

THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.  
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THE RICHARDSON DESIGN PARTNERSHIP, L.L.C. IS THE DESIGNER OF RECORD FOR THIS PROJECT. THE RICHARDSON DESIGN PARTNERSHIP, L.L.C. HAS THE SOLE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE RICHARDSON DESIGN PARTNERSHIP, L.L.C. HAS NOT CONDUCTED A VISUAL QUALITY REVIEW OF THIS PROJECT. THE RICHARDSON DESIGN PARTNERSHIP, L.L.C. HAS NOT CONDUCTED A VISUAL QUALITY REVIEW OF THIS PROJECT.

**REVIEWED FOR CODE COMPLIANCE**  
 09/25/2024

CONSULTANT:  
**SERAC CAPITAL PARTNERS, LLC**  
 5051 WESTHEIMER RD. SUITE 1750  
 HOUSTON, TX 77056

OWNER:  
**CENTRAL PARK HOTEL**  
 1750 Central Park Dr.  
 Steamboat Springs, CO

ISSUE DATE	DESCRIPTION
06/14/2023	PERMIT SET
04/10/24	CITY COMMENTS
07/14/24	ADDENDUM #1

PROJECT # 2023  
 DRAWN BY: ABR  
 CHECKED BY: CDB  
 SHEET #

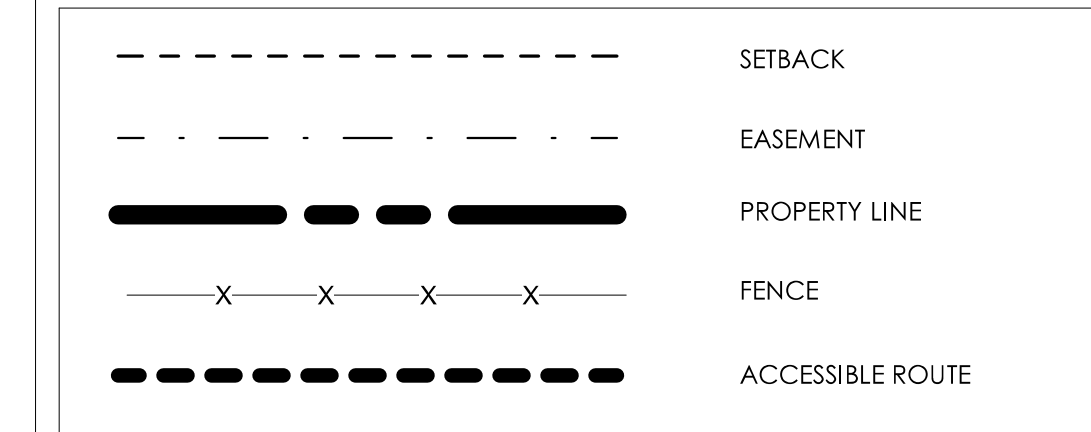
**SHEET NOTES**

- 22.11 FIRE DEPARTMENT CONNECTION. COORDINATE WITH FIRE MARSHAL DRAWINGS.
- 26.06 PARKING LOT LIGHT, POLE AND BASE. REFER TO ELECTRICAL DRAWINGS.
- 26.44 LIGHT BOLLARDS IN PATIO AREA. LOCATE IN GROUND. PROVIDE CONCRETE FOUNDATION W/ J-BOX PER MANUF. REQUIREMENTS.
- 26.90 JBOX WITH WIRE FOR FUTURE E.V. CHARGING STATION - SEE ELECTRICAL
- 26.91 CONDUIT FOR FUTURE E.V. CHARGING STATION - SEE ELECTRICAL
- 32.02 ADA PARKING SIGN TO COMPLY WITH ICC A117.1 SECTION 502, SEE DETAIL 15/AS10.
- 32.05 ACCESSIBLE PASSENGER LOADING ZONE
- 32.06 BIKE RACKS
- 32.09 PROPERTY LINE
- 32.16 FIRE HYDRANT. SEE CIVIL
- 32.18 STAMPED AND COLORED CONCRETE PAVING - SUBMIT STAMP PATTERN AND COLORS FOR OWNERSHIP REVIEW AND SELECTION.
- 32.23 EXTERIOR ACCESSIBLE ROUTE. MAX 5% SLOPE, 2% CROSS SLOPE.
- 32.37 FESTOON LIGHTING ABOVE
- 32.52 MONUMENT SIGN WITH UPLIGHT
- 32.53 ELECTRIC VEHICLE CHARGING STATION - SEE ELECTRICAL
- 32.54 DETENTION POND. SEE CIVIL AND LANDSCAPE DRAWINGS.
- 32.56 RETAINING WALL
- 32.57 SPLIT RAIL FENCE. SEE DETAIL 20/AS103
- 32.58 CT & DISCONNECT FOR VC PANEL. SEE ELEC.
- 32.59 VC PANEL. SEE ELEC.
- 32.61 RESTAURANT PATIO FENCE. SEE DETAIL 19/AS103.
- 32.62 4X4X12" STEEL BEAM WITH EYE HOOK FOR FESTOON LIGHTS 10FT ABOVE FINISH GRADE WITH STEEL CAP. BEAM TO BE IMBEDDED INTO 12" DIA X 3'-0" DEEP CONCRETE PIER SIMILAR TO BOLLARD DETAIL.

**GENERAL NOTES**

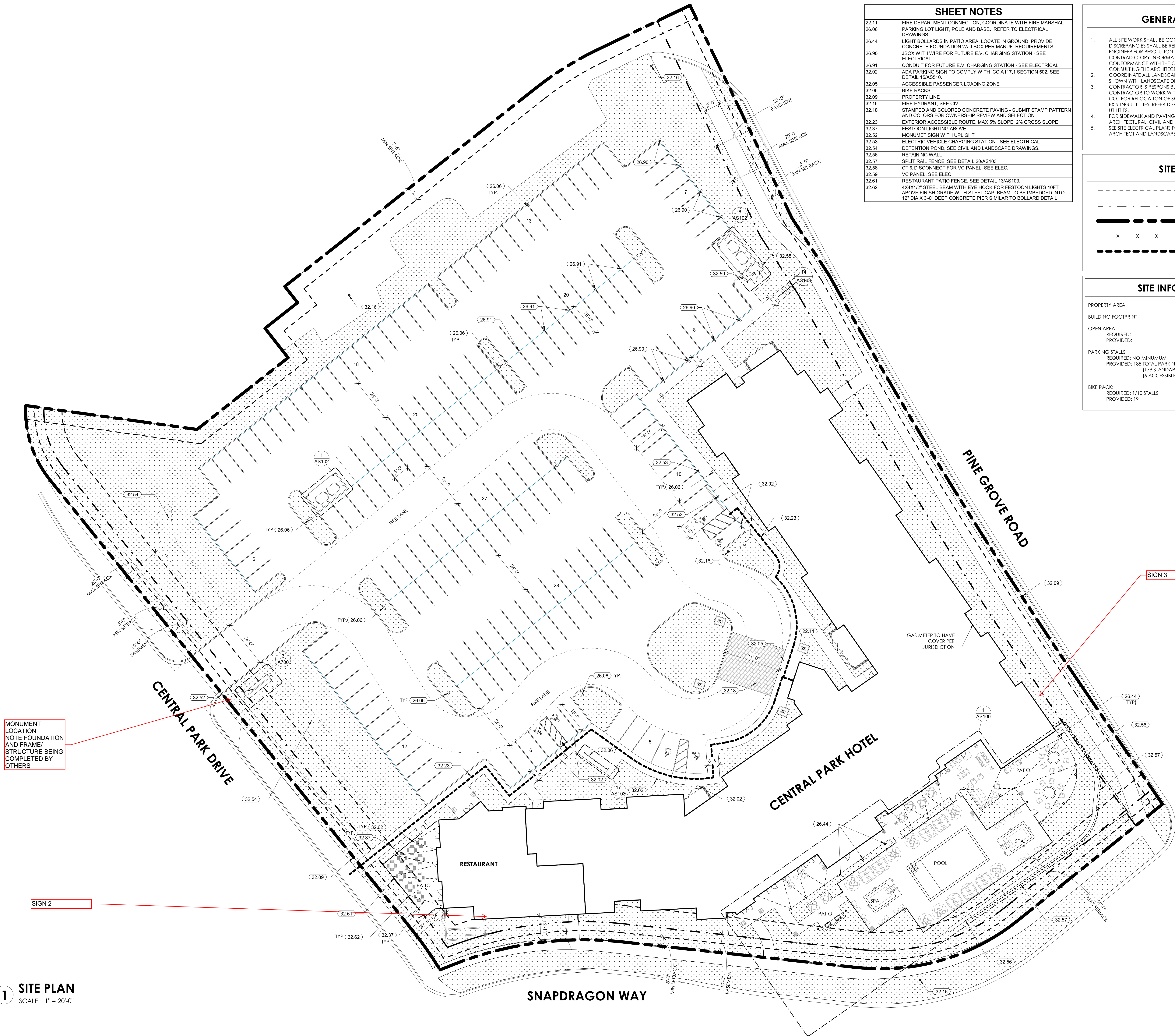
1. ALL SITE WORK SHALL BE COORDINATED WITH CIVIL DOCUMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION. NO WORK SHALL BE PERFORMED ON THE CONTRADICTORY INFORMATION OR ANY EXISTING CONDITION NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS WITHOUT FIRST CONSULTING THE ARCHITECT AND ENGINEER.
2. COORDINATE ALL LANDSCAPING, PARKING STRIPS, AND SIDEWALKS SHOWN WITH LANDSCAPE DRAWINGS.
3. CONTRACTOR IS RESPONSIBLE FOR RELOCATION OF DRY UTILITIES. CONTRACTOR TO WORK WITH UTILITY PROVIDER. IE: FIBER OPTICS, CABLE CO. FOR RELOCATION OF SHORING, MAINTENANCE OR REPAIR OF ALL EXISTING UTILITIES. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR WET UTILITIES.
4. FOR SIDEWALK AND PAVING FINISH GRADES, COORDINATE WITH ARCHITECTURAL, CIVIL AND LANDSCAPE DRAWINGS.
5. SEE SITE ELECTRICAL PLANS FOR ALL SITE LIGHTING/ POST LIGHTS. ARCHITECT AND LANDSCAPE TO VERIFY FINAL LOCATIONS.

**SITE LEGEND**



**SITE INFORMATION**

PROPERTY AREA:	183,087 SF (4.2 ACRES)
BUILDING FOOTPRINT:	33,574 SF (18.5%)
OPEN AREA:	
REQUIRED:	15% (27,455 SF)
PROVIDED:	15.4% (28,358 SF)
PARKING STALLS:	
REQUIRED: NO MINIMUM	
PROVIDED: 185 TOTAL PARKING STALLS (179 STANDARD PARKING STALLS) (6 ACCESSIBLE STALLS)	
BIKE RACK:	
REQUIRED: 1/10 STALLS	
PROVIDED: 19	



**1 SITE PLAN**  
 SCALE: 1" = 20'-0"

**PERMIT SET**

**ARCHITECTURAL SITE PLAN**

**AS101**

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