

O:\C020235 Astrid-Edgemont Ph2\Drawings\Construction Documents\20235 Cover.dwg, 5/15/2024 2:22:52 PM, Steve Botchelder

CONSTRUCTION DOCUMENTS THE ASTRID

LOCATED IN SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST
OF THE 6th PRINCIPAL MERIDIAN
CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO

PROJECT CONTACTS



CIVIL ENGINEER:
BASELINE ENGINEERING
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CLIENT:
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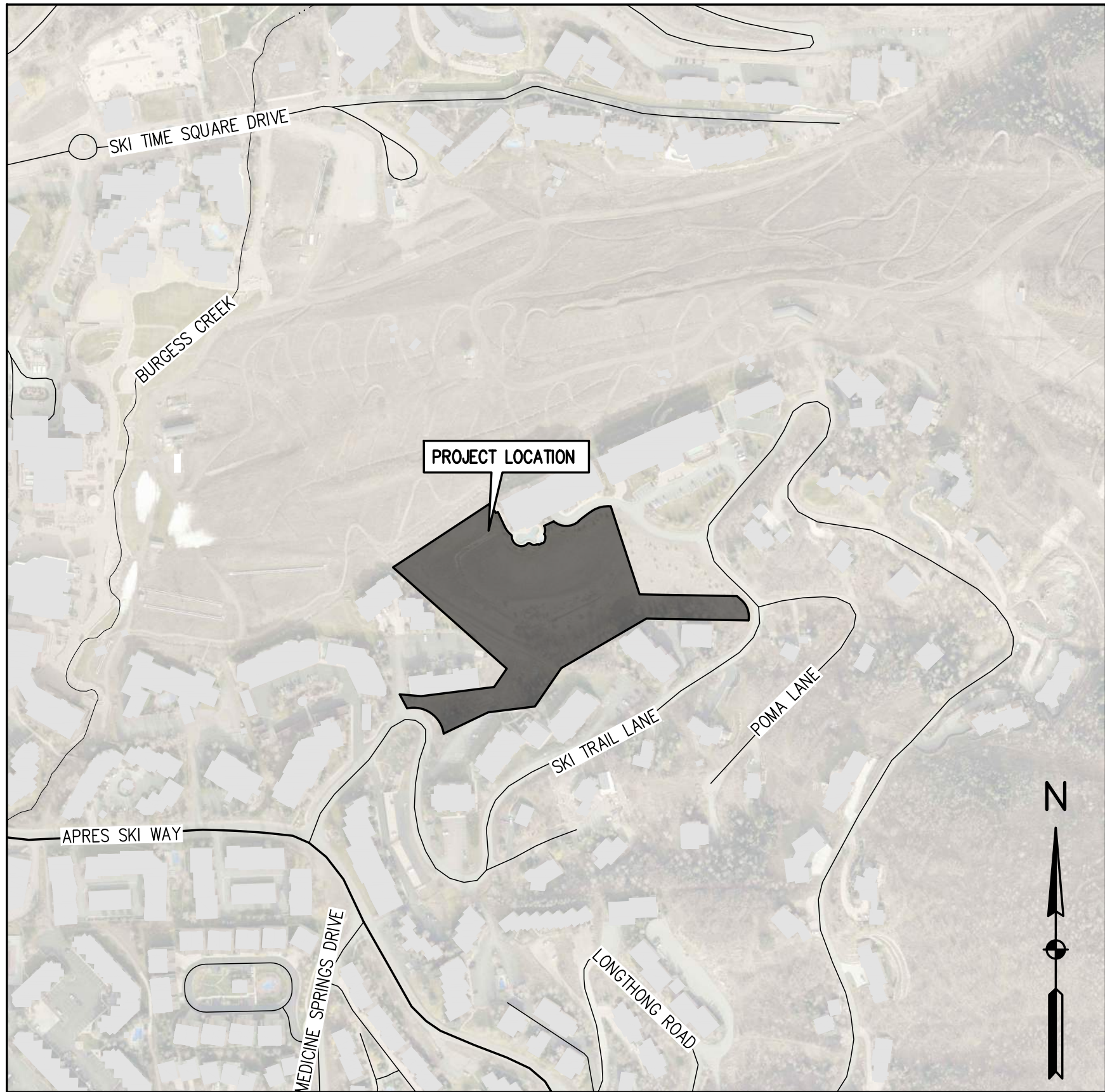
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COMCAST
ANDY NEWBY
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VICINITY MAP

SCALE: 1" = 300'

BASIS OF BEARINGS

BASIS OF HORIZONTAL CONTROL: NAD83(2011) COLORADO NORTH, SCALED TO GROUND ABOUT A POINT HAVING COORDINATES OF N:1412535.68, E:2636559.05 AND A SCALE FACTOR OF 1.0003690183.
SITE BENCHMARK: A RECOVERED NO.5 REBAR WITH ALUMINUM CAP STAMPED "LS 29039", HAVING AN ELEVATION OF 6986.18' BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS SHOWN HEREON.

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LD-2	LANDSCAPE DETAILS

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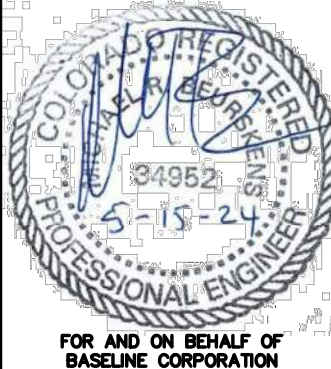
DESIGNED BY	SMB
DRAWN BY	TJM
CHECKED BY	MRB

DATE	2/29/2024
PREPARED BY	SMB
DATE	5/15/2024
PREPARED BY	SMB

REVISION	DESCRIPTION
INITIAL	SUBMITTAL FOR CITY REVIEW
CITY	COMMENTS

STEAMBOAT ESQUIAR LP	ROUTT COUNTY
CITY OF STEAMBOAT SPRINGS	THE ASTRID 2410 SKI TRAIL LANE COVER

PREPARED UNDER THE DIRECT SUPERVISION OF



FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 2/29/2024

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC SURVEY DATE 06/03/22

JOB NO. C020235

DRAWING NAME COVER

SHEET 1 OF 64

C1

C:\020235 Astrid-Edgemont Ph2\Drawings\Construction Documents\20235 Notes & Legend.dwg, 5/15/2024 2:23:17 PM, Steve Borchelder

CITY OF STEAMBOAT SPRINGS STANDARD CONSTRUCTION NOTES

GENERAL NOTES

- CITY OF STEAMBOAT SPRINGS PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY ENGINEERING STANDARDS AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS, DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE BY THE PROJECT ENGINEER.
- THE CONSTRUCTION SPECIFICATIONS FOR THIS PROJECT ARE THE CITY OF STEAMBOAT SPRINGS GENERAL SPECIFICATIONS, LATEST REVISION.
- ALL INFRASTRUCTURE CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST REVISION, EXCEPT FOR THE WATER AND SANITARY SEWER PORTION OF WORK WHICH SHALL CONFORM TO THE MT. WERNER WATER AND SANITATION DISTRICT STANDARDS.
- NOTE (IF APPLICABLE) A CONSTRUCTION SPECIFICATION ADDENDUM HAS BEEN ISSUED AND SHALL BE USED IN CONJUNCTION WITH THESE PLANS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS REQUIRED. THE PROJECT ENGINEER SHALL COORDINATE THE PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR. ATTENDEES INCLUDE THE CONTRACTOR, THE PROJECT ENGINEER, REPRESENTATIVES OF CITY ENGINEERING AND APPROPRIATE UTILITY REPRESENTATIVES. PRE-CONSTRUCTION MEETING REQUIREMENTS ARE COVERED IN CITY ENGINEERING STANDARDS CHAPTER 7 AND INCLUDE ITEMS SUCH AS INSPECTION AND TESTING REQUIREMENTS AND AS-BUILT DOCUMENT REQUIREMENTS.
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY IN ACCORDANCE WITH CITY SPECIFICATIONS AND ADDITIONAL TESTING AS NEEDED FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
- PRIOR TO CONSTRUCTING ANY IMPROVEMENTS WHICH DEViate FROM THESE APPROVED PLANS, THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ENGINEER. THE PROJECT ENGINEER SHALL DETERMINE IF THE PROPOSED CONSTRUCTION CHANGE IS REQUIRED. THE PROJECT ENGINEER SHALL DETERMINE IF THE PROPOSED CONSTRUCTION CHANGE REQUIRES A PLAN REVISION TO BE REVIEWED AND APPROVED BY CITY ENGINEERING.
- BENCHMARK = A RECOVERED NO. 5 REBAR WITH ALUMINUM CAP STAMPED "LS 29039", HAVING AN ELEVATION OF 6986.18 ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BENCHMARKS CAN BE OBTAINED FROM CITY UTILITIES. NOTE THE CITY'S VERTICAL DATUM IS NAVD 88 AND HORIZONTAL DATUM IS NAD 1983)
- TOPOGRAPHIC AND EXISTING CONDITIONS MAPPED BY LANDMARK CONSULTANTS, INC. ON 6/3/22.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.
- ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO MT. WERNER WATER DISTRICT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK SUCH AS RIGHT-OF-WAY PERMIT, GRADE AND FILL PERMIT, CONSTRUCTION DOWATERING PERMIT, STORMWATER PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY INCLUDING STREET CUTS, CONTRACTOR SHALL CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970.879.1807 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE ROW BETWEEN NOVEMBER 1 -APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.
- PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED RIGHT OF WAY PERMIT IS REQUIRED TO BE APPROVED AND ISSUED BY CITY ENGINEERING.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) AND OBTAINING ANY REQUIRED PERMITS OR APPROVALS FOR WORK ON OR ADJACENT TO CDOT ROW.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGGERS, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION.
- CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN WITH THE CONSTRUCTION PERMIT APPLICATION. THE TRAFFIC MANAGEMENT PLAN IS REQUIRED TO BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
- THE FOLLOWING IMPROVEMENTS ARE PUBLIC IMPROVEMENTS: WATER AND SEWER INFRASTRUCTURE NOT LABELED AS PRIVATE.
- THE FOLLOWING IMPROVEMENTS ARE CRITICAL IMPROVEMENTS:
 - WATER AND SEWER INFRASTRUCTURE
 - PRIVATE STREET INFRASTRUCTURE
 - ACCESS DRIVE, DRIVEWAY, AND PARKING AREAS
 - DRAINAGE IMPROVEMENTS
 - PERMANENT STORM WATER QUALITY TREATMENT FACILITIES
 - SIDEWALK IMPROVEMENTS
 - SKI TRAIL LANE NORTH SIDE SIDEWALK
 - TRAIL IMPROVEMENTS
- RECORD DRAWINGS ARE REQUIRED FOR THE FOLLOWING IMPROVEMENTS: STORM SEWER, WATER MAIN, SANITARY SEWER, PERMANENT WATER QUALITY TREATMENT FACILITIES, SIDEWALKS, AND ALL NEW TELECOMMUNICATION AND ELECTRIC UTILITIES. THE CONTRACTOR'S SURVEYOR SHALL COLLECT AS-BUILT SURVEY POINTS FOR RIMS, GRATES, INVERTS, SUMPS, FITTINGS, VAULTS, PULL BOXES, ETC. THE ENGINEER SHALL USE THESE AS-BUILT SURVEY POINTS TO CREATE THE UTILITY AS-BUILT PLANS.

GRADING

- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT APPROPRIATE PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH THE ISSUED PERMITS.
- VEGETATED SLOPES GREATER THAN 2:1 REQUIRE SOIL STABILIZATION.

EROSION CONTROL

- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
- ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

PAVING

- CONSTRUCTION OF PUBLIC STREETS REQUIRES GEOTECHNICAL TESTING BY A QUALIFIED GEOTECHNICAL ENGINEER OF EMBANKMENT, SUBGRADE, BASE MATERIAL AND PAVING. TESTING SHALL BE IN ACCORDANCE WITH CITY ENGINEERING STANDARDS CHAPTER 7.
- EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT OR WHEN ACCESS TO UNDERGROUND UTILITIES IS REQUIRED. TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES INCLUDING SAW CUTS, POTHOLES, TRENCHES, AND ASPHALT OVERLAY. ASPHALT PATCHES IN THE RIGHT-OF-WAY SHALL BE PER CITY SPECIFICATIONS.
- CONTRACTOR SHALL ADJUST RIMS OF CLEANOUTS, MANHOLES, VALVE COVERS TO FINAL GRADE.
- CONTRACTOR SHALL CONTACT CITY STREETS SUPERINTENDENT AT (970)879-1807 TO SCHEDULE INSTALLATION OF PUBLIC STREET NAME SIGNS. CONTRACTOR IS RESPONSIBLE FOR PAYMENT FOR STREET NAME SIGNS. ALL TRAFFIC CONTROL SIGNS ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL.

WATER, SEWER, AND DRY UTILITY

- THE PHYSICAL FEATURES AND EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT HAVE BEEN SHOWN BASED ON THE BEST AVAILABLE

INFORMATION AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FEATURES AND EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK.

- UTILITY PROVIDER CONTACT INFORMATION CAN BE FOUND ON THE COVER SHEET OF THIS PLAN SET.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH UTILITY OWNERS IN THEIR REMOVAL, ADJUSTMENT AND/OR RELOCATION OPERATIONS SO THAT THE UTILITY WORK CAN BE ACCOMPLISHED WITHOUT IMPACTING THE CONSTRUCTION SCHEDULE
- THE CONTRACTOR SHALL COMPLY WITH ARTICLE 1.5 OF TITLE 9, CRS (EXCAVATION REQUIREMENTS) WHEN EXCAVATING OR GRADING IS PLANNED IN THE AREA OF UNDERGROUND UTILITY FACILITIES. THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITIES AT LEAST TWO (2) BUSINESS DAYS, NOT INCLUDING THE ACTUAL DAY OF NOTICE, PRIOR TO COMMENCING SUCH OPERATIONS. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 811 OR 1-800-922-1987, TO HAVE LOCATIONS OF UNCC REGISTERED LINES MARKED BY MEMBER COMPANIES. ALL OTHER UNDERGROUND FACILITIES SHALL BE LOCATED BY CONTACTING THE RESPECTIVE OWNER. UTILITY SERVICE LATERALS SHALL ALSO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING.

SITE-SPECIFIC NOTES

- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR THE ACCURACY OF ALL STAKING IN ACCORDANCE WITH THE APPROVED PLANS. IN THE EVENT THAT DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OR PROJECT MANAGER PRIOR TO COMMENCING WITH CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY PROBLEM IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- THE TEMPORARY CONSTRUCTION EASEMENTS ARE LIMITED TO SPECIFIC CONSTRUCTION ITEMS AND THE AREA IS TO BE RETURNED TO EXISTING CONDITION AS SOON AS POSSIBLE.
- PRIOR TO PAVING, THE PAVEMENT SUBGRADE SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR HEAVILY LOADED PNEUMATIC TIRE CONSTRUCTION VEHICLE. AREAS WHICH DEFORM EXCESSIVELY UNDER THE WHEEL LOADS SHALL BE REMOVED AND REPLACED PRIOR TO PAVING. SEE GEOTECHNICAL REPORT FOR DETAILS.
- ALL TREES, BUSHES AND OTHER FIXED OBJECTS WITHIN THE LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS SHALL BE REMOVED UNLESS OTHERWISE NOTED. ALL OTHER TREES AND BUSHES SHALL BE PROTECTED, UNLESS OTHERWISE NOTED.
- WATER SHALL BE USED AS A DUST PALLIATIVE WHERE REQUIRED. THE CONTRACTOR SHALL PROVIDE A WATER TRUCK ON-SITE FOR DUST CONTROL. WATER SHALL NOT BE PAID FOR SEPARATELY.
- A GEOTECHNICAL INVESTIGATION WAS PERFORMED FOR THIS PROJECT. THE RECOMMENDATIONS FROM THE FOLLOWING REPORTS ARE TO BE FOLLOWED: "SUBSOIL AND FOUNDATION INVESTIGATION, THE ASTRID, 2410 SKI TRAIL LANE, STEAMBOAT SPRINGS, COLORADO" PREPARED BY NWCC AND DATED DECEMBER 22, 2022. JOB NUMBER 22-12805.
- THE CONTRACTOR SHALL KEEP THE WORK AREA DRY OF STANDING WATER AND SHALL KEEP THE EXCAVATION AREAS FREE FROM STORM RUN-OFF.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCEPTANCE AND CONTROL OF ALL SURFACE AND SUBSURFACE DRAINAGE AND GROUNDWATER ENTERING THE PROJECT AREA.
- THE CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES TO THOSE AREAS WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY DISTURBANCE BEYOND THESE LIMITS SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONSTRUCTION ACTIVITIES IN ADDITION TO NORMAL CONSTRUCTION PROCEDURE SHALL INCLUDE THE PARKING OF VEHICLES OR EQUIPMENT, DISPOSAL OF LITTER, AND ANY OTHER ACTION WHICH WOULD ALTER EXISTING CONDITIONS.
- ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED IMMEDIATELY AND PRIOR TO CONTINUING OTHER WORK. ANY MUD OR OTHER MATERIAL TRACKED OR OTHERWISE DEPOSITED ON THE ROADWAY SHALL BE REMOVED DAILY OR AS ORDERED BY THE INSPECTOR.
- ANY MATERIALS REMOVED FROM THIS PROJECT WILL BE DISPOSED OF BY THE CONTRACTOR. AT THE CITY'S DISCRETION, SOME MATERIALS MAY REMAIN THE PROPERTY OF THE CITY OR THE ADJACENT PROPERTY OWNERS.
- ONE-HALF INCH EXPANSION JOINT MATERIAL SHALL BE INSTALLED WHEN ABUTTING ANY EXISTING CONCRETE TO A FIXED STRUCTURE. ZIP CAP SPACERS SHALL BE USED TO PROVIDE A CLEAN JOINT PRIOR TO CALKING.
- THE CONTRACTOR SHALL PROVIDE SHORING AT ALL LOCATIONS NECESSARY TO SUPPORT THE EARTH AND/OR ROADWAY ADJACENT TO AN EXCAVATION, EMBANKMENT, OR OTHER CONSTRUCTION OPERATION. LOCATIONS SHALL BE AS DETERMINED BY THE CONTRACTOR'S SEQUENCE OF OPERATIONS AND TRAFFIC CONTROL ARRANGEMENTS. SHORING SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND OBTAINING A SUITABLE STAGING AREA.
- WITH NOTIFICATION OF THE RESPECTIVE OWNER, ADJUST RIMS OF ALL MANHOLES, CLEANOUTS, VALVE BOXES AND SURVEY MONUMENTS TO FINISH GRADE PRIOR TO FINAL PAVEMENT LIFT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL (QC) MATERIALS TESTING. QC TESTING IS REQUIRED FOR ALL SUBGRADE, CONCRETE, AND ASPHALTIC PAVEMENT TESTING AND SHALL CONFORM TO CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS. ALL TEST RESULTS SHALL BE FORWARDED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL CONCRETE, FOUNDATIONS, WALKS, WALLS, TREES AND OTHER DEBRIS INDICATED ON THE SURVEY OR SPECIFIED IN THE SITE WORK SPECIFICATIONS. ALL SALVAGEABLE STORM SEWER GRATES, INLETS OR MANHOLE RING AND COVERS WHICH ARE NOT BEING RE-USED ON SITE SHALL BE RETURNED TO STEAMBOAT SPRINGS.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SAFE CONSTRUCTION SITE INCLUDING ALL TRENCH BOX AND/OR SHORING DESIGN ASSOCIATED WITH ALL COMPONENTS OF THIS WORK.
- THE CONTRACTOR SHALL REPLACE ANY SURVEY MONUMENTS IF DISTURBED.
- PROJECT DISTURBANCE LIMITS = 4.31 ACRES. (CDPHE STORMWATER PERMIT REQUIRED.)
- CONSTRUCTION SITE MANAGEMENT PLAN IS PROVIDED BY THE CONTRACTOR.
- REFER TO ARCHITECTURAL DRAWING FOR ADA ACCESSIBLE ROUTES.

STANDARD ABBREVIATIONS

FL = FLOWLINE
INV = INVERT
TP = TOP OF PAVEMENT
TC = TOP OF CONCRETE
TBC = TOP BACK OF CURB
BC = GRADE DIRECTLY ADJACENT TO BUILDING CORNER
HP = HIGH POINT
LP = LOW POINT
GB = GRADE BREAK
EOA = EDGE OF ASPHALT
EOG = EDGE OF GRAVEL
TW = TOP OF WALL
BFW = BOTTOM OF WALL
FTE = FINISHED FLOOR ELEVATION
ME = MATCH EXISTING

LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
		MINOR CONTOUR (1' INTERVAL)
		MAJOR CONTOUR (5' INTERVAL)
		PROPERTY BOUNDARY
		ADJACENT LOT LINE
		EASEMENT
		BUILDING SETBACK
		RIGHT-OF-WAY
		FLOODPLAIN
		EDGE OF ASPHALT
		CURB AND GUTTER (SPILL/CATCH)
		EDGE OF GRAVEL
		EDGE OF BUILDING
		BUILDING OVERHANG
		RETAINING WALL
		WATER LINE
		WATER SERVICE
		ROOF DRAIN
		STORM SEWER
		DITCH FLOWLINE
		UNDERDRAIN
		SANITARY SEWER MAIN
		SANITARY SEWER SERVICE
		IRRIGATION LINE
		CABLE TV
		UNDERGROUND TELEPHONE
		FIBER OPTIC
		GASLINE
		UNDERGROUND ELECTRIC
		OVERHEAD UTILITY
		WIRE FENCE
		GUARDRAIL

EXISTING PROPOSED SYMBOLS SYMBOLS

	SPOT ELEVATION		RIPRAP
	NOMINAL SLOPE ON CUT OR FILL		SIDEWALK PAVING
	FLOW DIRECTION, TYPICALLY ON PAVED SURFACES		GRAVEL PAVING
	FLOW DIRECTION, TYPICALLY IN GRASSED SWALE		ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION
	FLOW DIRECTION, TYPICALLY IN FLOWLINE		MASONRY PAVING
	WATER VALVE		CONCRETE PAVING
	CURB STOP		WETLANDS
	FIRE HYDRANT		VEHICLE TRACKING CONTROL (VTC)
	WATER METER		SEEDING AND MULCHING (SM)
	METAL FLARED END SECTION		EROSION CONTROL BLANKET (ECB)
	TYPE 'C' INLET		STABILIZED STAGING AREA (SSA)
	STORM DRAIN MANHOLE		CONCRETE WASHOUT AREA (CWA)
	DOWNSPOUT		STOCKPILE MANAGEMENT (SP)
	TYPE 'R' INLET		ROCK SOCK (RS)
	TYPE '13' VALLEY INLET		SILT FENCE (SF)
	TYPE '13' CURB INLET		LIMITS OF CONSTRUCTION (LOC)
	TYPE 'D' INLET		FOUND PROPERTY PIN AS DESCRIBED
	CONCRETE FLARED END SECTION		GEOTECH TEST HOLE
	SANITARY MANHOLE		SIGN
	CLEANOUT		UTILITY CROSSING
	DECIDUOUS TREE		
	CONIFEROUS TREE		
	ADA PARKING STALL		
	LIGHT POLE		
	POWER POLE		
	ELECTRIC PEDESTAL		
	ELECTRIC METER		
	GAS METER		
	CABLE BOX		
	IRRIGATION BOX		

REVIEWED
FOR
CODE
COMPLIANCE
04/01/2025

BASELINE

Engineering - Planning - Surveying

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DESIGNED BY	SMB	DATE	2/29/2024
DRAWN BY	TJM	PREPARED BY	SMB
CHECKED BY	MRB	REVISION DESCRIPTION	INITIAL SUBMITTAL FOR CITY REVIEW
			CITY COMMENTS

ROUTE COUNTY

CITY OF STEAMBOAT SPRINGS

THE ASTRID
2410 SKI TRAIL LANE
NOTES & LEGEND

FOR AND ON BEHALF OF
BASELINE CORPORATION

PROFESSIONAL ENGINEER

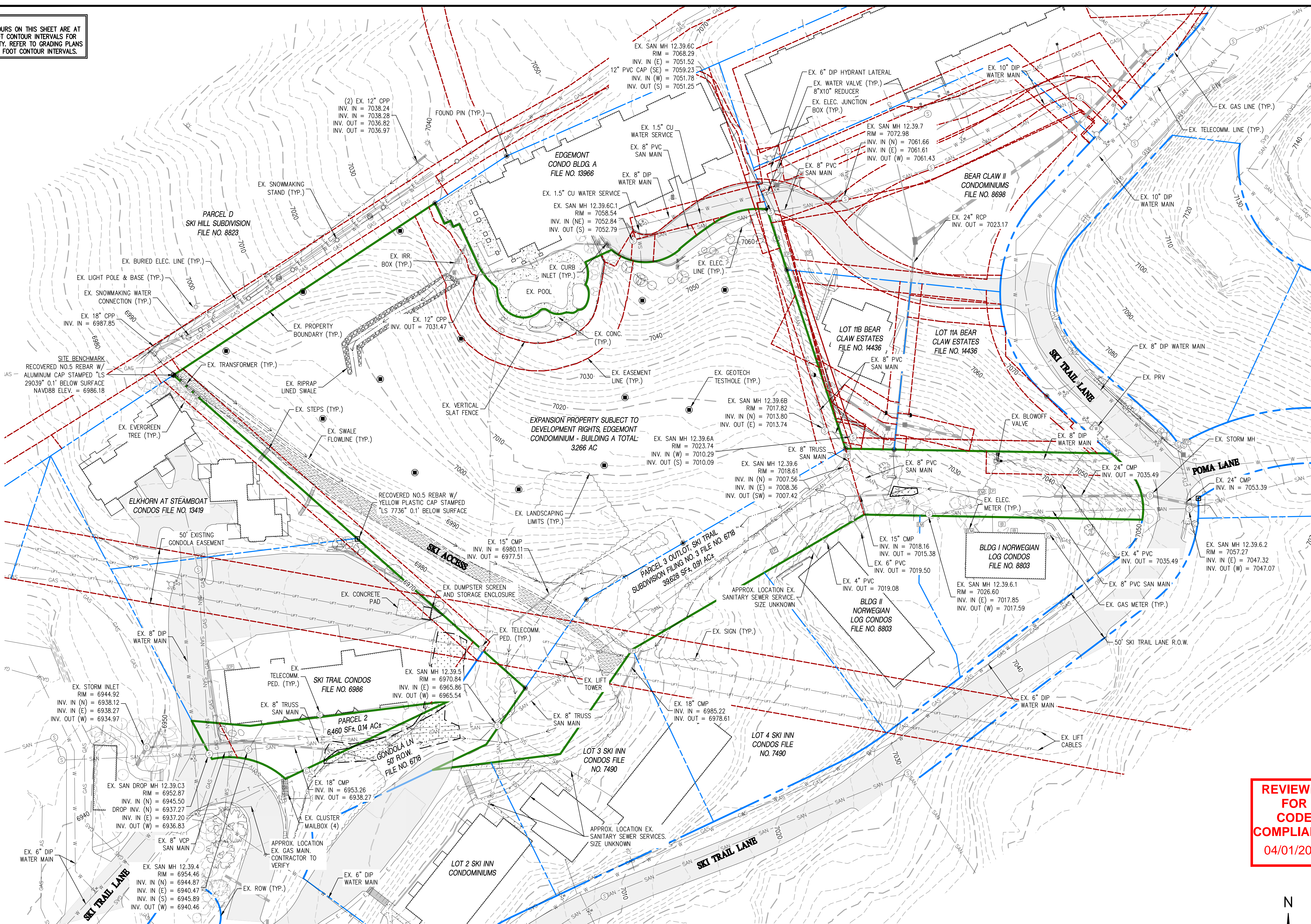
34962
5-15-24

FOR THE DIRECT SUPERVISION OF

INITIAL SUBMITTAL	2/29/2024
DRAWING SIZE	24" X 36"
SURVEY FIRM LANDMARK, INC	SURVEY DATE 06/03/22
JOB NO.	C020235
DRAWING NAME NOTES & LEGEND	
SHEET	2 OF 64

C2

NOTE:
CONTOURS ON THIS SHEET ARE AT
2 FOOT CONTOUR INTERVALS FOR
CLARITY. REFER TO GRADING PLANS
FOR 1 FOOT CONTOUR INTERVALS.

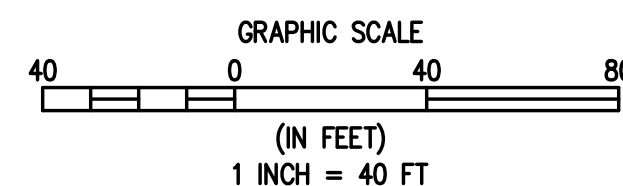


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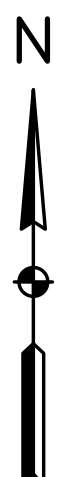
- PROPERTY BOUNDARY
- - - EXISTING EASEMENTS
- - - EXISTING RIGHT-OF-WAY
- - - EXISTING LOT LINES

1
C3 C3

EXISTING CONDITIONS

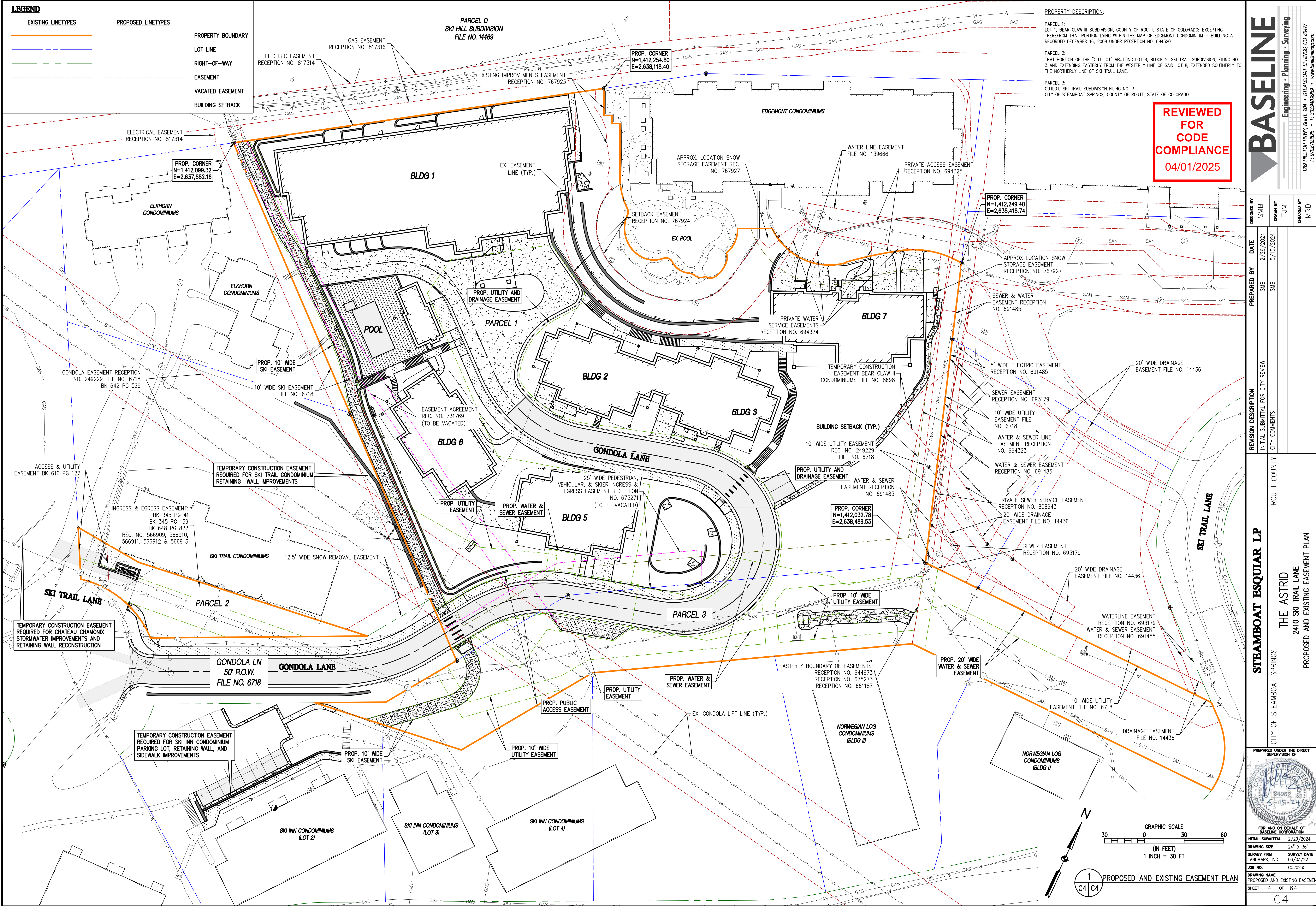


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DESIGNED BY SMB				DATE 2/29/2024			
DRAWN BY TJM				5/15/2024			
CHECKED BY MRB							
REVISION DESCRIPTION				INITIAL SUBMITTAL FOR CITY REVIEW			
				CITY COMMENTS			
STEAMBOAT ESQUIAR LP				ROUITT COUNTY			
THE ASTRID							
2410 SKI TRAIL LANE							
EXISTING CONDITIONS							
CITY OF STEAMBOAT SPRINGS							
PREPARED UNDER THE DIRECT SUPERVISION OF							
FOR AND ON BEHALF OF BASELINE CORPORATION							
INITIAL SUBMITTAL				2/29/2024			
DRAWING SIZE				24" X 36"			
SURVEY FIRM				SURVEY DATE			
LANDMARK, INC				06/03/22			
JOB NO.				C020235			
DRAWING NAME							
EXISTING CONDITIONS							
SHEET				3 OF 64			
C3							

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DATE 2/29/2024
PREPARED BY SMB
5/15/2024

REVISION DESCRIPTION

REVISION	DATE	DESCRIPTION
1	2/29/2024	INITIAL SUBMITTAL FOR CITY REVIEW
2	5/15/2024	CITY COMMENTS

ROUTE COUNTY

CITY OF STEAMBOAT SPRINGS

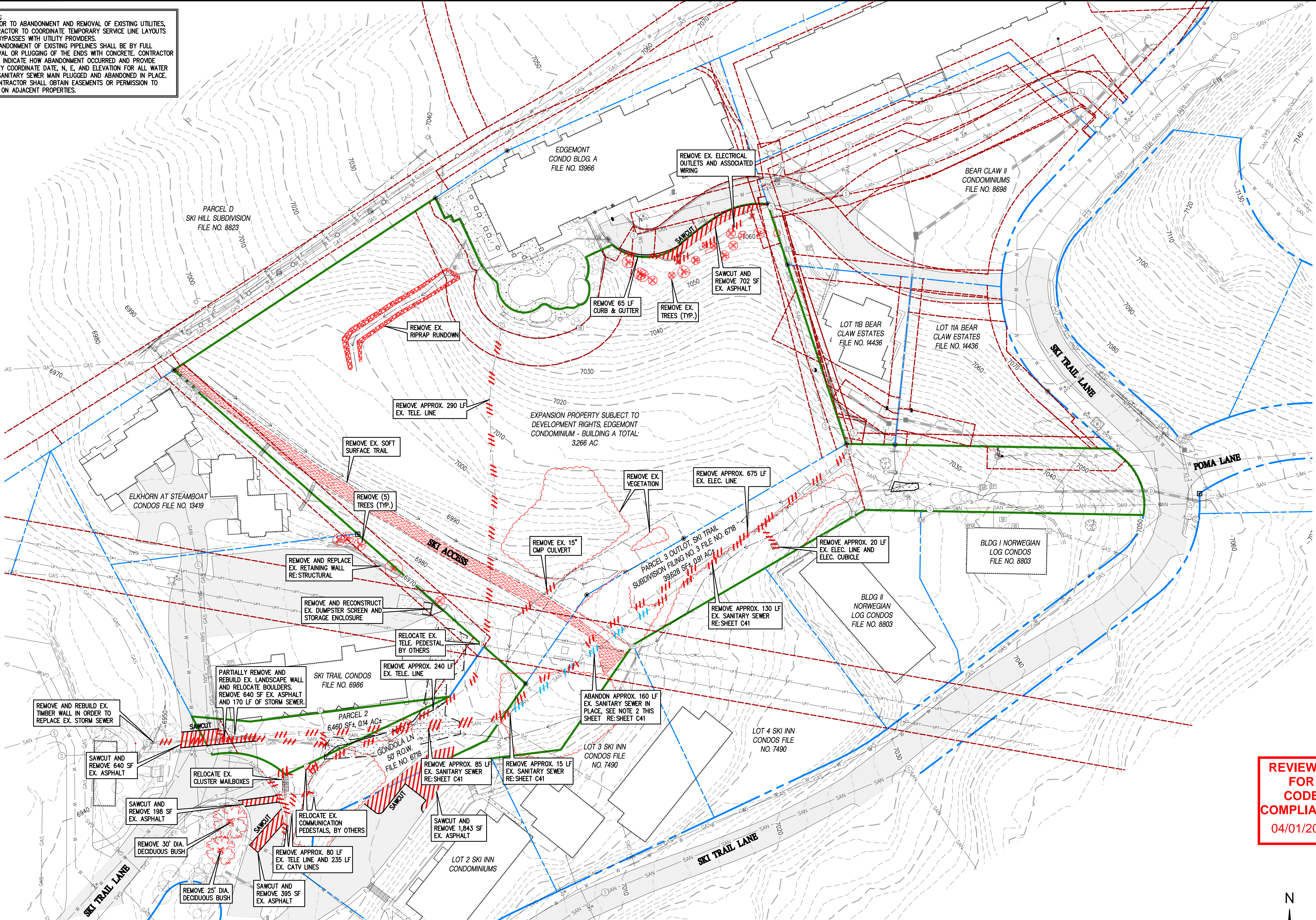
PROPOSED AND EXISTING EASEMENT PLAN

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C4 C4

PROPOSED AND EXISTING EASEMENT PLAN

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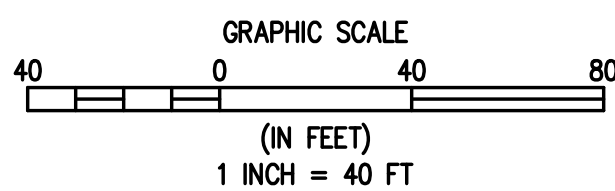
NOTES:
1. PRIOR TO ABANDONMENT AND REMOVAL OF EXISTING UTILITIES, CONTRACTOR TO COORDINATE TEMPORARY SERVICE LINE LAYOUTS AND BYPASSES WITH UTILITY PROVIDERS.
2. ABANDONMENT OF EXISTING PIPELINES SHALL BE BY FULL REMOVAL OR PLUGGING OF THE ENDS WITH CONCRETE. CONTRACTOR SHALL INDICATE HOW ABANDONMENT OCCURRED AND PROVIDE SURVEY COORDINATE DATE, N, E, AND ELEVATION FOR ALL WATER AND SANITARY SEWER MAIN PLUGGED AND ABANDONED IN PLACE.
3. CONTRACTOR SHALL OBTAIN EASEMENTS OR PERMISSION TO WORK ON ADJACENT PROPERTIES.



LEGEND

- | | | | |
|--|-----------------------|--|--|
| | PROPERTY BOUNDARY | | REMOVAL OF UTILITIES |
| | EXISTING EASEMENTS | | ABANDONMENT OF UTILITIES (SEE NOTE 2 THIS SHEET) |
| | EXISTING RIGHT-OF-WAY | | REMOVAL OF TREES |
| | EXISTING LOT LINES | | |

1
C5 C5
DEMOLITION PLAN

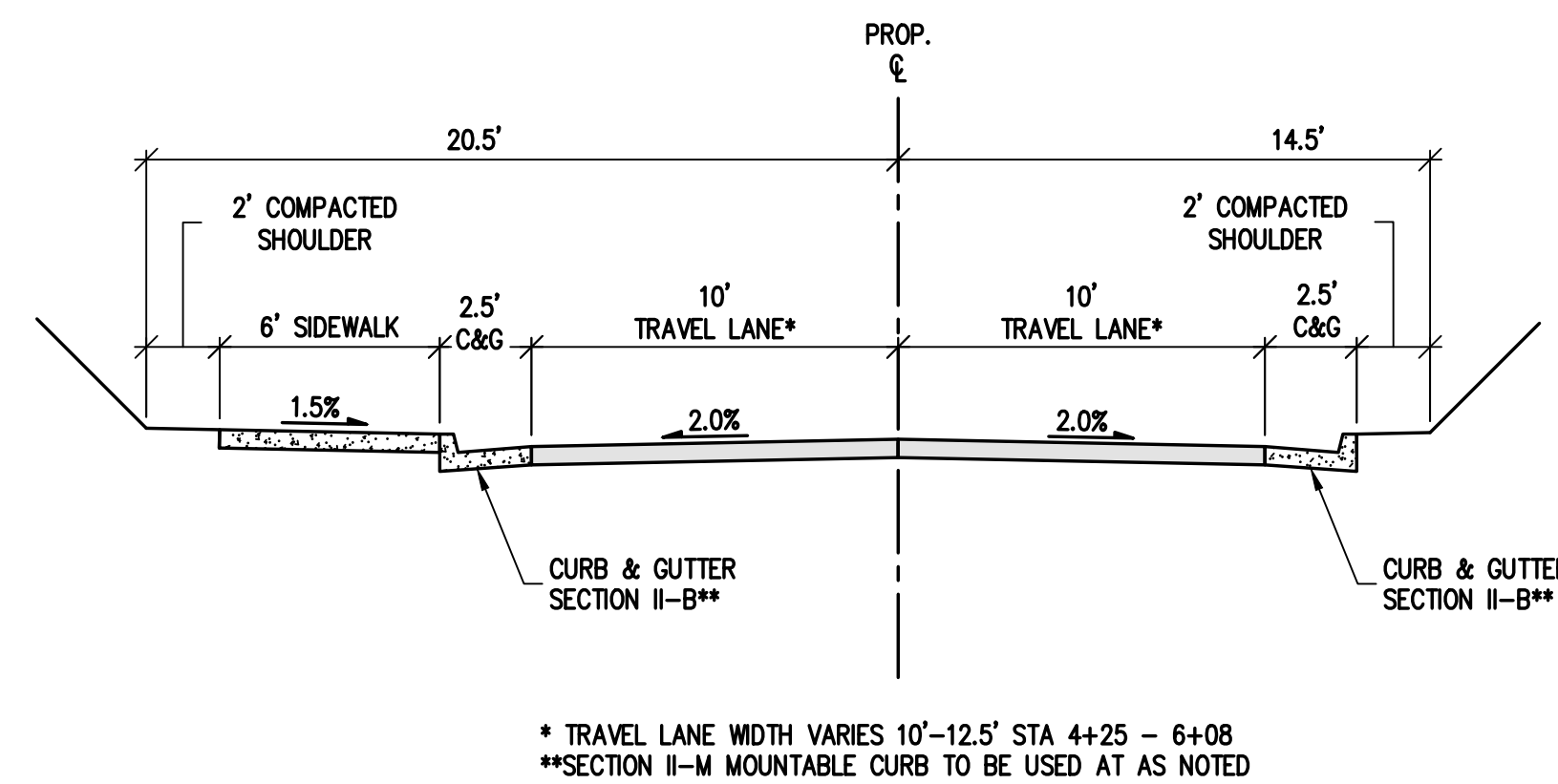


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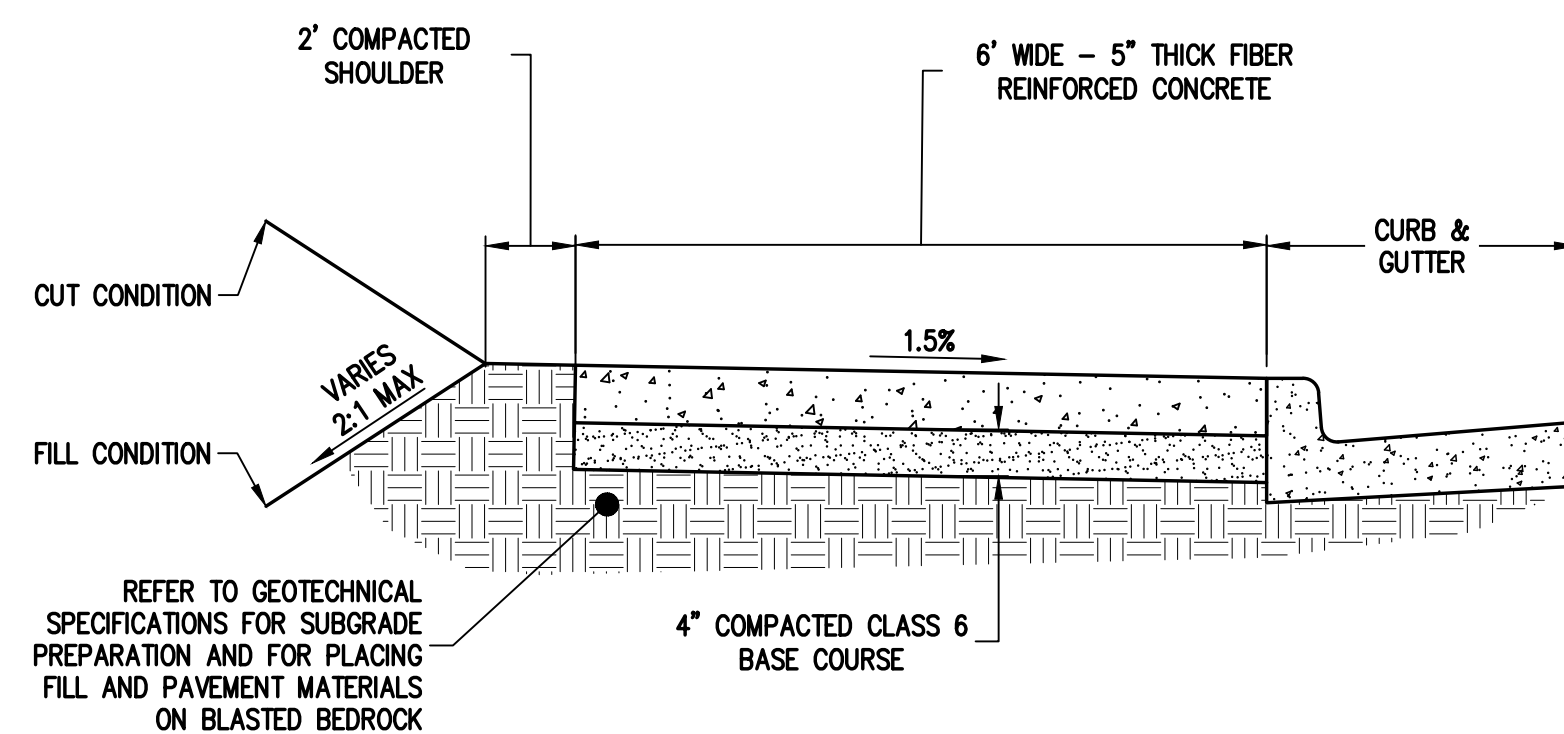
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TJM	5/15/2024	SMB	CITY COMMENTS
MRB			

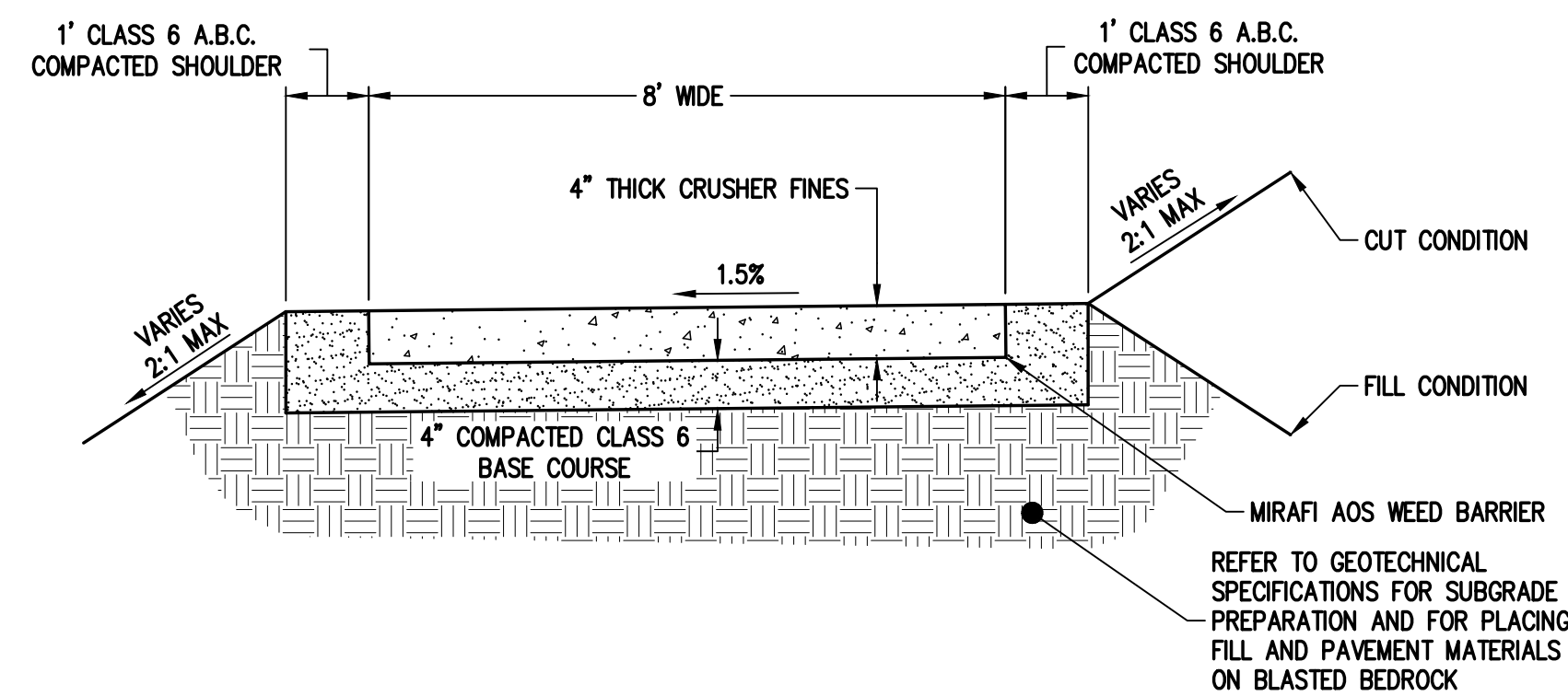
STEAMBOAT ESQUIAR LP
THE ASTRID
2410 SKI TRAIL LANE
DEMOLITION PLAN
CITY OF STEAMBOAT SPRINGS
ROUTT COUNTY
FOR AND ON BEHALF OF
BASELINE CORPORATION
PREPARED UNDER THE DIRECT
SUPERVISION OF
[Professional Engineer Seal]
FOR 2023
5-15-24
INITIAL SUBMITTAL 2/29/2024
DRAWING SIZE 24" X 36"
SURVEY FIRM LANDMARK, INC
SURVEY DATE 06/03/22
JOB NO. C020235
DRAWING NAME DEMOLITION PLAN
SHEET 5 OF 64
C5



1 ACCESS DRIVE TYPICAL SECTION



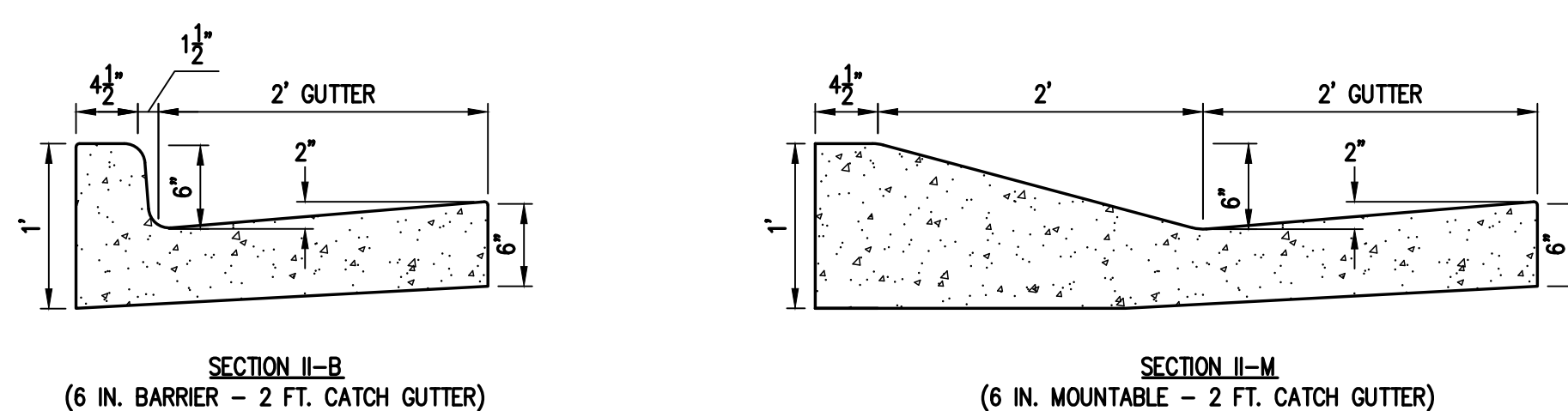
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C6 C6 NOT TO SCALE



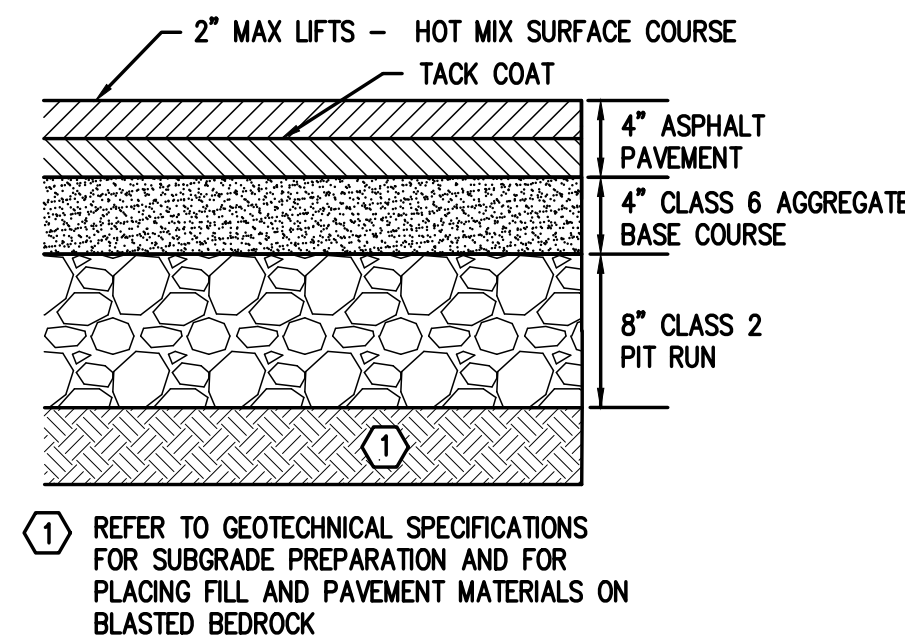
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C6 | C6

SOFT SURFACE TRAIL TYPICAL SECTION

NOT TO SCALE



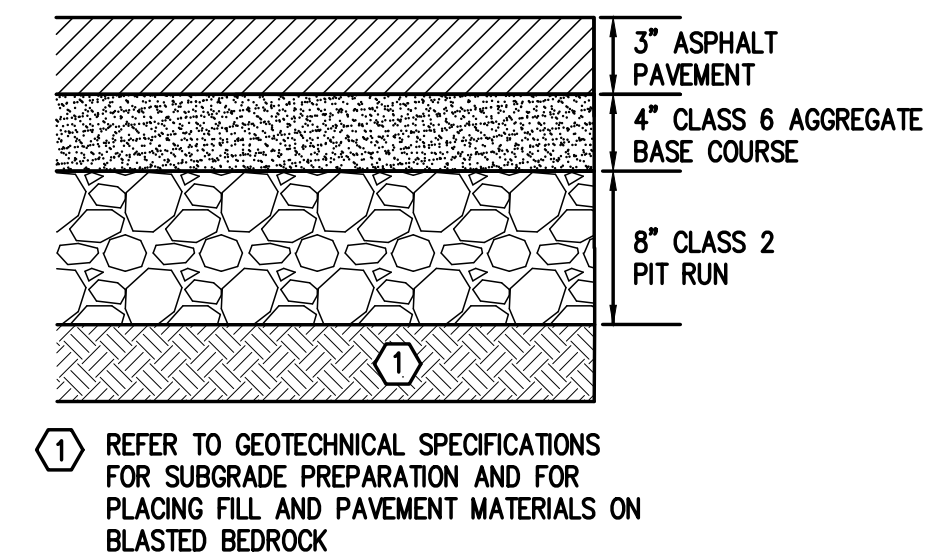
4 TYPE II CURB & GUTTER
C6 | C6 NOT TO SCALE



5
C6 C6

ASPHALT PAVEMENT TYPICAL SECTION

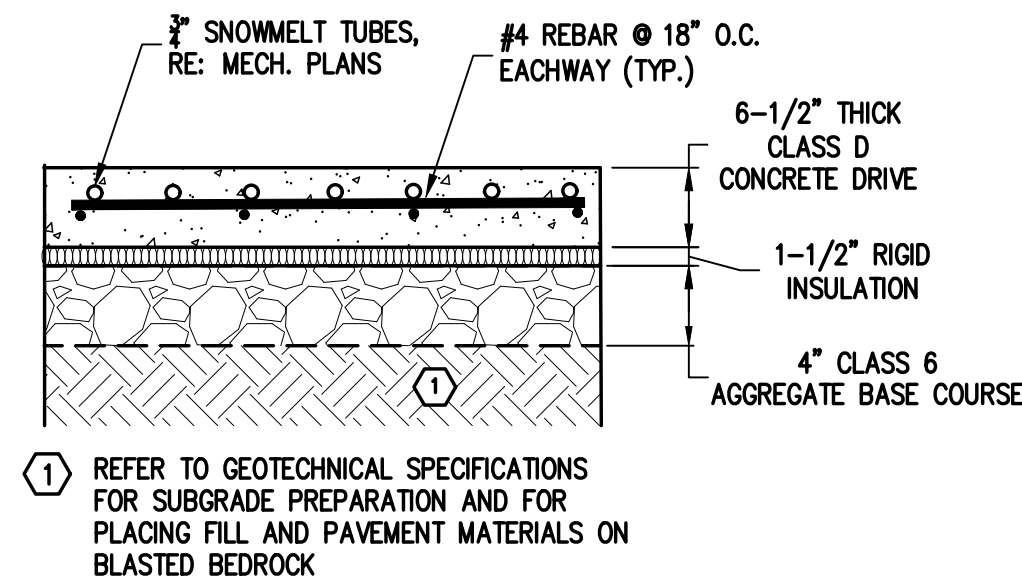
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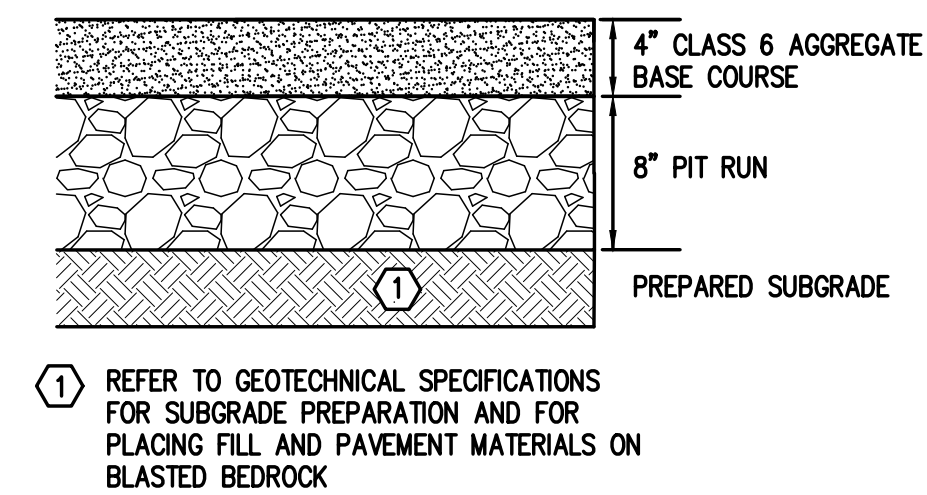
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C6 C6

PARKING STALL ASPHALT SECTION

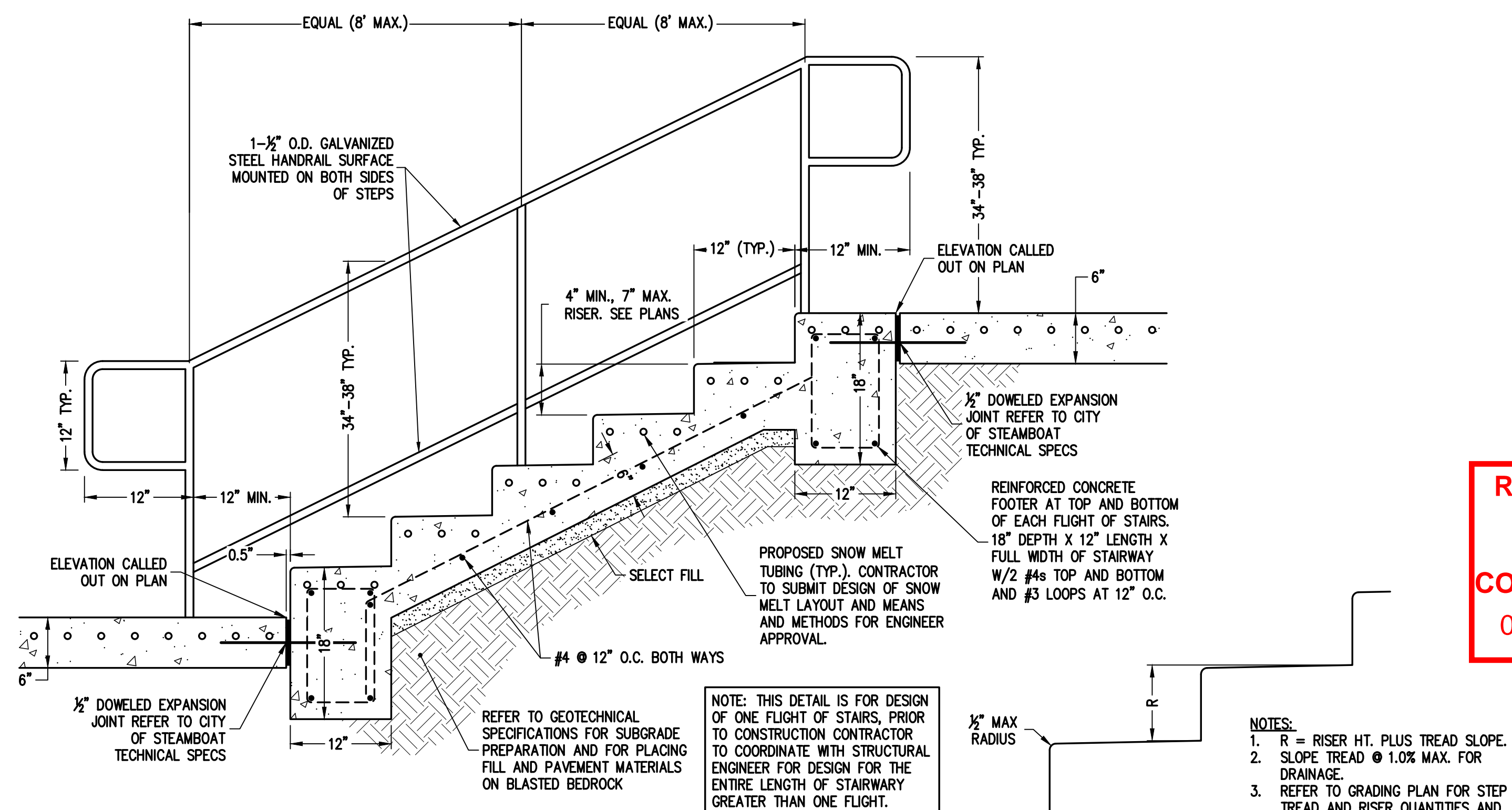
NOT TO SCALE



7 HEATED CONCRETE PAVEMENT TYPICAL SECTION



8 GRAVEL PARKING TYPICAL SECTION
C6 C6 NOT TO SCALE



9
C6 C6

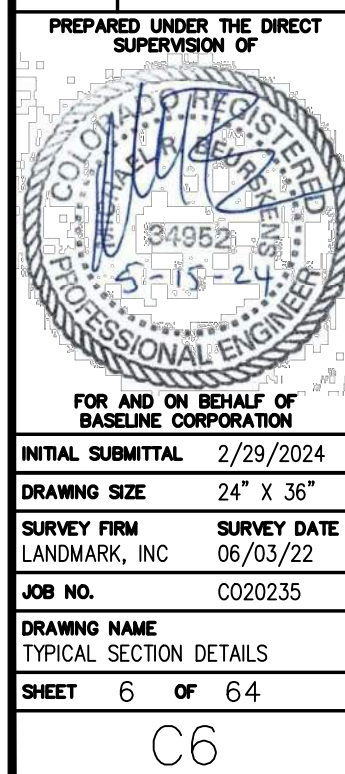
CONCRETE STEP & RAILING DETAIL
NOT TO SCALE

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			BY
			MRB

THE ASTRID
2410 SKI TRAIL LANE
TYPICAL SECTION DETAILS

CITY OF STEAMBOAT SPRING



GONDOLA LANE CENTERLINE					
NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	CHORD LENGTH
L1	11.03'			N 73°21'40" E	
C1	13.84'	95.00'	8.35°	N 69°11'14" E	13.83'
L2	129.99'			N 50°01'24" E	
C2	65.92'	126.17'	29.94°	N 50°33'08" E	65.17'
L3	50.75'			N 33°54'32" E	
C3	71.68'	100.00'	41.07°	N 54°26'38" E	70.16'
L4	82.14'			N 74°59'47" E	
C4	183.49'	58.69'	179.13°	N 15°52'41" W	117.38'
L5	91.15'			S 75°39'00" W	
C5	86.08'	88.00'	56.04°	N 76°19'42" W	82.69'
L6	55.36'			N 48°18'25" W	
C6	72.14'	54.55'	75.77°	N 85°49'42" W	67.00'
L7	37.68'			S 56°39'00" W	
C7	15.71'	10.00'	90.00°	N 78°21'00" W	14.14'

NOTE:
1. REFER TO STRUCTURAL PLANS FOR DETAILS FOR ALL RETAINING WALLS, AND ARCHITECTURAL PLANS FOR ALL FALL PROTECTION RAILING.
2. OWNER AND CONTRACTOR SHALL OBTAIN EASEMENTS OR PERMISSION TO WORK ON ADJACENT PROPERTIES.

LEGEND

APPROX. BOUNDARY OF PHASE 1 IMPROVEMENTS AND LANDSCAPING

PHASING NOTES:
1. HATCHED AREAS SHOWN ARE A GENERAL REPRESENTATION OF THE PHASED AREAS. EXACT EXTENT OF EACH PHASE WILL BE DETERMINED IN THE FIELD DURING THE COURSE OF CONSTRUCTION.
2. ALL DISTURBED AREAS OF THE SITE WILL BE REVEGETATED FOR EACH PHASE. THE CONTRACTOR'S MEANS, METHODS AND SEQUENCING MAY REQUIRE MINOR REVISIONS TO THE PHASING PLAN DURING CONSTRUCTION.

PHASE 1:
1. DEVELOPMENT ACCESS ROAD (GONDOLA LANE) STARTING AT SKI TRAIL LANE AND STOPPING AT A POINT NEAR BUILDING 1 (TO A POINT WHERE THE FIRE DEPARTMENT CAN ACCESS THE END OF THE LANE & TURN AROUND). GONDOLA LANE TO BE SURFACED TO A LEVEL WHICH CAN BE CLEARED OF SNOW AND TRAVELED BY VEHICLES. FINAL PAVING TO BE COMPLETED AS PART OF PHASE 4.
2. SIDEWALK ALONG GONDOLA LANE STARTING AT THE INTERSECTION OF SKI TRAIL LANE TO THE OUTLOT PROPERTY LINE.
3. SIDEWALK AROUND THE DETENTION POND TO THE EAST OF BUILDING 5.
4. LANDSCAPING ALONG ANY SECTION OF GONDOLA LANE WHICH WILL NOT BE DAMAGED BY THE CONSTRUCTION OF PHASES 2-4.
5. WATER MAINS, SANITARY SERVICE MAINS, DRY UTILITY MAINS STORM SEWER AND PERMANENT STORMWATER TREATMENT FACILITIES.
6. SITE WALLS 1-6, 11-13 AND 15.
7. REORIENTATION OF SKI INN CONDOMINIUMS PARKING LOT INCLUDING ADJACENT LANDSCAPING.
8. RELOCATION OF THE EXISTING PEDESTAL POSTAL BOXES.
9. BUILDING 7.
10. DRIVEWAY CONNECTION FOR BUILDING 7.
11. UTILITY SERVICE LINES FOR BUILDING 7.
12. LANDSCAPING AROUND BUILDING 7.
13. EXTERIOR CONCRETE STAIR FROM BUILDING 7 SOUTH TO GONDOLA LANE.

ACCESS & UTILITY EASEMENT BK 616 PG 127

INGRESS & EGRESS EASEMENT:
BK 345 PG 41
BK 345 PG 159
BK 645 PG 322
REC. NO. 566909, 566910, 566911, 566912 & 566913

RELOCATE EX. USPS CLUSTER BOXES AND RECONSTRUCT EXISTING LANDSCAPE WALL DUE TO PROPOSED STORM SEWER

REMOVE AND REBUILD EX. TIMBER WALL IN ORDER TO REPLACE EX. STORM SEWER

SIGHT TRIANGLE

EX. GATE VALVE (TYP.)
EX. TELE. PED. (TYP.)

VEGETATION OVER 3' IN HEIGHT TO BE REMOVED WITHIN SIGHT TRIANGLE. TREE TRUNKS LESS THAN 12 IN. IN DIA. MAY REMAIN.

EX. ROW. (TYP.)
LA CASA CONDOMINIUMS

SIGHT TRIANGLE

CONST. ~195 LF 2' WIDE SHOULDER
CONST. ~135 LF WALL WITH HANDRAIL

CONST. ~885 SF ASPHALT PAVING
EX. PARKING LOT AND SW TO BE IMPROVED AT REQUEST OF SKI INN CONDOS, SEE SHEET C8

CONST. ~175 SF 4' WIDE CONCRETE SW
CONST. ~755 SF 6' WIDE CONCRETE SW

EX. SANITARY MANHOLE (TYP.)
SKI INN CONDOMINIUMS (LOT 2)

SKI INN CONDOMINIUMS (LOT 3)

SKI INN CONDOMINIUMS (LOT 4)

CONST. SKI CORP LIFT MAINTENANCE GRAVEL PARKING W/MOUNTABLE CURB

EX. TRANSFORMER (TYP.)

PROPOSED WATER & SEWER EASEMENT

PROPOSED WATER & SEWER EASEMENT

EX. CONIFEROUS TREE (TYP.)

NORWEGIAN LOG CONDOMINIUMS (BLDG II)

NORWEGIAN LOG CONDOMINIUMS (BLDG I)

GRAPHIC SCALE
30 0 30 60
(IN FEET)
1 INCH = 30 FT

1 SITE, SIGNAGE, AND STRIPING PLAN
C7 C7

DESIGNED BY: SMB
DATE: 2/29/2024
PREPARED BY: SMB
CITY COMMENTS: 5/15/2024

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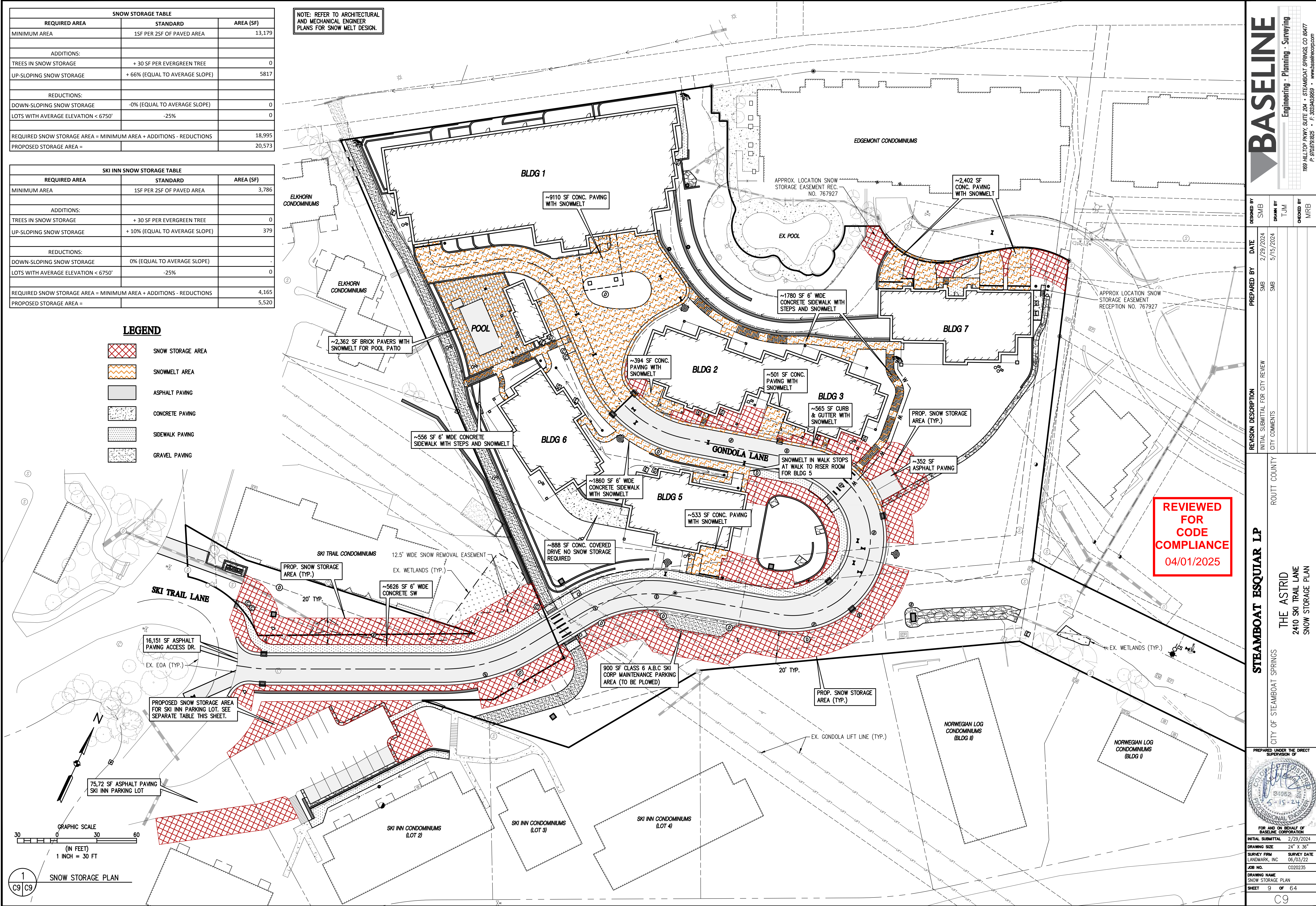
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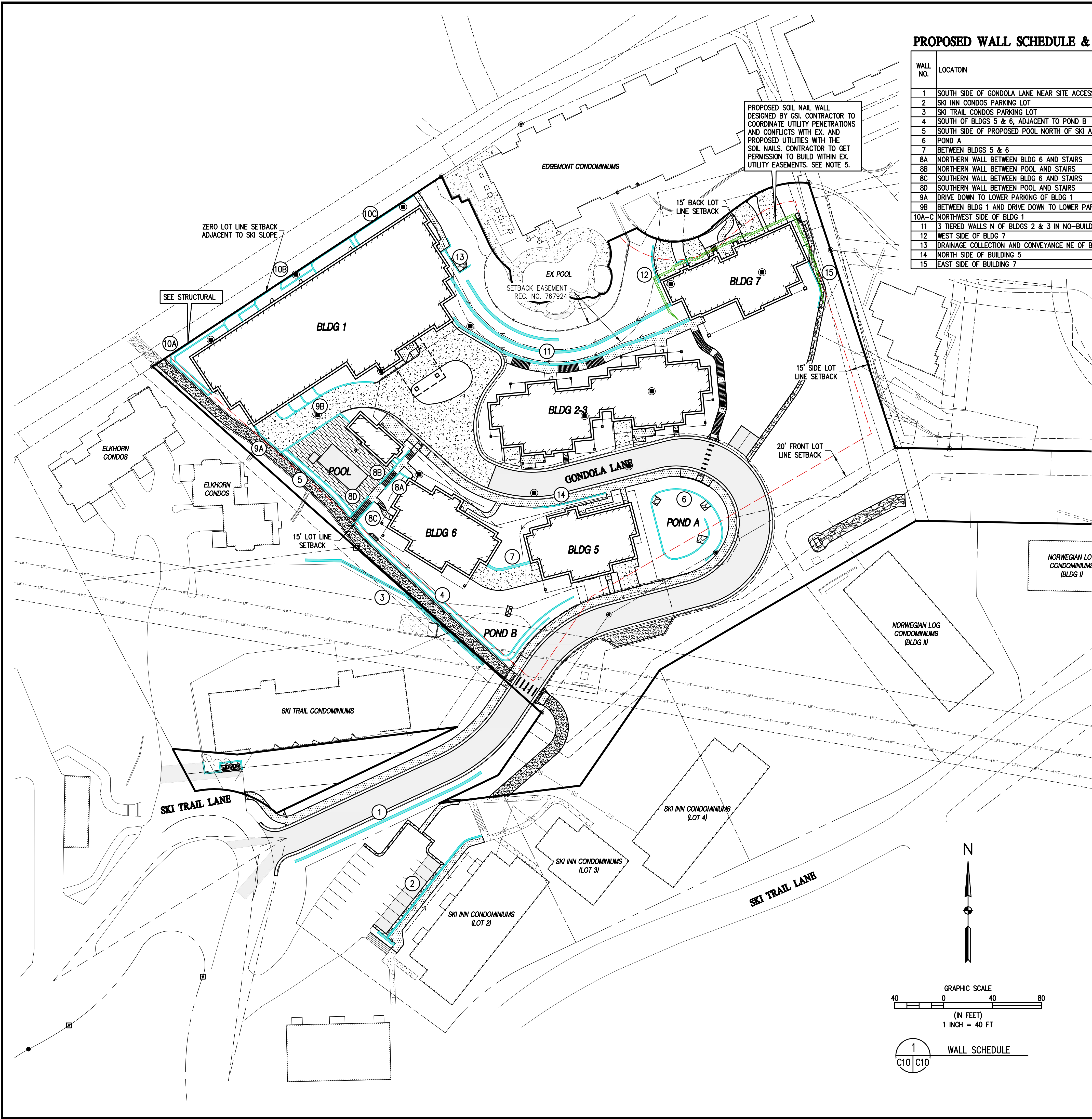
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O:\02020235 Astrid-Edgemont Ph2\Drawings\Construction Documents\20235 WALL SCHEDULE-CD.dwg, 5/15/2024 2:29:42 PM, Steve Batchelder



PROPOSED WALL SCHEDULE & VARIANCE TABLE

WALL NO.	LOCATON	APPROX. MAX. HEIGHT	TYPE OF WALL	WITHIN LOT LINE SETBACK AREA (YES/NO)	WITHIN BUILDING ENVELOPE (YES/NO)	HEIGHT VARIANCE REQUESTED (YES/NO)	TIERED VARIANCE REQUESTED (YES/NO)
1	SOUTH SIDE OF GONDOLA LANE NEAR SITE ACCESS IN ROW	9'±	CIP WITH STONE VENEER	NO	NO	NO	YES
2	SKI INN CONDOS PARKING LOT	10'±	REDI-ROCK	NO	YES	NO	YES
3	SKI TRAIL CONDOS PARKING LOT	10.5'±	REDI-ROCK	YES	NO	YES	YES
4	SOUTH OF BLDGS 5 & 6, ADJACENT TO POND B	8'±	CIP WITH STONE VENEER	YES	YES	YES	NO
5	SOUTH SIDE OF PROPOSED POOL NORTH OF SKI ACCESS TRAIL	10'±	CIP WITH STONE VENEER	YES	YES	NO	NO
6	POND A	6'±	REDI-ROCK	YES	YES	NO	NO
7	BETWEEN BLDGS 5 & 6	11'±	CIP WITH VENEER	NO	YES	NO	NO
8A	NORTHERN WALL BETWEEN BLDG 6 AND STAIRS	6'±	CIP WITH STONE VENEER	NO	YES	NO	NO
8B	NORTHERN WALL BETWEEN POOL AND STAIRS	11'±	CIP WITH STONE VENEER	NO	YES	NO	NO
8C	SOUTHERN WALL BETWEEN BLDG 6 AND STAIRS	7'±	CIP WITH STONE VENEER	NO	YES	NO	YES
8D	SOUTHERN WALL BETWEEN POOL AND STAIRS	10'±	CIP WITH STONE VENEER	NO	YES	NO	YES
9A	DRIVE DOWN TO LOWER PARKING OF BLDG 1	13'±	CIP WITH STONE VENEER	NO	YES	YES	YES
9B	BETWEEN BLDG 1 AND DRIVE DOWN TO LOWER PARKING	5'±	CIP WITH STONE VENEER	NO	YES	NO	NO
10A-C	NORTHWEST SIDE OF BLDG 1	11'±	CIP WITH VENEER	NO	YES	NO	NO
11	3 TIERED WALLS N OF BLDGS 2 & 3 IN NO-BUILD EASEMENT	24'±	CIP WITH STONE VENEER	NO	YES	YES	YES
12	WEST SIDE OF BLDG 7	6'±	REDI-ROCK	YES	YES	NO	NO
13	DRAINAGE COLLECTION AND CONVEYANCE NE OF BLDG 1	5'±	CIP	NO	YES	NO	NO
14	NORTH SIDE OF BUILDING 5	4'±	CIP	NO	YES	NO	NO
15	EAST SIDE OF BUILDING 7	6'±	REDI-ROCK	NO	YES	NO	NO

- NOTES:
- BUILDING ENVELOPE IS CONSIDERED TO BE ALL AREA INSIDE THE LOT LINE SETBACK.
 - WALL 6 IS PROPOSED WITHIN LOT LINE SETBACK AND OUTSIDE OF LOT LINE SETBACK. PORTION WITHIN LOT LINE SETBACK IS LESS THAN 6' IN HEIGHT.
 - WALL 7 IS BEING CONSIDERED AS PART OF THE STRUCTURE OF BUILDINGS 5 & 6 AND NOT APPLICABLE TO CDC SECTION 418 REQUIREMENTS.
 - SEE STRUCTURAL PLANS FOR RETAINING WALL DETAIL AND ARCHITECTURAL PLANS FOR FALL PROTECTION RAILING.
 - FOR BLUE COLORED WALLS, STRUCTURAL DESIGN IS BY JVA. FOR GREEN COLORED WALLS, STRUCTURAL DESIGN IS BY GSI (WALL NOT INCLUDED IN ABOVE SCHEDULE).

STEAMBOAT SPRINGS COMMUNITY DEVELOPMENT CODE
SECTION 418

418 RETAINING WALLS

- 418.A Purpose**
Minimize the impact of retaining walls on adjacent properties.
- 418.B Applicability**
Retaining wall standards shall apply to all development in all zone districts unless specifically exempted by this CDC.
- 418.C Standards**
- Retaining walls shall not be located within a drainage or utility easement without an approved revocable permit.
 - The maximum overall height of a retaining wall, as measured from the lowest point of final grade at the base of the retaining wall to the top of the wall, shall be in accordance with Table 418-1.

Table 418-1. Retaining Wall Height

Location	Height
Within Lot Line Setback Area	6' max. ¹
Within Building Envelope	11' max.

¹ Retaining walls exceeding 6 feet in height within a required lot line setback on an existing platted lot may be permitted by the Planning Director upon a finding that the applicant has demonstrated the wall height is necessary to achieve driveway access to the lot.

- Retaining walls over six feet in height shall be designed and constructed with a minimum of two stepped vertical wall segments. Stepped wall segments shall:
 - Not exceed six feet in height; and
 - Have a horizontal offset of at least three feet from the face of each wall segment.

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SMB

PREPARED BY
SMB

DATE
2/29/2024

INITIAL SUBMITTAL FOR CITY REVIEW

REVISION DESCRIPTION

DATE
5/15/2024

CITY COMMENTS

DESIGNED BY
TJM

CHECKED BY
MRB

STEAMBOAT ESQUIAR LP

THE ASTRID

2410 SKI TRAIL LANE

WALL SCHEDULE

CITY OF STEAMBOAT SPRINGS

ROUTT COUNTY

FOR AND ON BEHALF OF
BASELINE CORPORATION

PROFESSIONAL ENGINEER

34962

5-15-24

FOR AND ON BEHALF OF
BASELINE CORPORATION

PROFESSIONAL ENGINEER

34962

5-15-24

INITIAL SUBMITTAL

2/29/2024

DRAWING SIZE

24" X 36"

SURVEY FIRM

LANDMARK, INC

SURVEY DATE

06/03/22

JOB NO.

C020235

DRAWING NAME

WALL SCHEDULE

SHEET

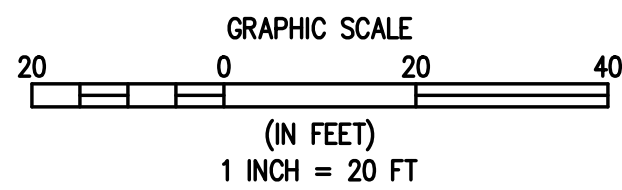
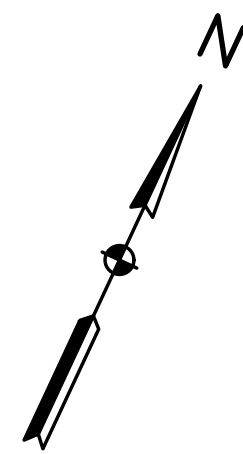
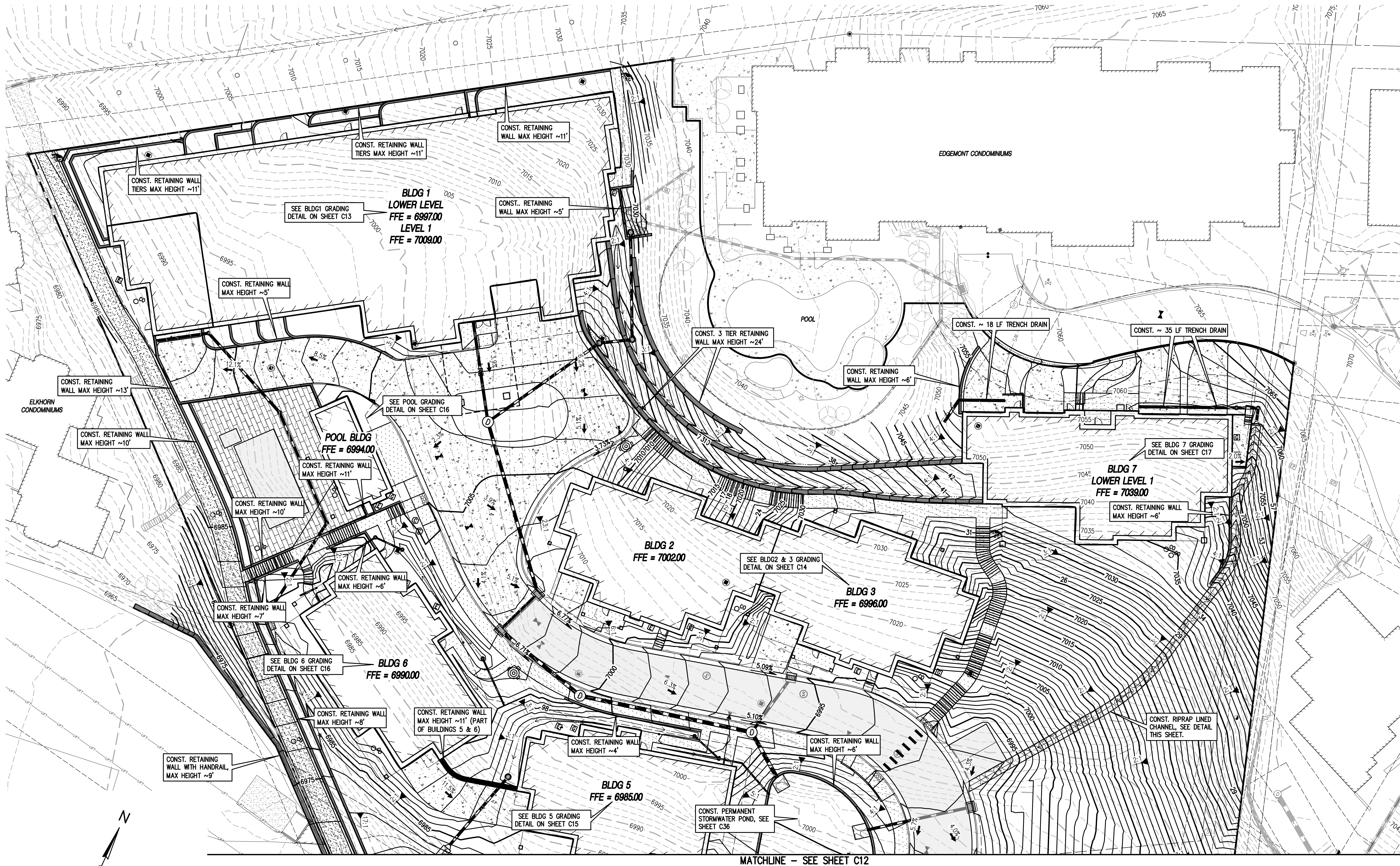
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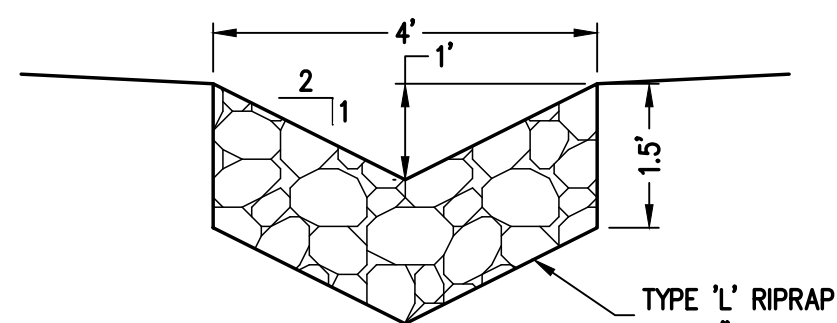
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1 GRADING & DRAINAGE PLANS I
C11|C11

NOTES:
1. RETAINING WALL DESIGN IS BY OTHERS. REFER TO STRUCTURAL PLANS BY JVA FOR STRUCTURAL RETAINING AND FOUNDATION WALL DESIGN AND DETAILS.
2. REFER TO NWC FOR RECOMMENDATIONS FOR PLACING FILL ON BLASTED BEDROCK SUBGRADE.

MATCHLINE - SEE SHEET C12



2 RIPRAP LINED CHANNEL FOR ON-SITE DRAINAGE
C11|C11 NOT TO SCALE

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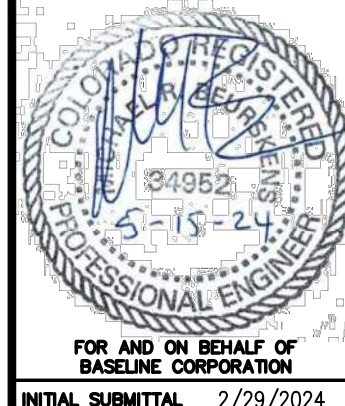
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DATE 2/29/2024
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CITY COMMENTS

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GRADING & DRAINAGE PLANS I
CITY OF STEAMBOAT SPRINGS
ROUTT COUNTY

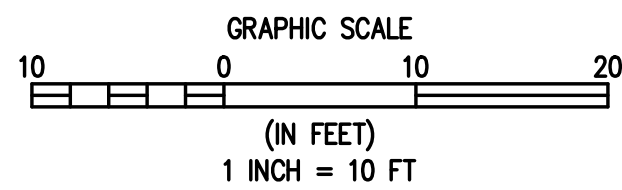
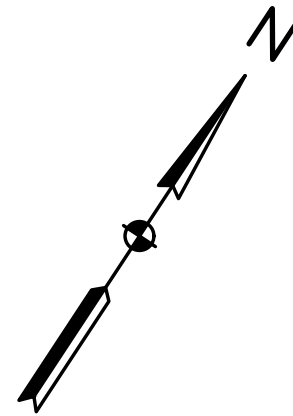
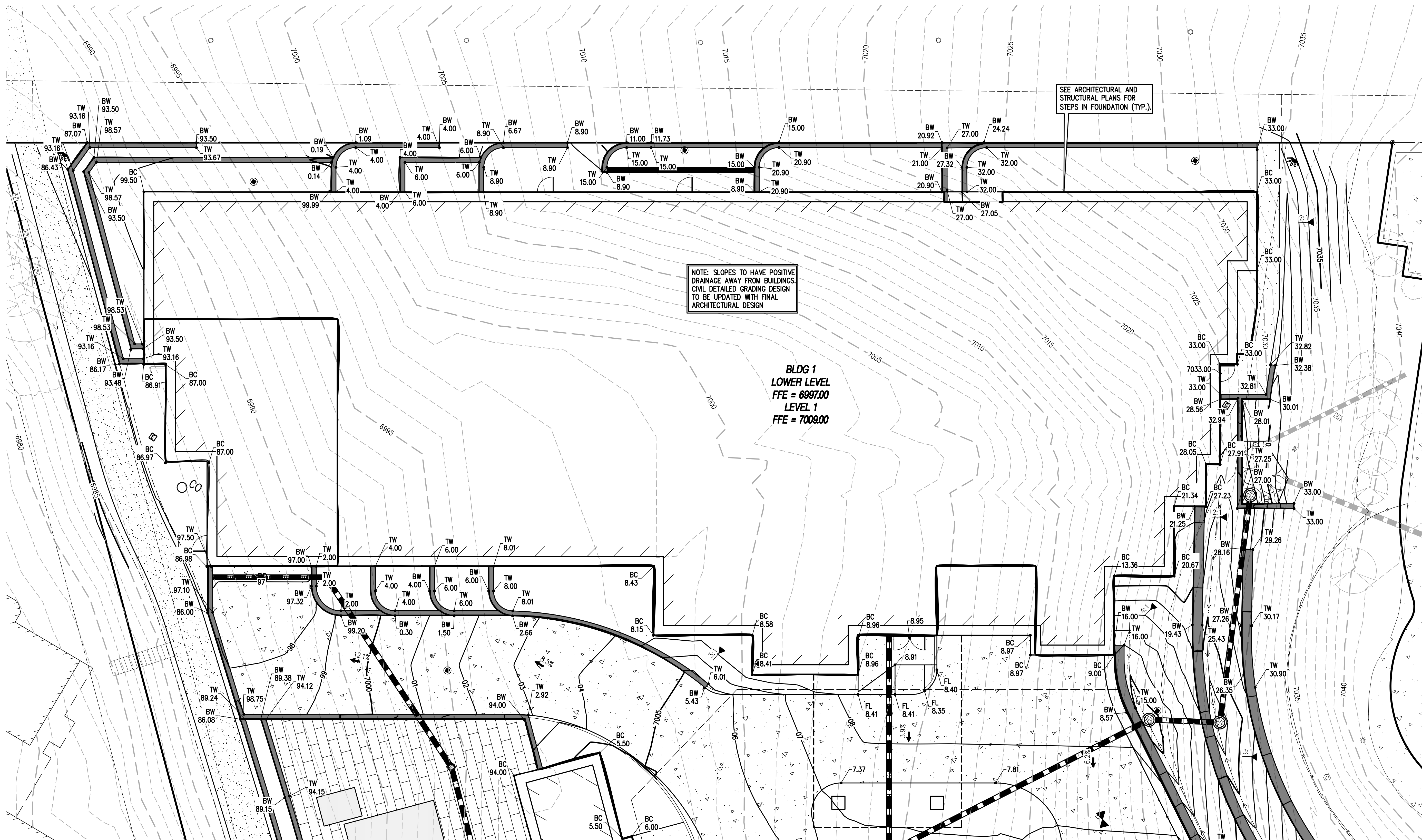
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FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 2/29/2024
DRAWING SIZE 24" X 36"
SURVEY FIRM LANDMARK, INC. SURVEY DATE 06/03/22
JOB NO. C020235
DRAWING NAME GRADING & DRAINAGE PLANS I
SHEET 11 OF 64

C11

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1
C13 | C13
BLDG 1- GRADING DETAIL

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5/15/2024

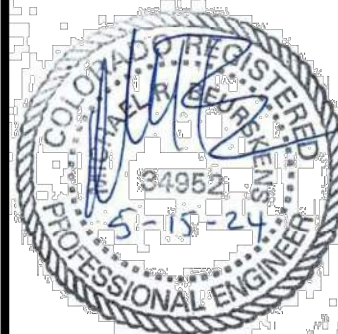
REVISION DESCRIPTION
INITIAL SUBMITTAL FOR CITY REVIEW
CITY COMMENTS

ROUTE COUNTY

STEAMBOAT ESQUIAR LP
THE ASTRID
2410 SKI TRAIL LANE
BLDG 1- GRADING DETAIL

CITY OF STEAMBOAT SPRINGS

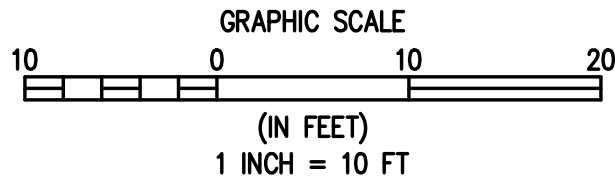
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FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 2/29/2024
DRAWING SIZE 24" X 36"
SURVEY FIRM LANDMARK, INC. SURVEY DATE 06/03/22
JOB NO. C020235
DRAWING NAME BLDG 1- GRADING DETAIL
SHEET 13 OF 64

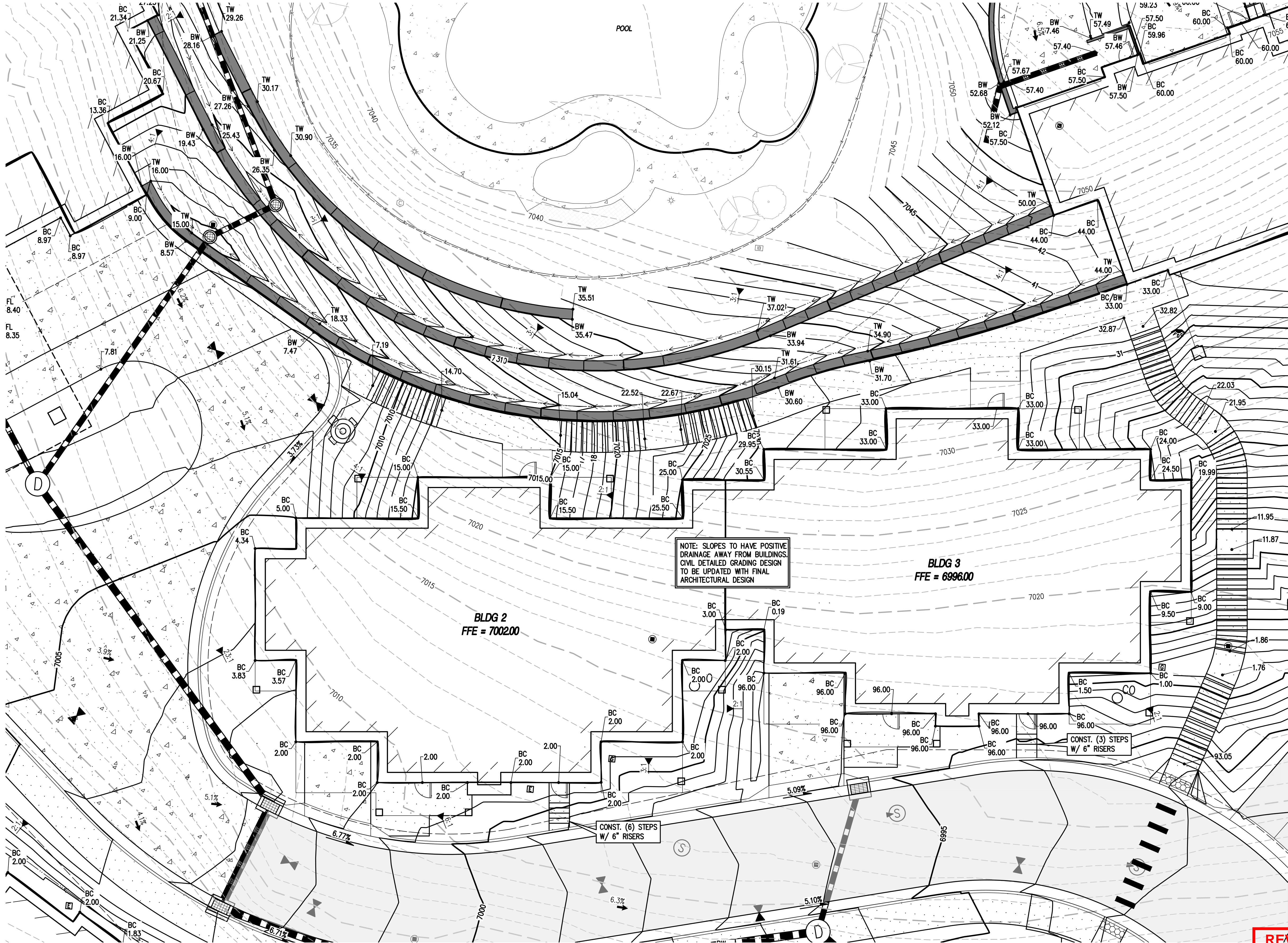
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1 BLDG 2 & 3 - GRADING DETAIL

C14 C14



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STEAMBOAT ESQUIAR LP

THE ASTRID
2410 SKI TRAIL LANE
BLDG 2 & 3 - GRADING DETAIL

CITY OF STEAMBOAT SPRINGS
ROUTT COUNTY

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BASELINE CORPORATION

PROFESSIONAL ENGINEER
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DRAWING SIZE 24" X 36"

SURVEY FIRM SURVEY DATE
LANDMARK, INC 06/03/22

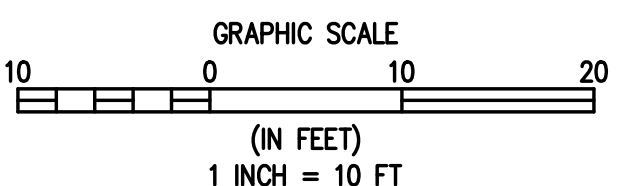
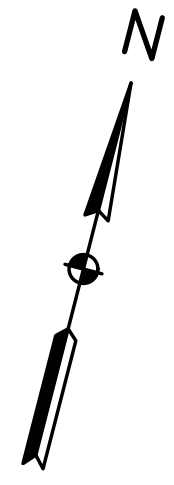
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SHEET 14 OF 64

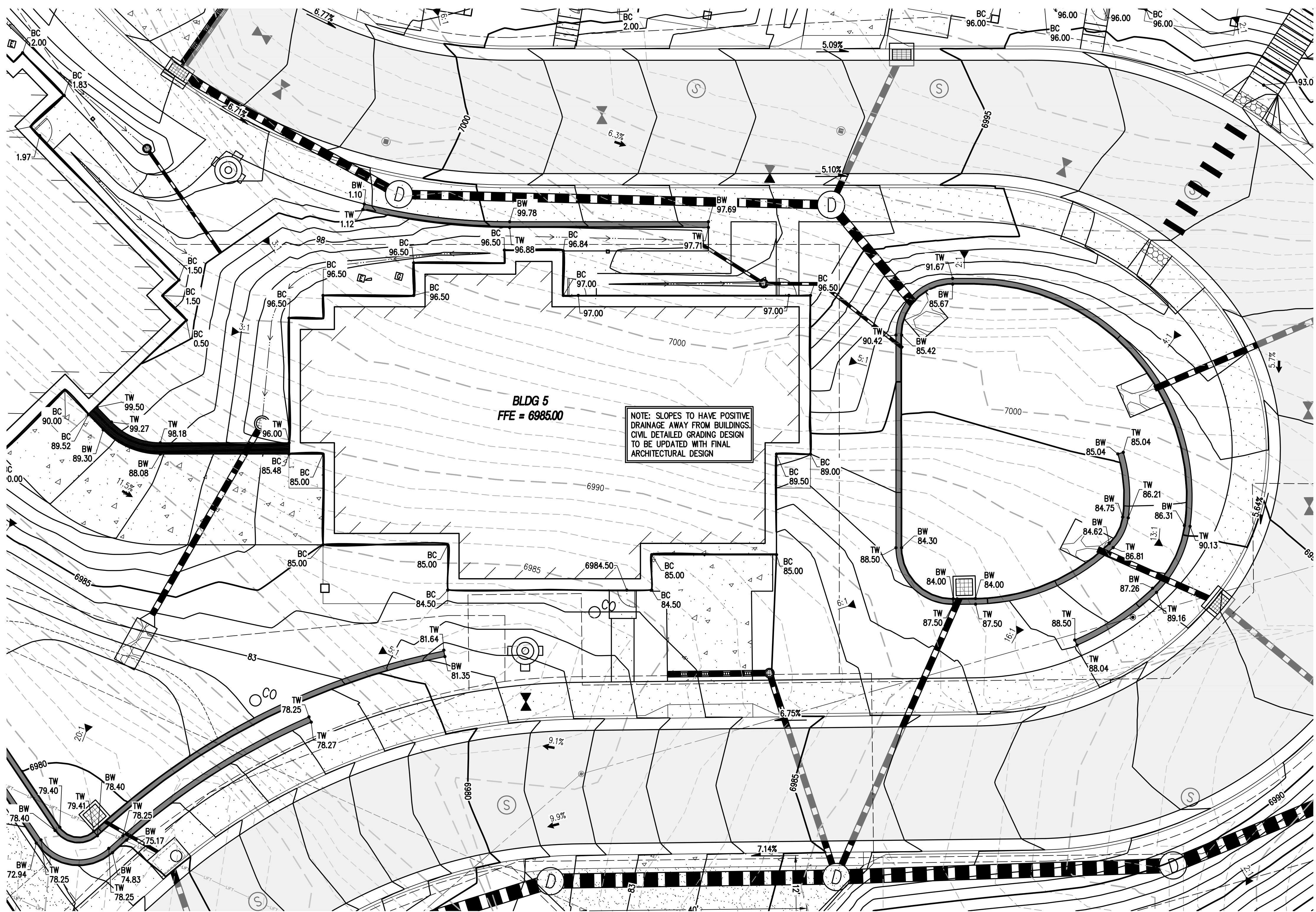
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1
C15 C15

BLDG 5 - GRADING DETAIL



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CITY OF STEAMBOAT SPRINGS

ROUTT COUNTY

THE ASTRID
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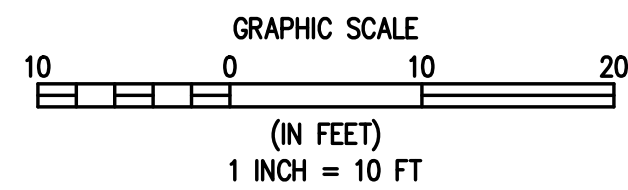
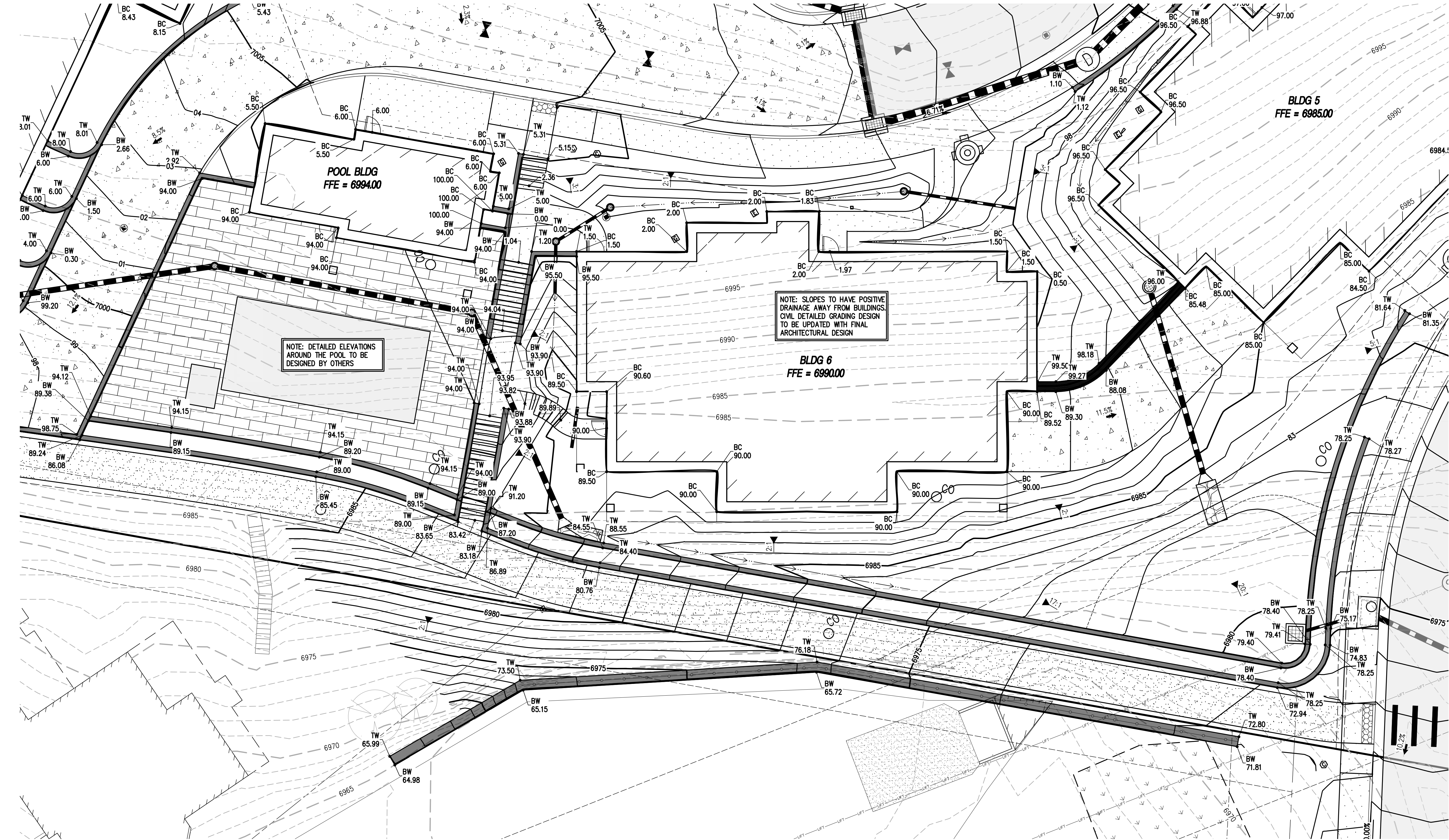
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DRAWING NAME BLDG 5 - GRADING DETAIL

SHEET 15 OF 64

C15

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1 BLDG 6 & POOL- GRADING DETAIL
C16 C16

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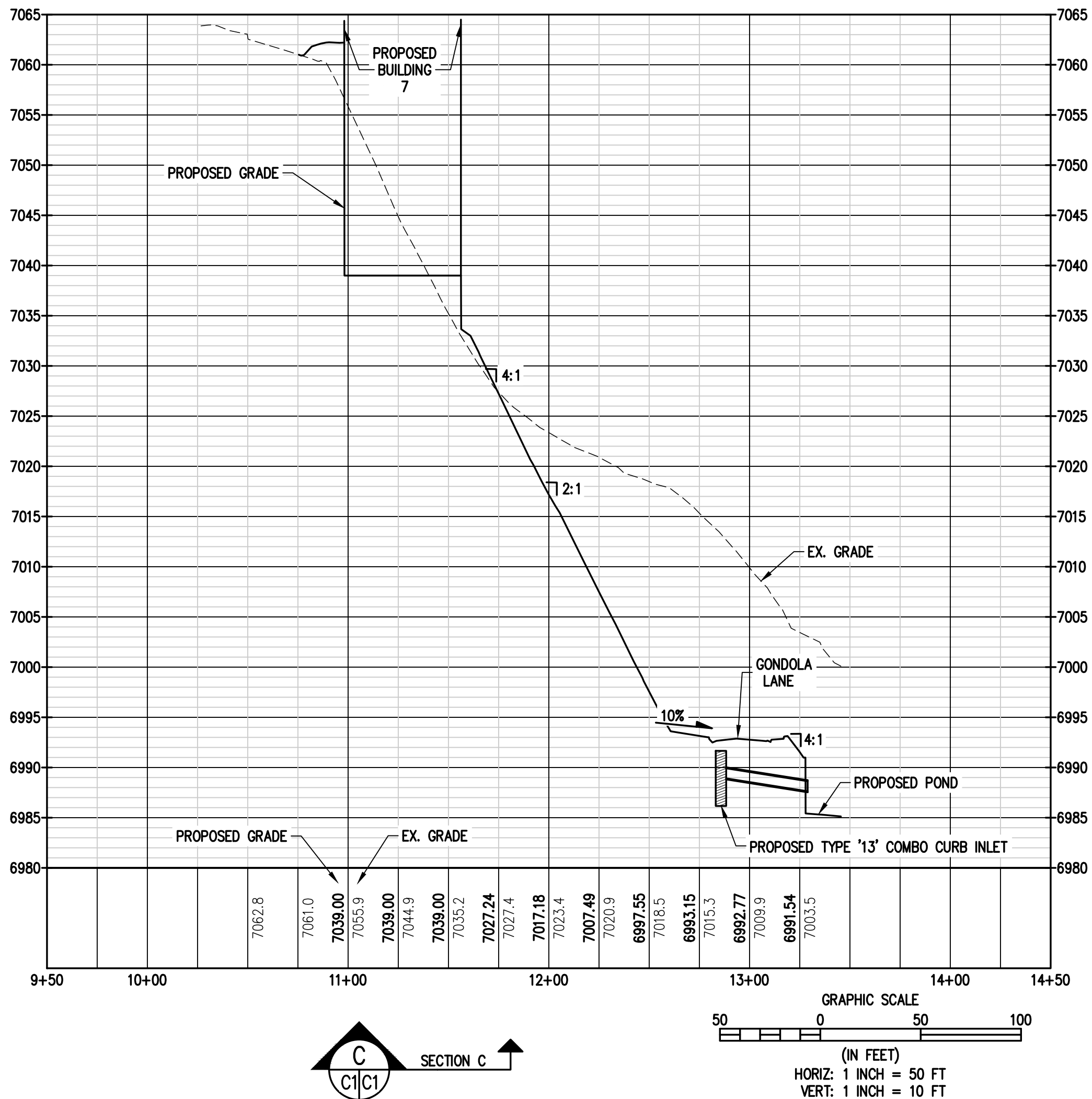
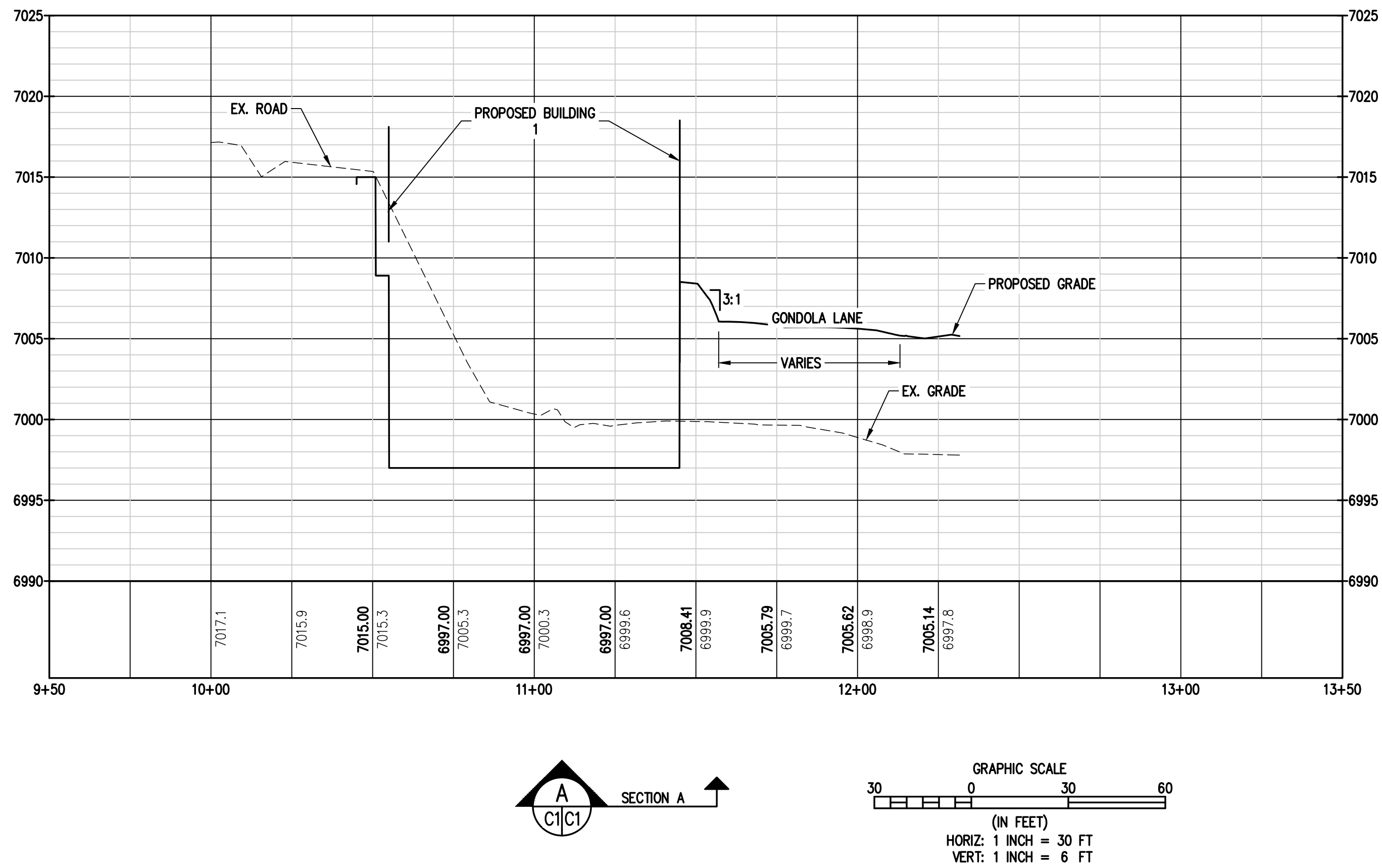
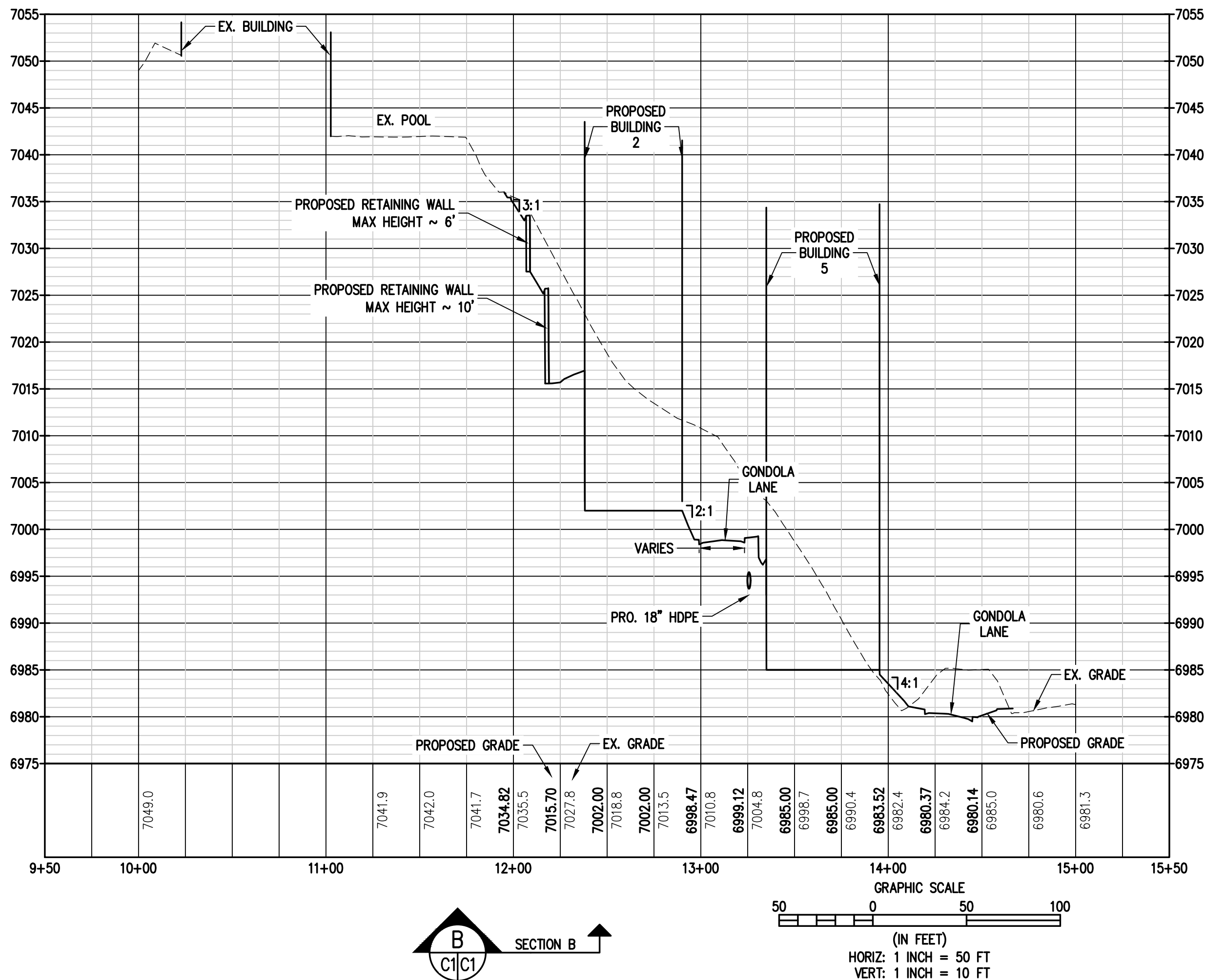
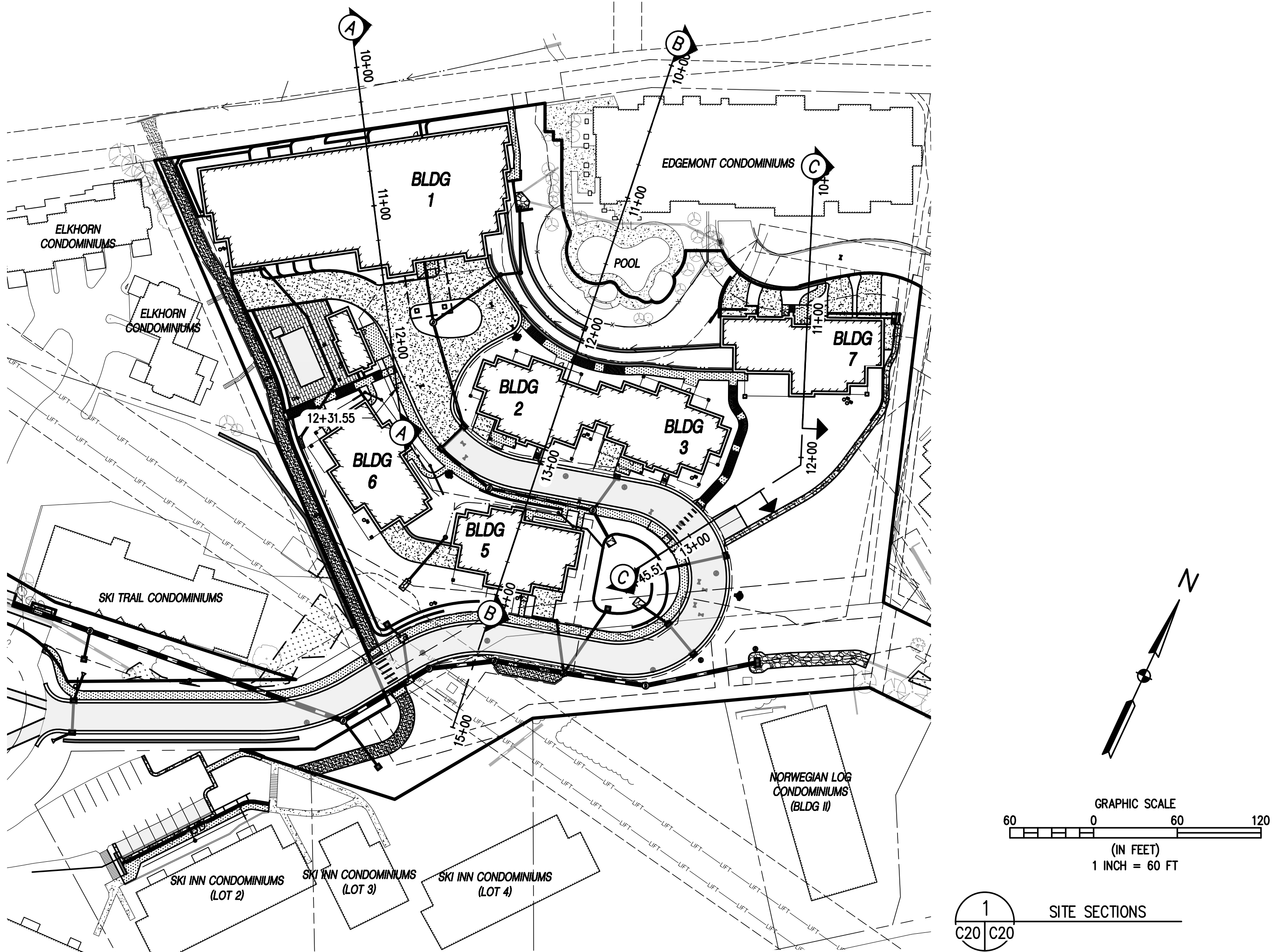
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TJM	5/15/2024	SMB	CITY COMMENTS
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STEAMBOAT ESQUIAR LP
THE ASTRID
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BLDG 6 & POOL- GRADING DETAIL
CITY OF STEAMBOAT SPRINGS
ROUTT COUNTY

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SURVEY FIRM LANDMARK, INC	SURVEY DATE 06/03/22
JOB NO.	C020235
DRAWING NAME BLDG 6 & POOL- GRADING DETAIL	
SHEET	16 OF 64
C16	



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THE ASTRID
2410 SKI TRAIL LANE
SITE SECTIONS

STEAMBOAT ESQUIAR LP

CITY OF STEAMBOAT SPRINGS

ROUTT COUNTY

FOR AND ON BEHALF OF
BUSINESS CORPORATION

PROFESSIONAL ENGINEER
34962
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DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

SURVEY DATE 06/03/22

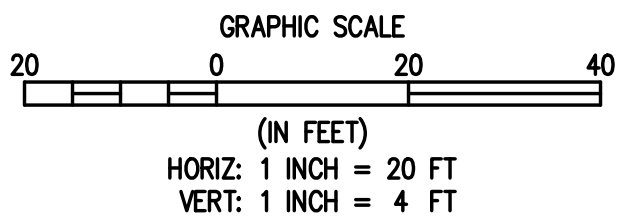
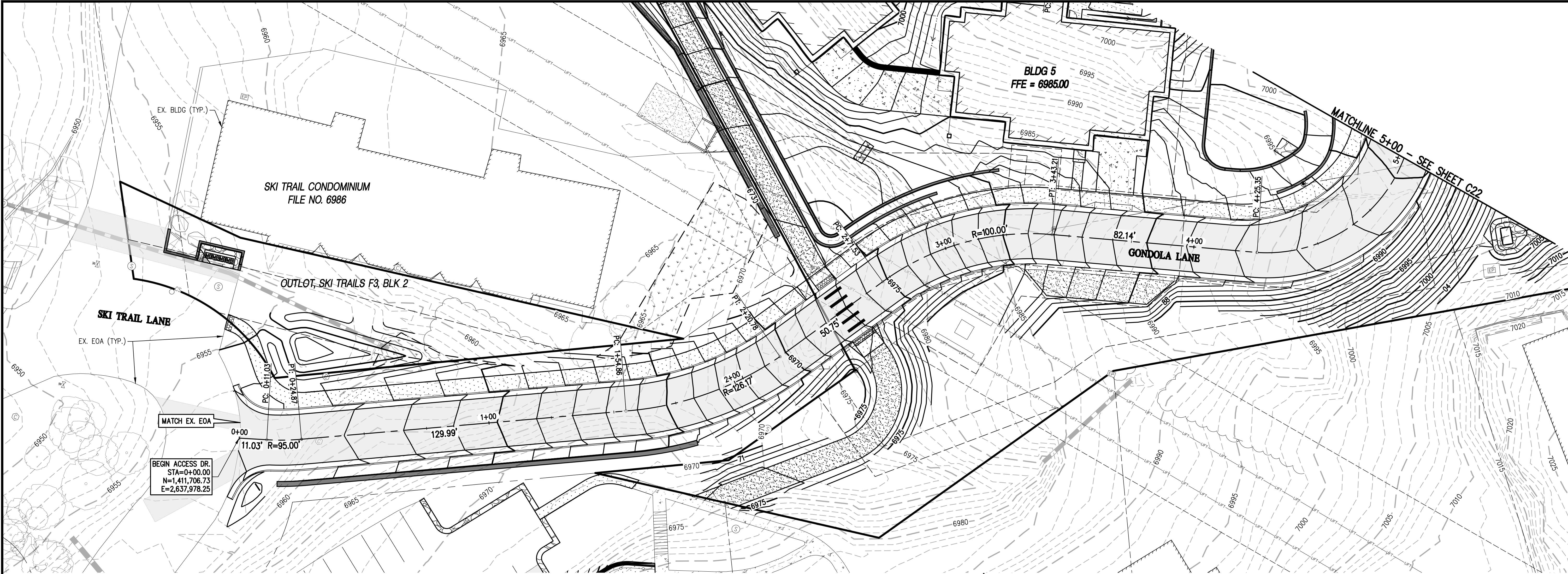
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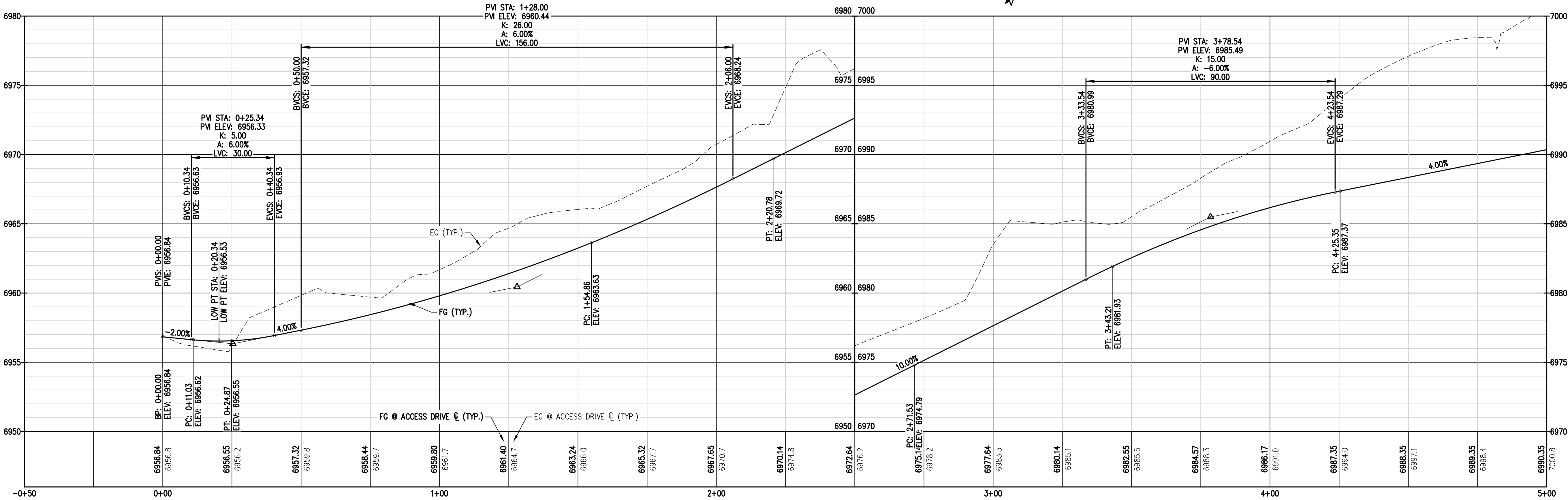
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C20

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1
C21 C21
GONDOLA LANE DRIVE PLAN & PROFILE I



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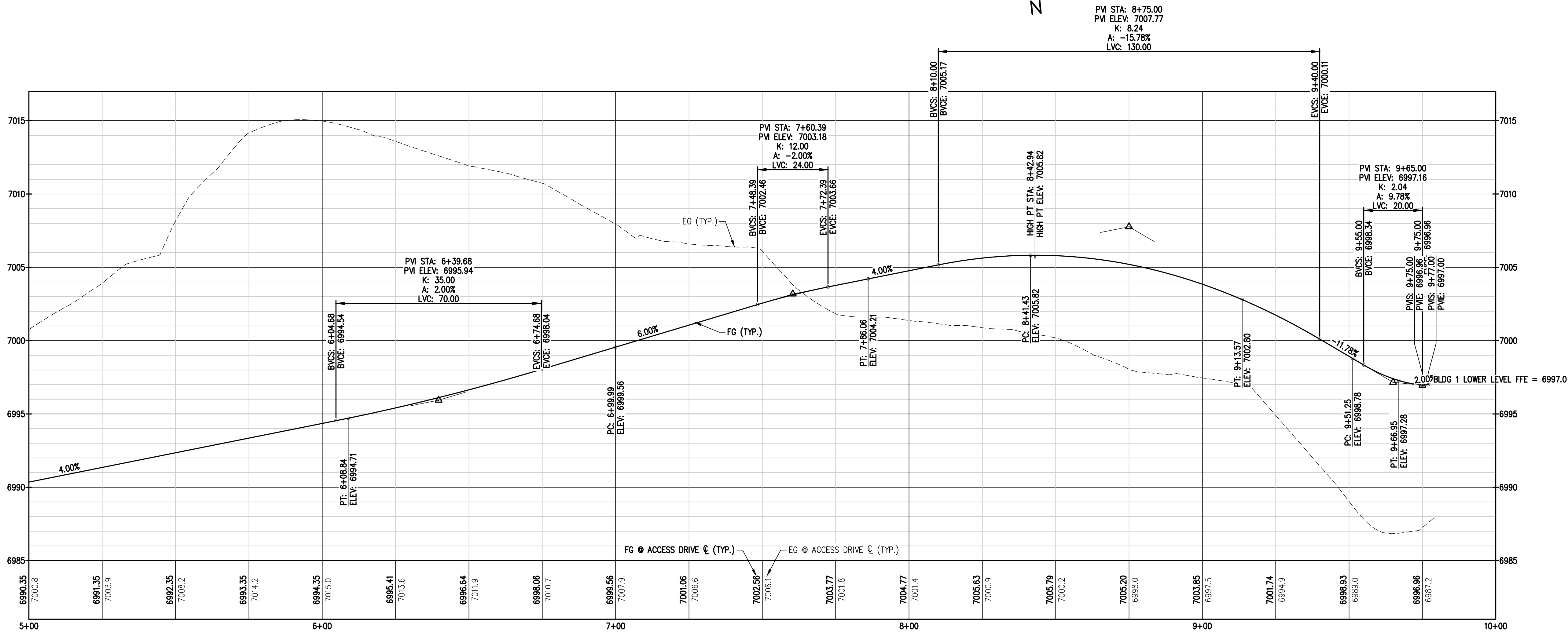
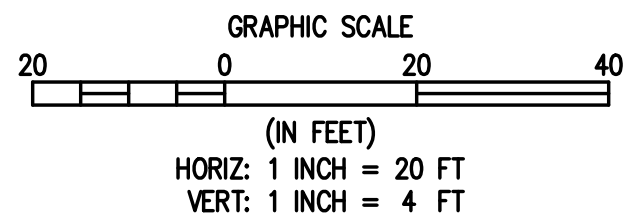
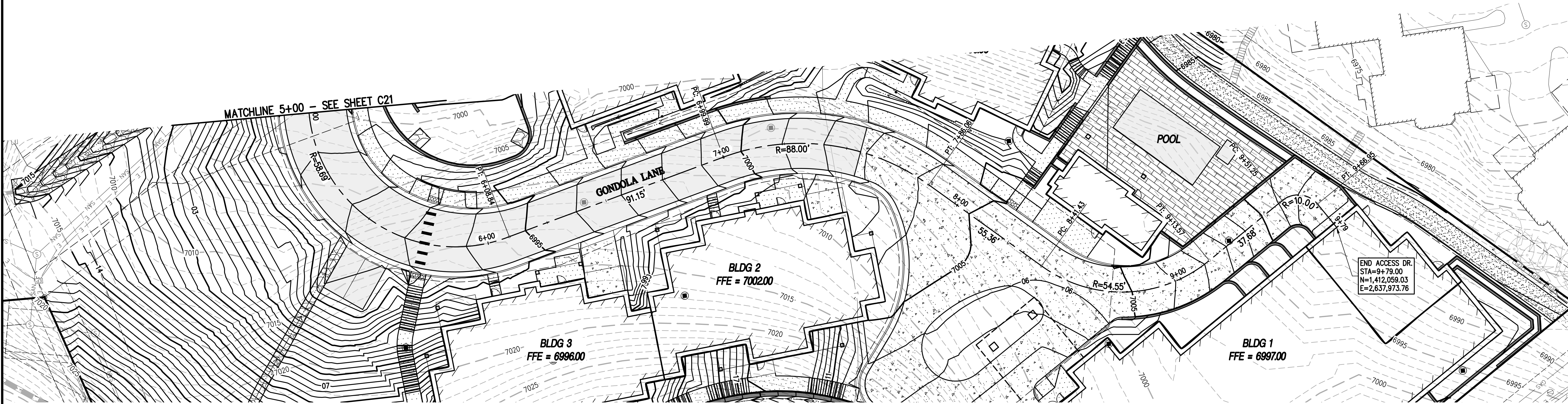
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CITY COMMENTS	SMB	5/15/2024	

CITY OF STEAMBOAT SPRINGS		ROUTE COUNTY	
THE ASTRID 2410 SKI TRAIL LANE GONDOLA LANE DRIVE PLAN & PROFILE I			

FOR AND ON BEHALF OF BASELINE CORPORATION	
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DRAWING SIZE	24" X 36"
SURVEY FIRM	06/03/22
LANDMARK, INC.	
JOB NO.	C020235
DRAWING NAME	GONDOLA LANE DRIVE PLAN & PROFILE I
SHEET	21 OF 64

C21

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CITY OF STEAMBOAT SPRINGS

THE ASTRID
2410 SKI TRAIL LANE
GONDOLA LANE DRIVE PLAN & PROFILE II

ROUTT COUNTY

FOR AND ON BEHALF OF
BUSLINE CORPORATION

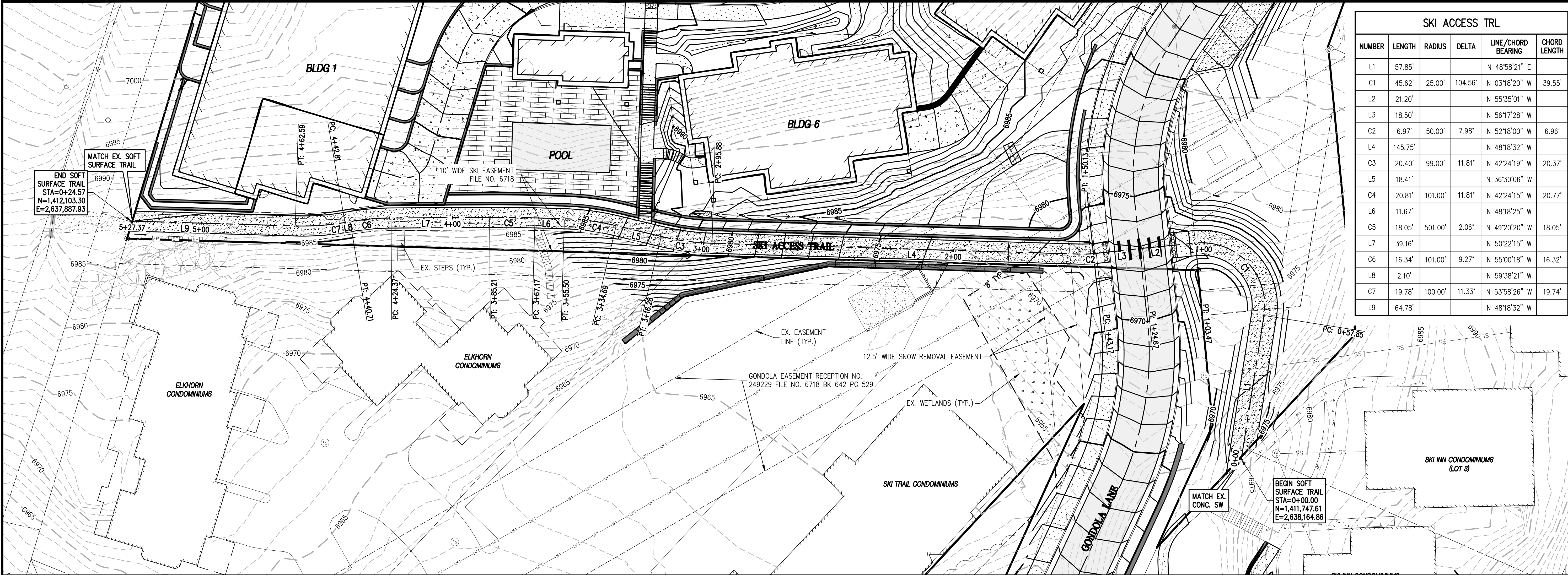
PROFESSIONAL ENGINEER
34962
5-15-24

FOR THE SUPERVISION OF
CONSTRUCTION

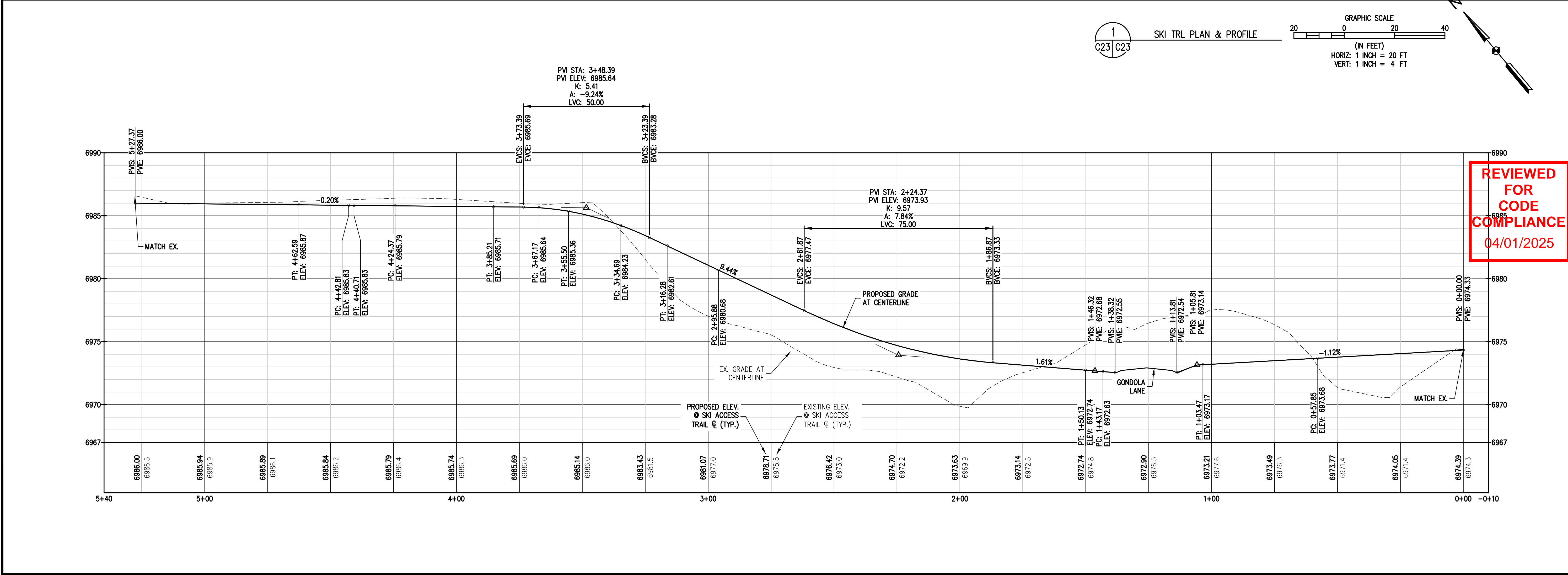
INITIAL SUBMITTAL	2/29/2024
DRAWING SIZE	24" X 36"
SURVEY FIRM	LANDMARK, INC
SURVEY DATE	06/03/22
JOB NO.	C020235
DRAWING NAME	GONDOLA LANE DRIVE PLAN & PROFILE II
SHEET	22 OF 64

C22

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SKI ACCESS TRL					
NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	CHORD LENGTH
L1	57.85'			N 48°58'21" E	
C1	45.62'	25.00'	104.56°	N 03°18'20" W	39.55'
L2	21.20'			N 55°35'01" W	
L3	18.50'			N 56°17'28" W	
C2	6.97'	50.00'	7.98°	N 52°18'00" W	6.96'
L4	145.75'			N 48°18'32" W	
C3	20.40'	99.00'	11.81°	N 42°24'19" W	20.37'
L5	18.41'			N 36°30'06" W	
C4	20.81'	101.00'	11.81°	N 42°24'15" W	20.77'
L6	11.67'			N 48°18'25" W	
C5	18.05'	501.00'	2.06°	N 49°20'20" W	18.05'
L7	39.16'			N 50°22'15" W	
C6	16.34'	101.00'	9.27°	N 55°00'18" W	16.32'
L8	2.10'			N 59°38'21" W	
C7	19.78'	100.00'	11.33°	N 53°58'26" W	19.74'
L9	64.78'			N 48°18'32" W	



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CITY COMMENTS

ROUT COUNTY

CITY OF STEAMBOAT SPRINGS

THE ASTRID

2410 SKI TRAIL LANE

SKI TRAIL PLAN & PROFILE

FOR AND ON BEHALF OF

BASELINE CORPORATION

PROFESSIONAL ENGINEER

5-15-24

34952

FOR AND ON BEHALF OF

BASELINE CORPORATION

PROFESSIONAL ENGINEER

5-15-24

34952

INITIAL SUBMITTAL

2/29/2024

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24" X 36"

SURVEY FIRM

LANDMARK, INC

SURVEY DATE

06/03/22

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DRAWING NAME

SKI TRAIL PLAN & PROFILE

SHEET

23

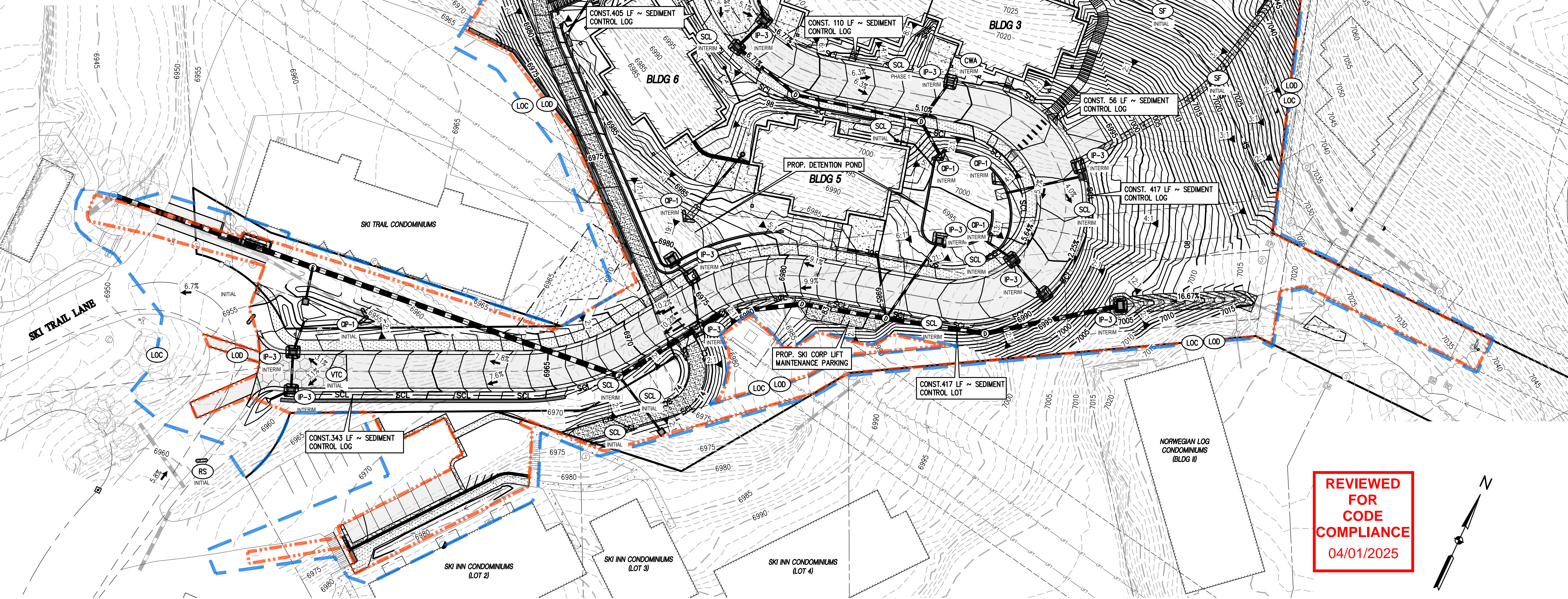
OF

64

C23

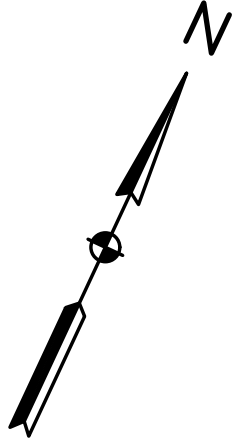
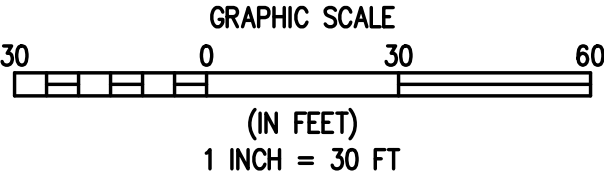
EROSION & SEDIMENT CONTROL LEGEND:

- VEHICLE TRACKING CONTROL (VTC)
- SEEDING AND MULCHING (SM)
- SOD
- EROSION CONTROL BLANKET (ECB)
- STABILIZED STAGING AREA (SSA)
- CONCRETE WASHOUT AREA (CWA)
- STOCKPILE MANAGEMENT (SP)
- ROCK SOCK (RS)
- INLET PROTECTION (IP)
- CULVERT INLET PROTECTION (CIP)
- SEDIMENT CONTROL LOG (SCL)
- LIMITS OF DISTURBANCE (LOD)
- LIMITS OF CONSTRUCTION (LOC)
- CHECK DAMS (CD)



NOTE: TEMPORARY CONSTRUCTION EASEMENTS TO BE OBTAINED BY PROPERTY OWNER AND/OR CONTRACTOR PRIOR TO CONSTRUCTION OUTSIDE OF PROPERTY BOUNDARY. SEE LIMITS OF CONSTRUCTION FOR APPROXIMATE LIMITS OUTSIDE OF PROPERTY.

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ROUTT COUNTY
STEAMBOAT ESQUIAR LP
THE ASTRID
2410 SKI TRAIL LANE
EROSION & SEDIMENT CONTROL PLAN - INITIAL & INTERIM

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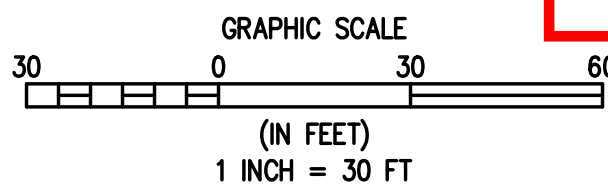
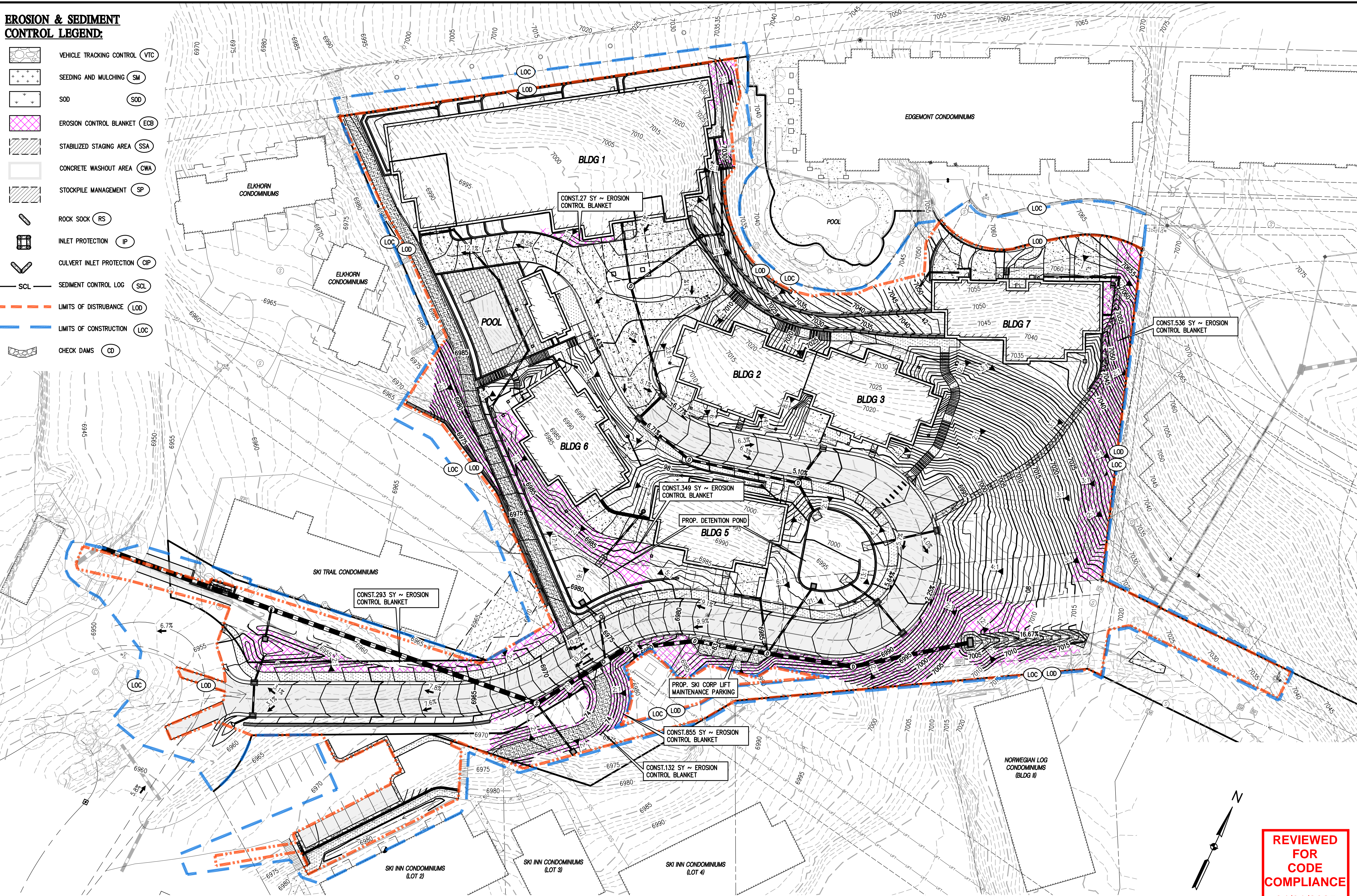
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INITIAL SUBMITTAL	2/29/2024
DRAWING SIZE	24" X 36"
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LANDMARK, INC	06/03/22
JOB NO.	C020235
DRAWING NAME	
EROSION & SEDIMENT CONTROL PLAN - INITIAL & INTERIM	
SHEET	24 OF 64

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EROSION & SEDIMENT CONTROL LEGEND:

- VEHICLE TRACKING CONTROL (VTC)
- SEEDING AND MULCHING (SM)
- SOD (SOD)
- EROSION CONTROL BLANKET (ECB)
- STABILIZED STAGING AREA (SSA)
- CONCRETE WASHOUT AREA (CWA)
- STOCKPILE MANAGEMENT (SP)
- ROCK SOCK (RS)
- INLET PROTECTION (IP)
- CULVERT INLET PROTECTION (CIP)
- SEDIMENT CONTROL LOG (SCL)
- LIMITS OF DISTURBANCE (LOD)
- LIMITS OF CONSTRUCTION (LOC)
- CHECK DAMS (CD)

NOTES:
1. TEMPORARY CONSTRUCTION EASEMENTS TO BE OBTAINED BY PROPERTY OWNER AND/OR CONTRACTOR PRIOR TO CONSTRUCTION OUTSIDE OF PROPERTY BOUNDARY. SEE LIMITS OF CONSTRUCTION FOR APPROXIMATE LIMITS OUTSIDE OF PROPERTY.
2. THE SEDIMENT CONTROL LOG LOCATIONS SHOWN ON THIS PLAN ARE SIMPLIFIED. CONTRACTOR TO INSTALL LOGS PARALLEL TO CONTOUR LINES AND ADJUST LOCATIONS AND OVERLAPS AS NECESSARY.



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1 EROSION & SEDIMENT CONTROL PLAN - FINAL
C25 C25

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THE ASTRID
2410 SKI TRAIL LANE
EROSION & SEDIMENT CONTROL PLAN - FINAL

FOR AND ON BEHALF OF
BASELINE CORPORATION

PROFESSIONAL ENGINEER
34962
5-15-24

FOR AND ON BEHALF OF
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2/29/2024

24" X 36"

LANDMARK, INC

06/03/22

C020235

EROSION & SEDIMENT CONTROL PLAN - FINAL

25 OF 64

C25