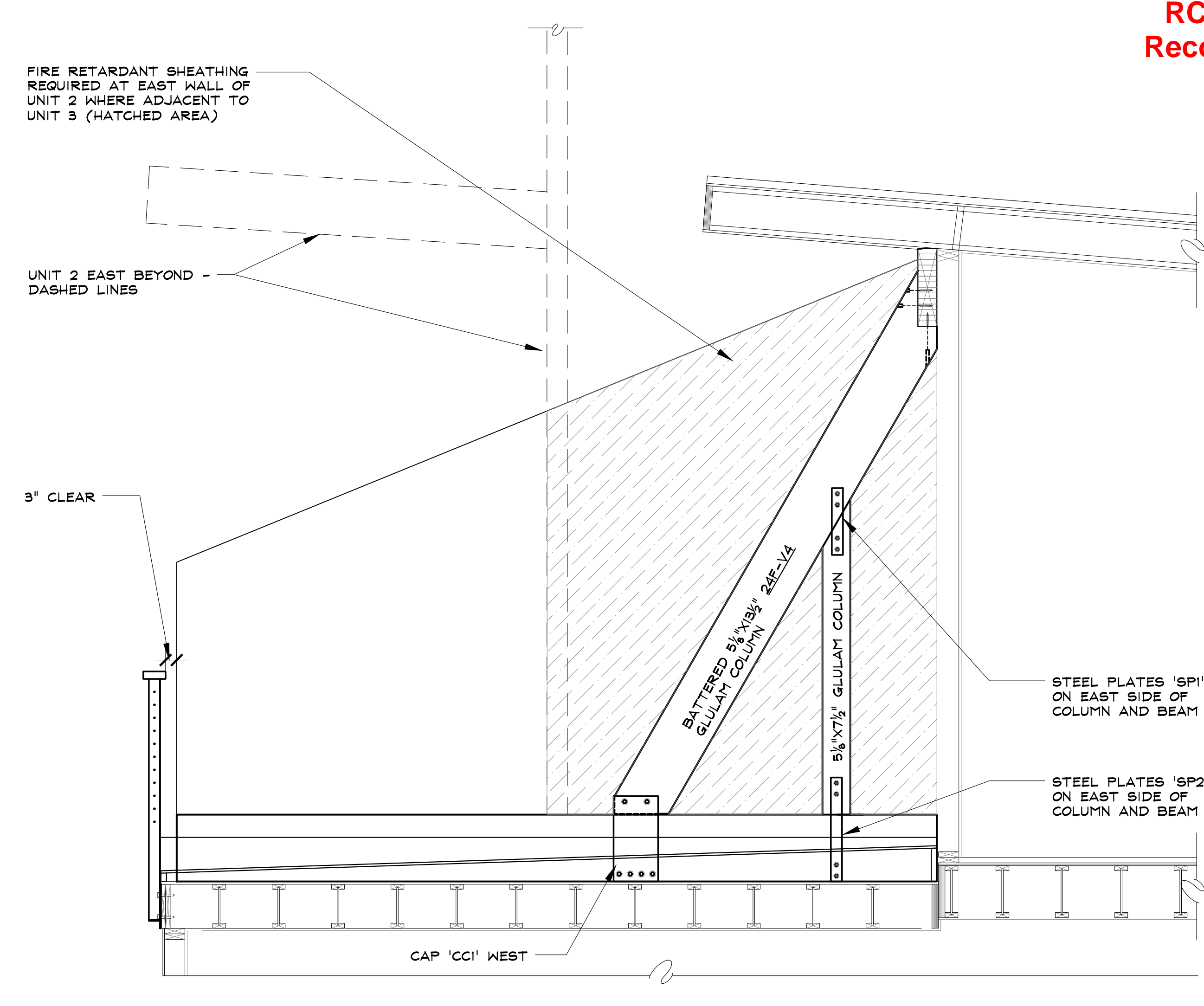
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SECTIONS THROUGH
PRIVACY WALL
UNITS 3 & 2

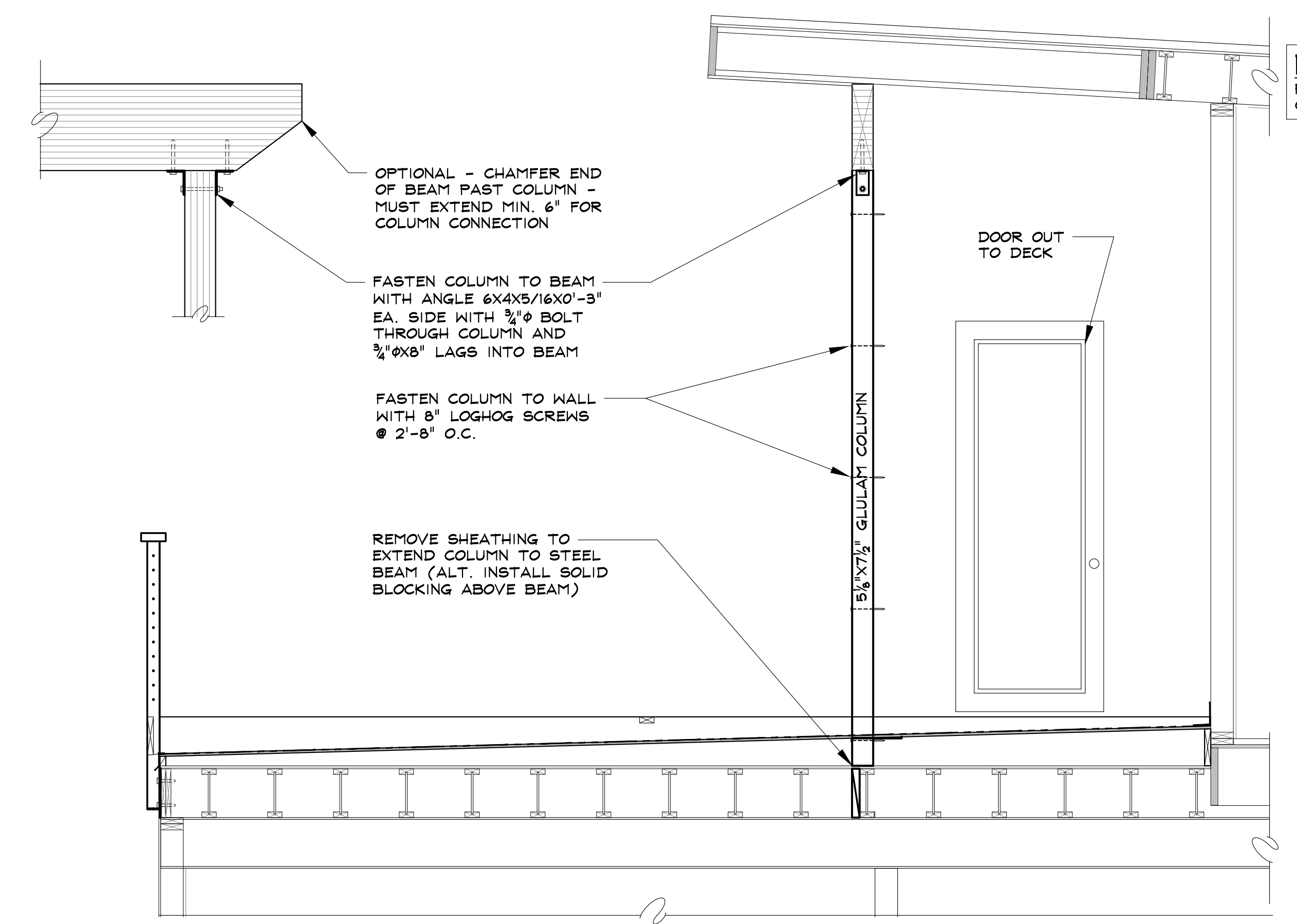
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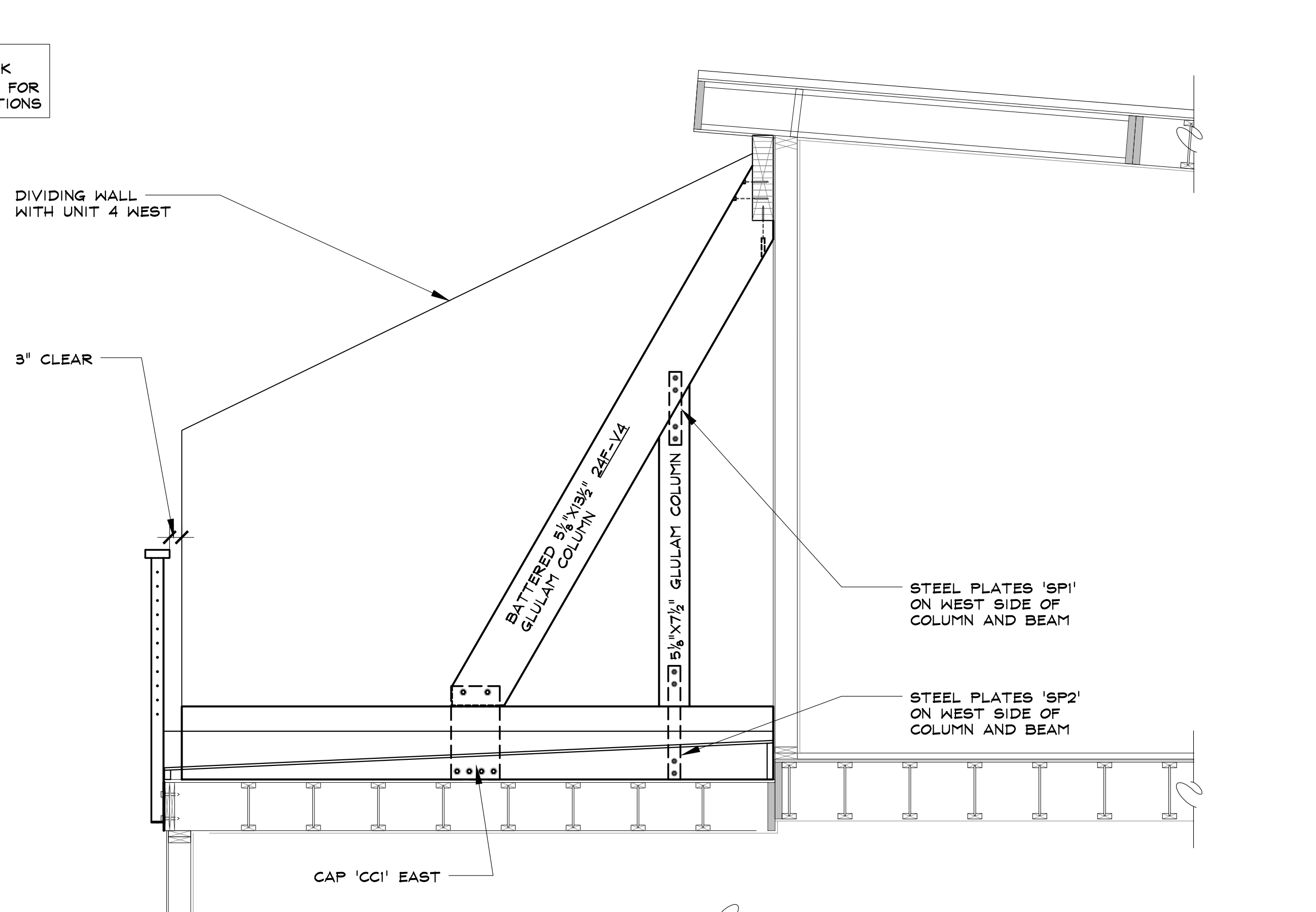
4 UNIT 2 WEST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
THIS IS A SINGLE WIDTH WALL - NO DISTRIBUTION BEAM AT UNIT 1 EAST
SCALE: 1/2" = 1'-0"



2 UNIT 3 WEST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
THIS IS A SINGLE WIDTH WALL - NO DISTRIBUTION BEAM AT UNIT 2 EAST
SCALE: 1/2" = 1'-0"

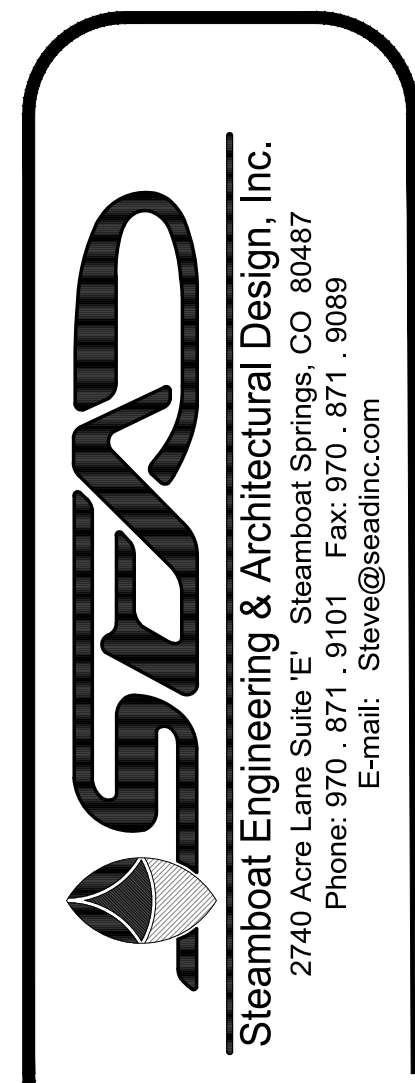


3 UNIT 2 AT VERTICAL COLUMN & STEEL BEAM
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"



1 UNIT 3 EAST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"

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RIVERFRONT PARK - BUILDING 3
1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR FOR:
RIVERFRONT PARK OWNER'S ASSOCIATION

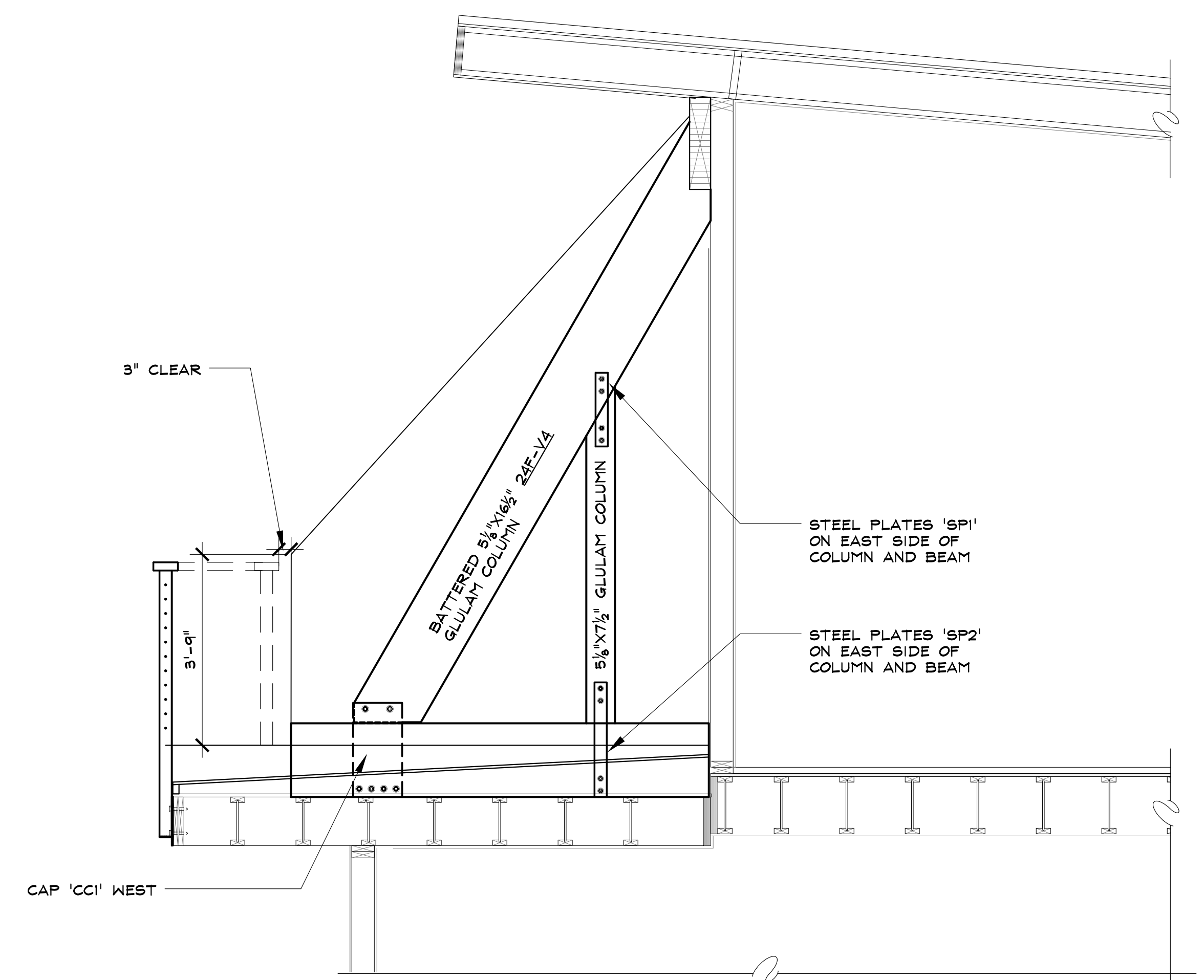
ISSUE DATES	
OAC REVIEW	09 . 06 . 18
PERMIT	09 . 14 . 18

DRAWN BY: SMS
REVIEWED BY: SJM
PROJECT # 17075

SECTIONS
THROUGH
PRIVACY WALL
UNIT 1

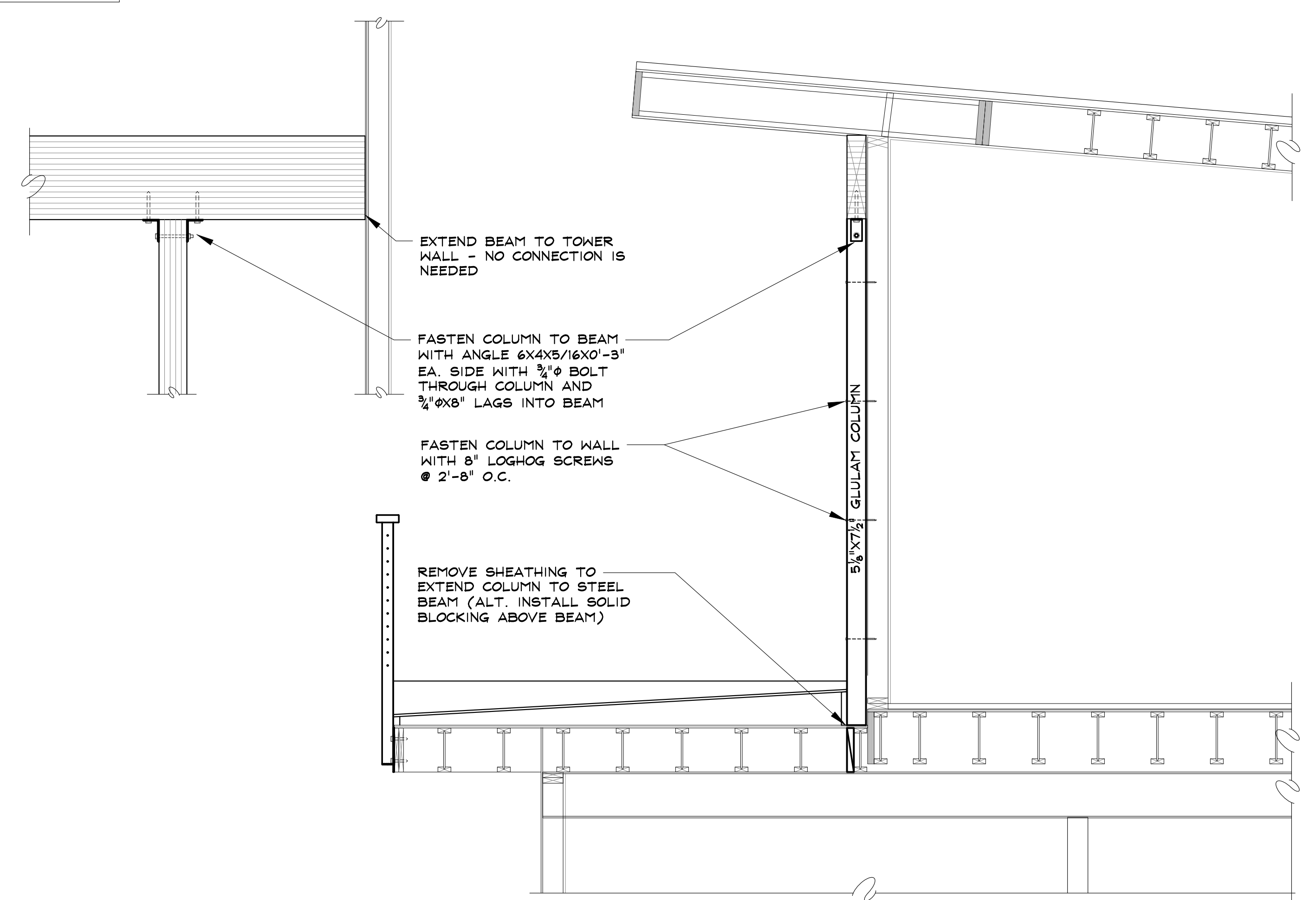
S-9

SHEET 11 of 14



2 UNIT 1 WEST END WALL SECTION
Re: 1/8-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"

NOTE: NEW DECK
FRAMING NOT SHOWN FOR
CLARITY THESE SECTIONS



1 UNIT 1 AT VERTICAL COLUMN & STEEL BEAM
Re: 1/8-3 FOR TYPICAL NOTES
SCALE: 1/2" = 1'-0"



RIVERFRONT PARK - BUILDING 3
1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR FOR:
RIVERFRONT PARK OWNER'S ASSOCIATION

ISSUE DATES

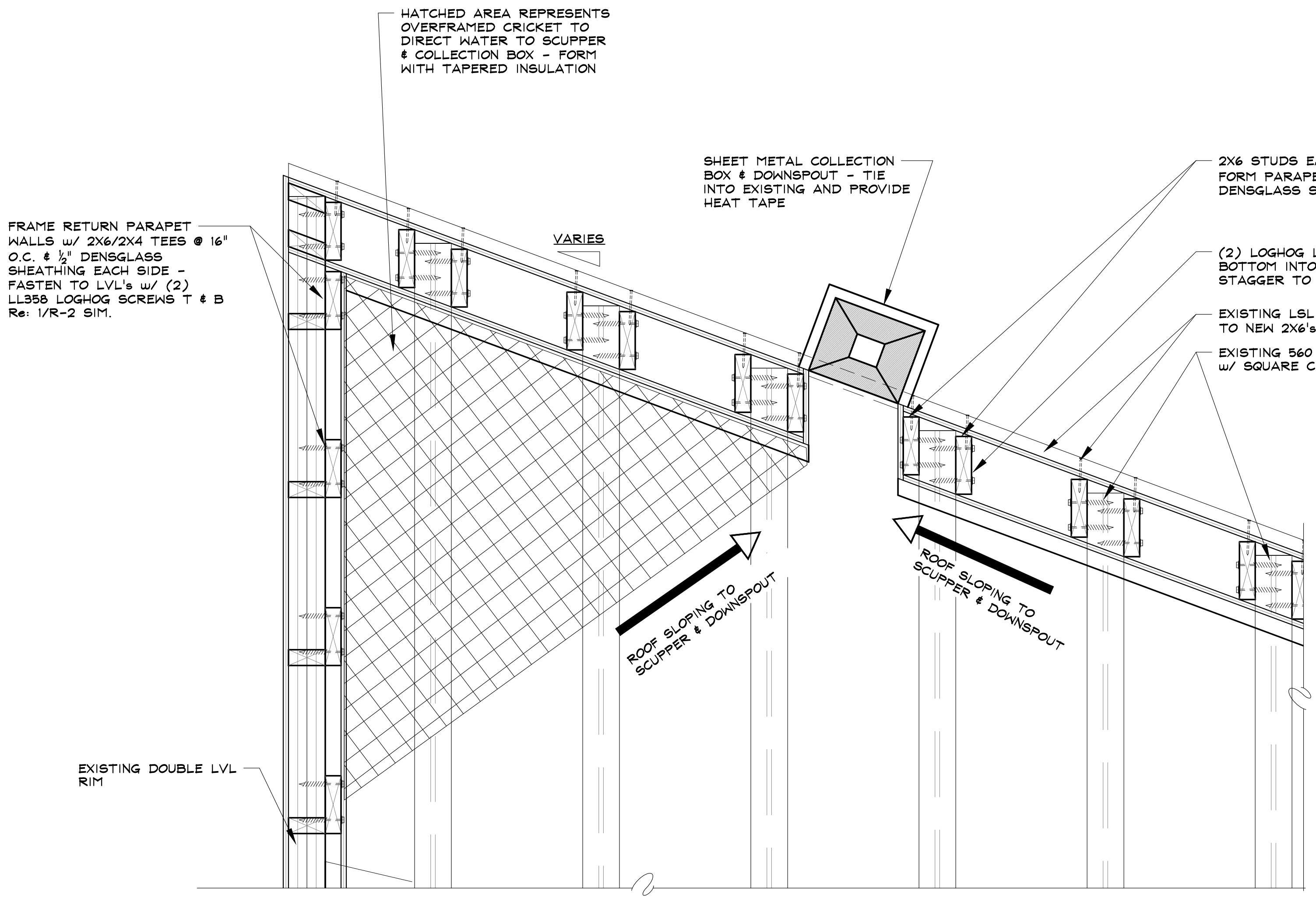
OAC REVIEW	09 . 06 . 18
PERMIT	09 . 14 . 18

DRAWN BY: SMS
REVIEWED BY: SJM
PROJECT # 17075

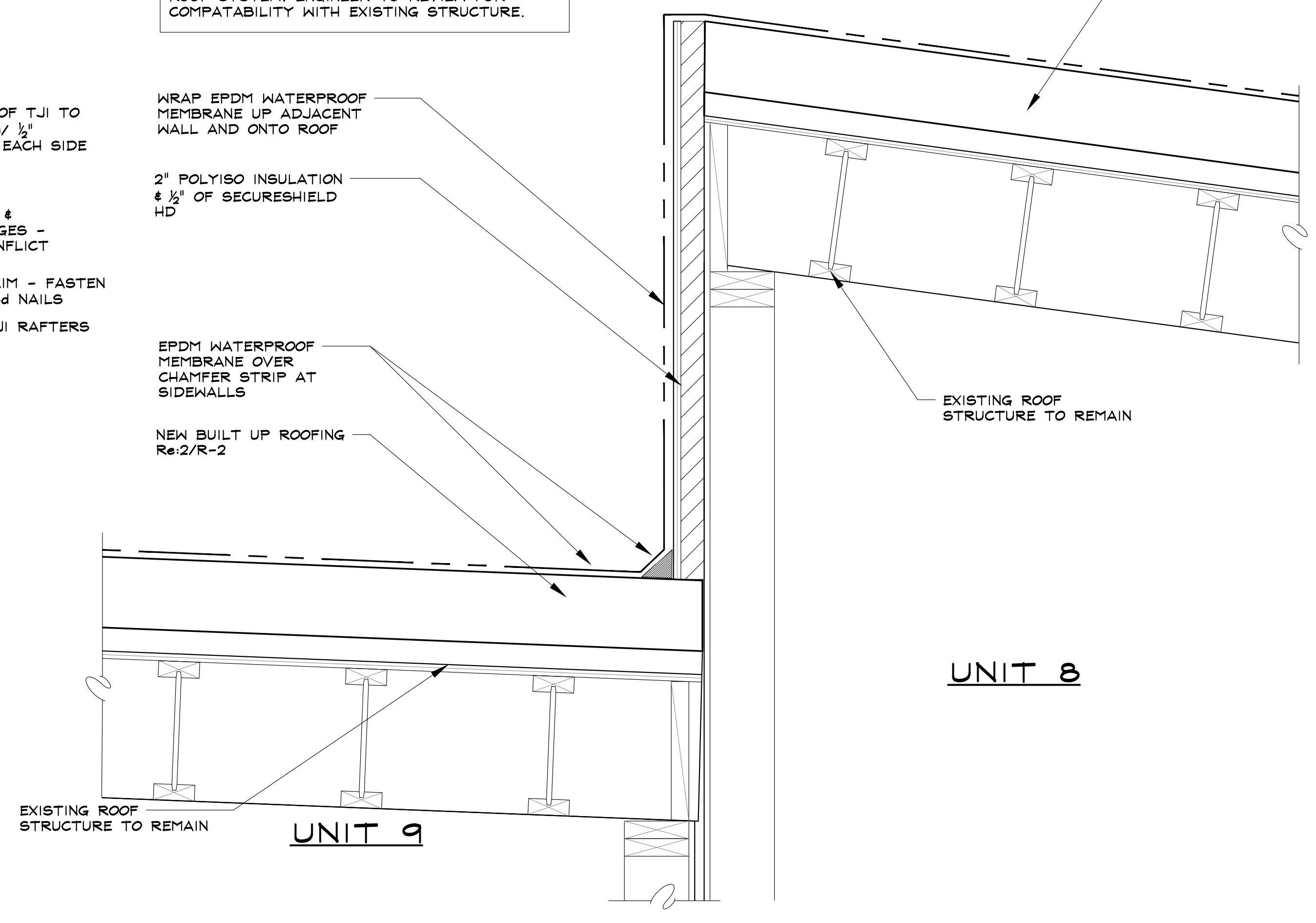
PROPOSED ROOF
DETAILS &
SECTIONS

R-2

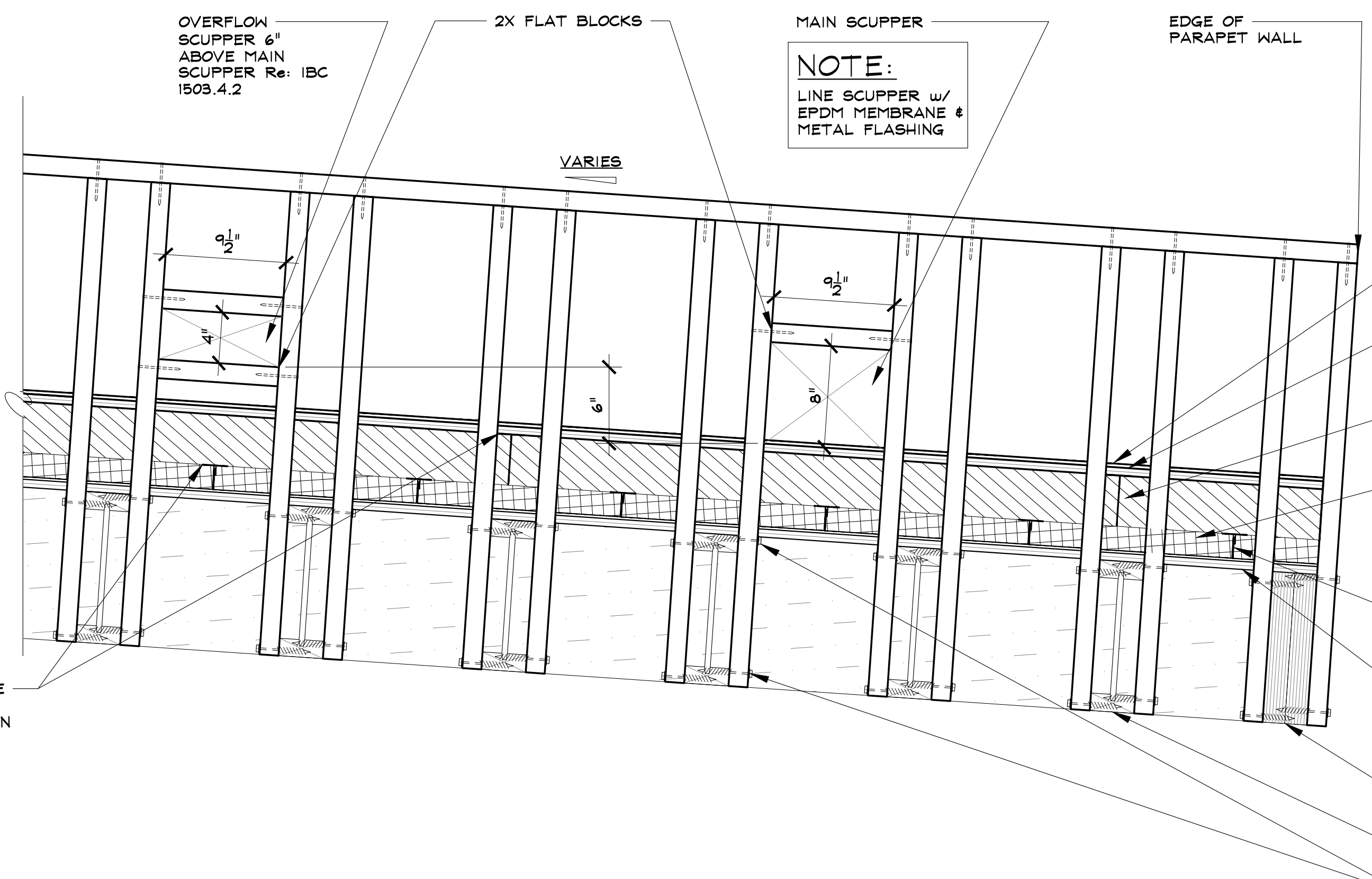
NOTE:
ROOFING CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CARLISLE EPDM FULLY ADHERED ROOF SYSTEM. ENGINEER TO REVIEW FOR COMPATIBILITY WITH EXISTING STRUCTURE.



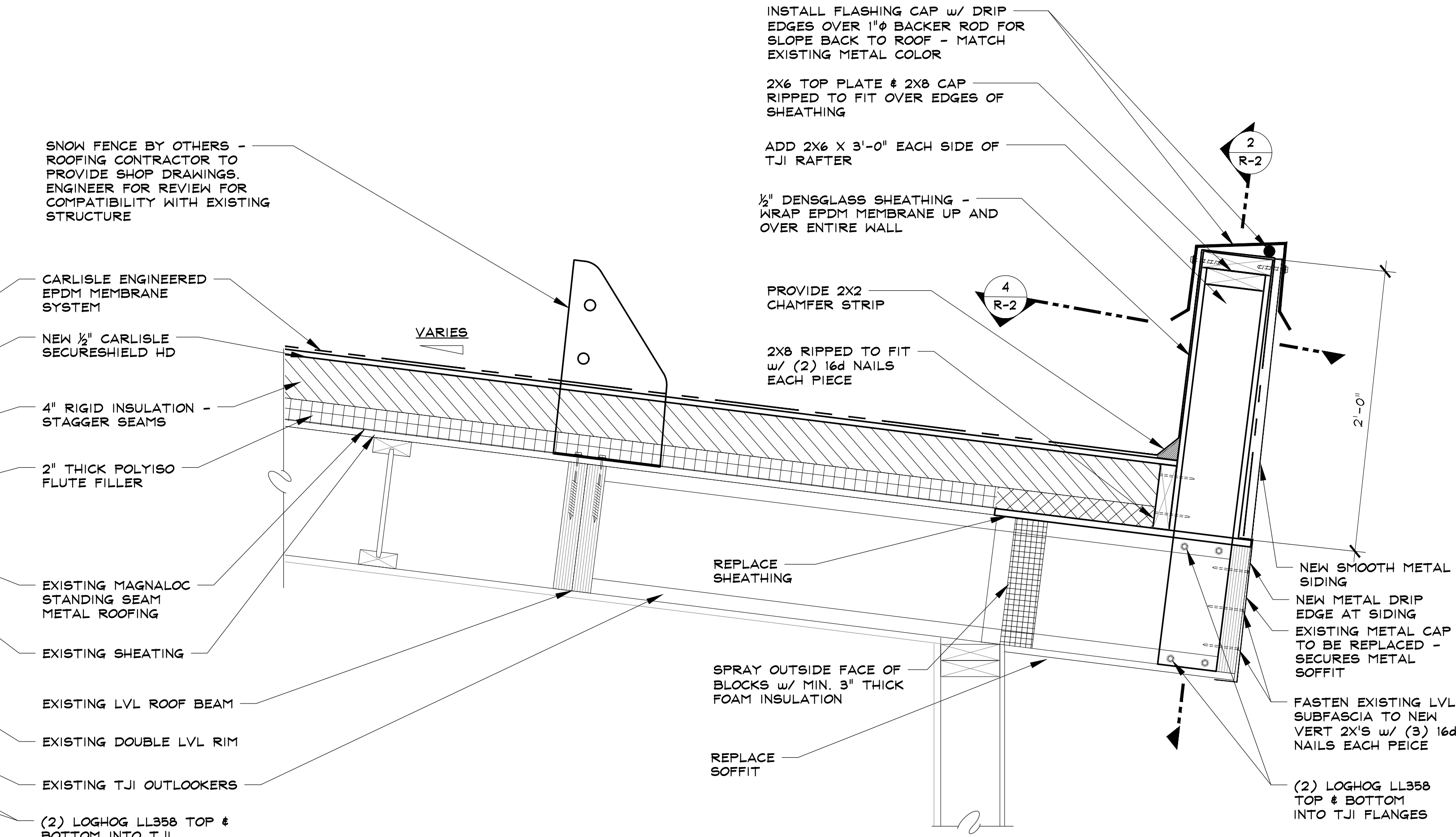
4 TYPICAL PARAPET WALL & DRAINAGE DETAIL
SCALE: 1/2" = 1'-0"



3 PROPOSED SECTION AT ROOF STEP(S)
SCALE: 1/2" = 1'-0"



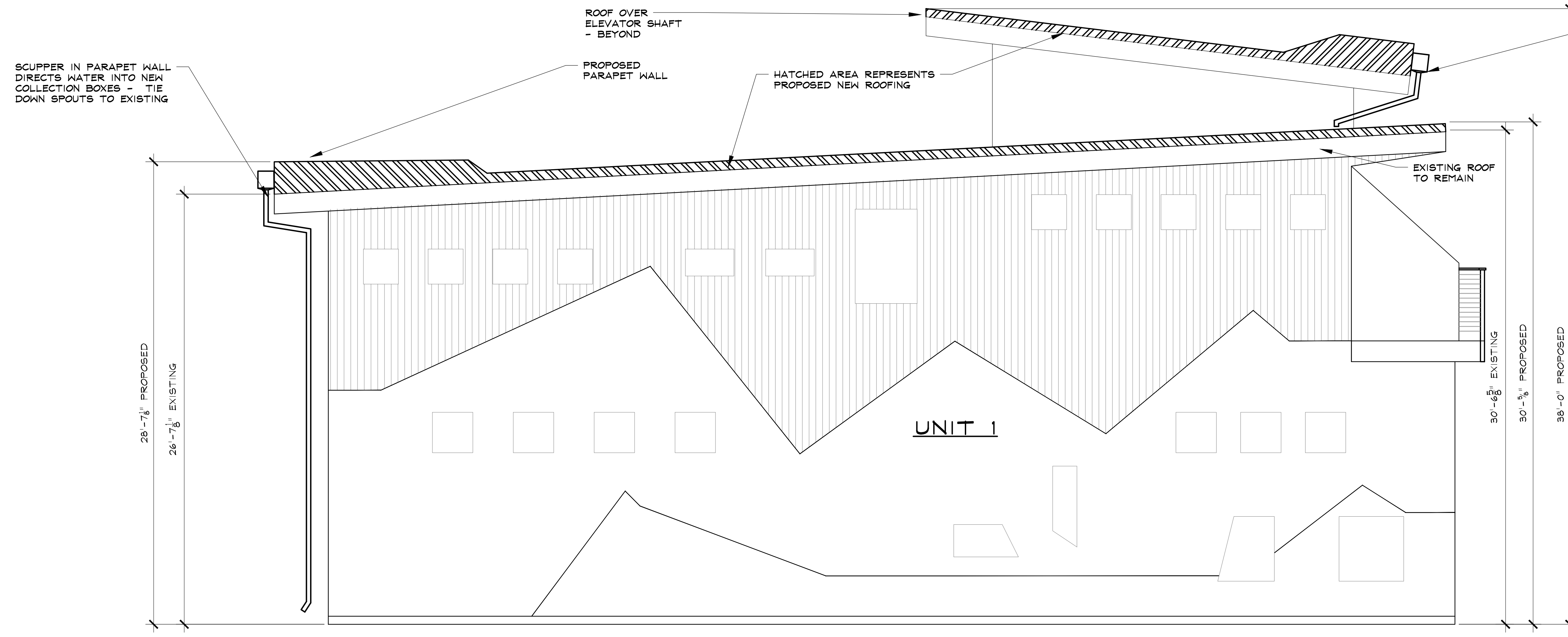
2 TYPICAL PARAPET WALL ROOF ELEVATION/SECTION
SCALE: 1/2" = 1'-0"



1 TYPICAL PARAPET WALL SECTION
NEW ROOF PROVIDES R-37.5 CONTINUOUS INSULATION TO SATISFY IECC TABLE C.402.1.3
TYPICAL - NEW METAL CAPS, FLASHINGS & SIDING TO MATCH COLOR OF EXISTING METAL FLASHINGS & SOFFIT
SCALE: 1/2" = 1'-0"

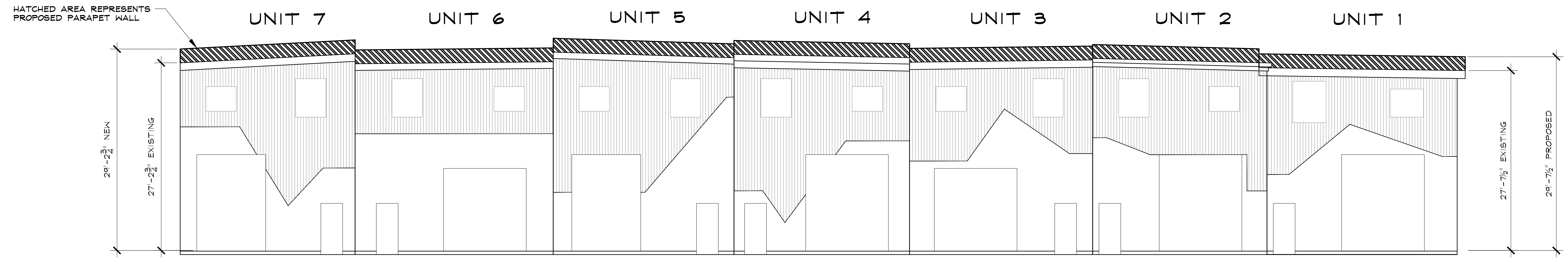
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TYPICAL - TAPE SEAMS IN RIGID FOAM INSULATION



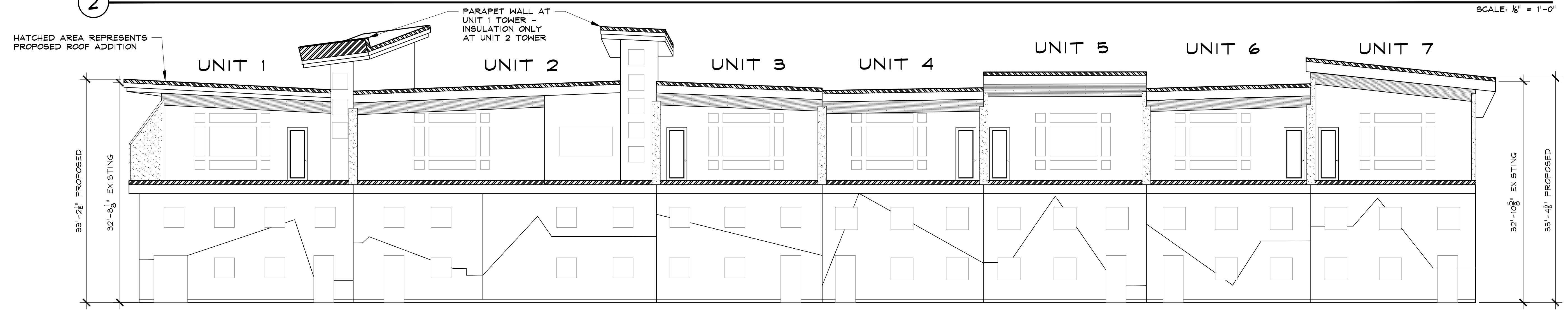
4 BUILDING 3 UNIT 1 - PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



2 BUILDING 3 PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



1 BUILDING 3 PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

BASED ON DRAWINGS BY ARCHITECTURE ONE DATED 08.22.07 FOR RCRBD PERMIT SB-06-792

RIVERFRONT PARK - BUILDING 3
1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR FOR:
RIVERFRONT PARK OWNER'S ASSOCIATION

ISSUE DATES	
OAC REVIEW	09 . 06 . 18
PERMIT	09 . 14 . 18

DRAWN BY: SMS
REVIEWED BY: SJM
PROJECT # 17075

PROPOSED ELEVATIONS

7-3

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