

CODE STUDY

RFP BUILDING 4 WAS COMPLETED UNDER RCRBD PERMIT No. SB-06-732

BUILDING TYPE: V- 1 HOUR
'B' & R-2 OCCUPANCIES

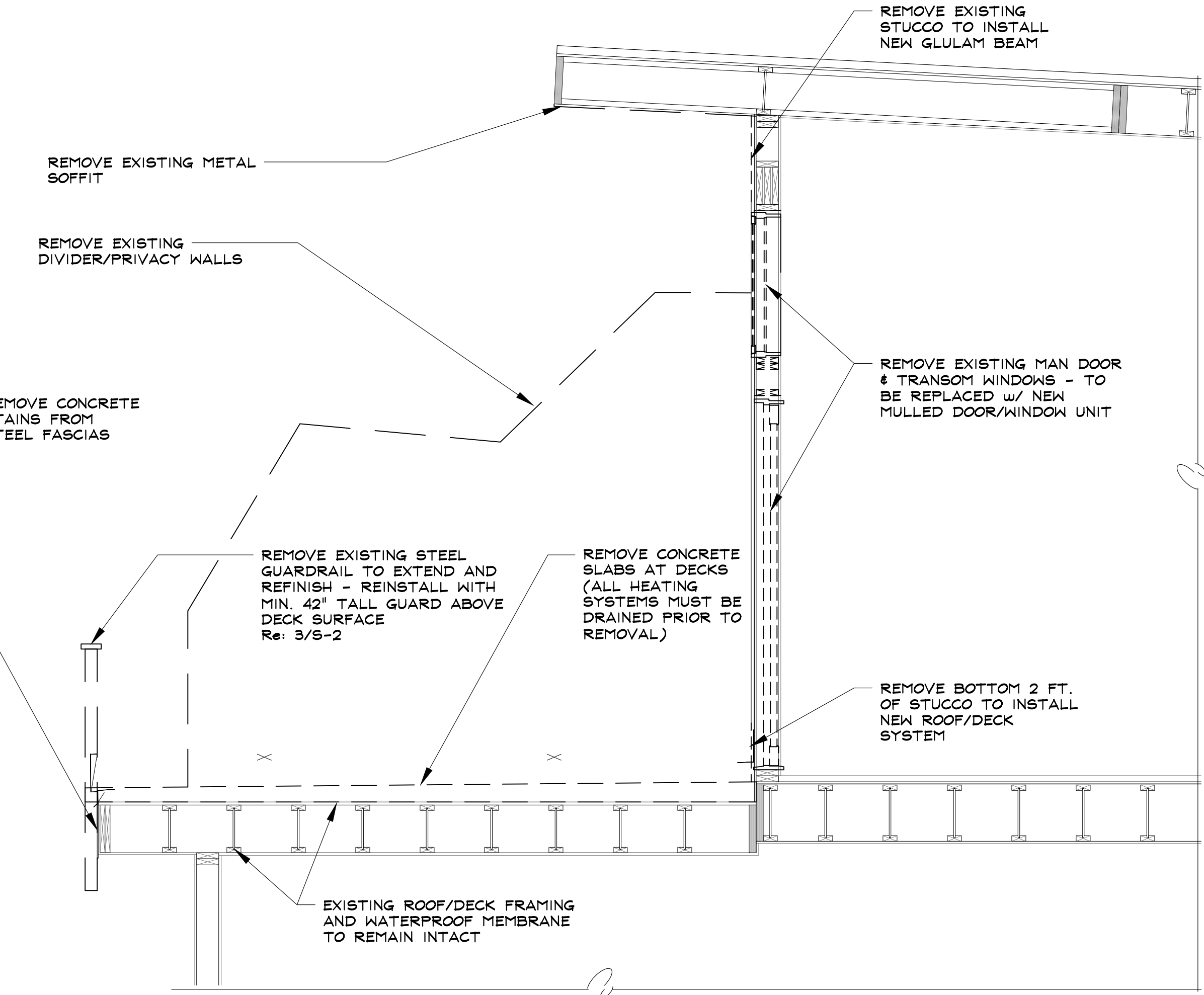
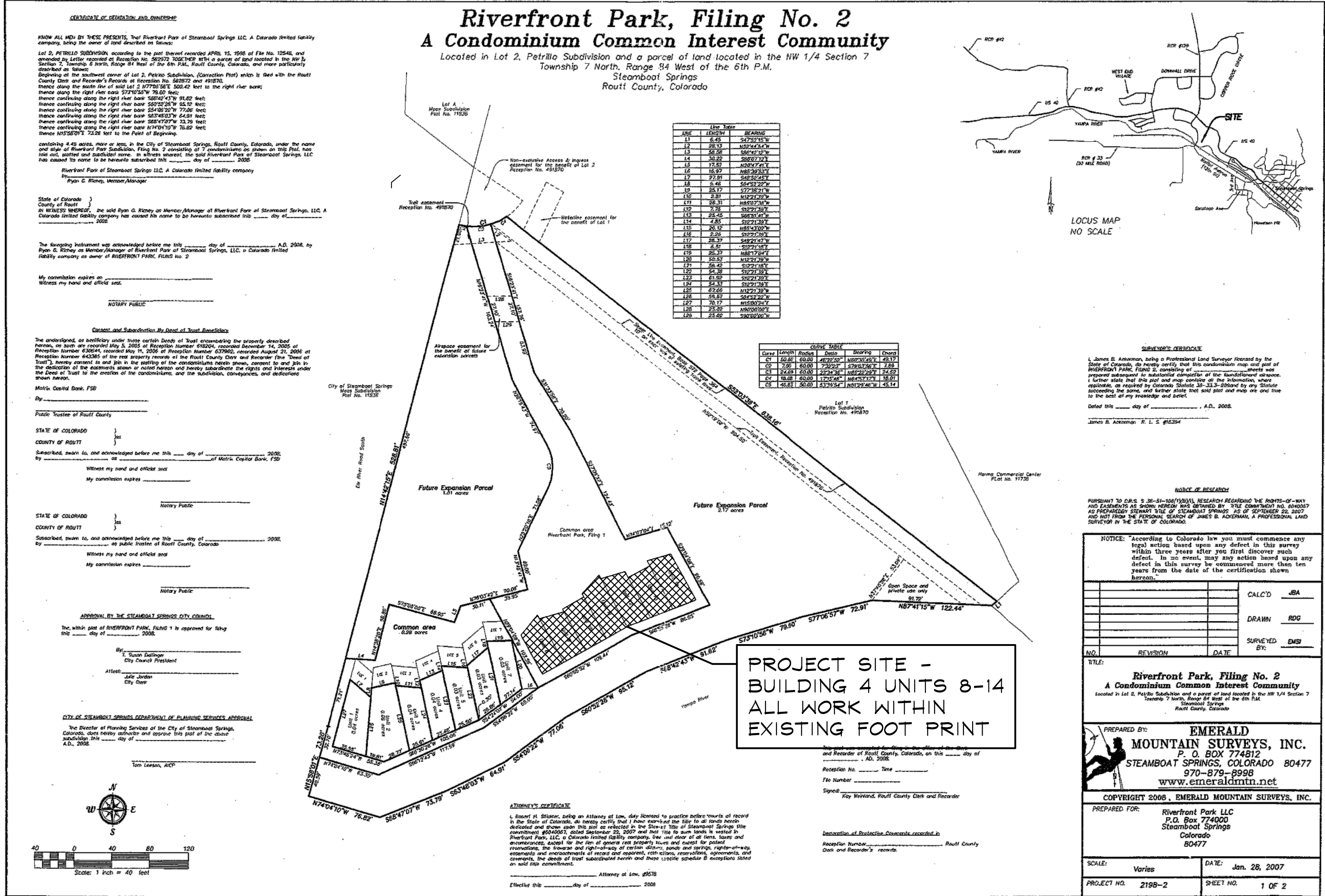
NO CHANGE TO BUILDING USE, OCCUPANCY OR EGRESS WITH PROPOSED ROOF/DECK REPAIR

SHEET SCHEDULE

SHEET	CONTENTS
AD-1	SITE PLAN, CODE STUDY, DEMO PLAN & DEMO ELEVATION
S-1	ROOF AND DECK FRAMING REPAIR PLAN
S-2	TYPICAL SECTION THROUGH DECK
S-3	TYPICAL SECTIONS THROUGH PRIVACY WALL
S-4	TYPICAL CONNECTION DETAILS
S-5	FLASHING & WATERPROOFING DETAILS
S-6	SECTIONS THROUGH PRIVACY WALL UNITS 14 & 13
S-7	SECTIONS THROUGH PRIVACY WALL UNITS 12 & 11
S-8	SECTIONS THROUGH PRIVACY WALL UNITS 10 & 9
S-9	SECTIONS THROUGH PRIVACY WALL UNIT 8

CONCEPTUAL ROOF/DECK REPAIR SCOPE OF WORK & SEQUENCE

1. REMOVE EXISTING STEEL GUARDRAILS AND CABLES FOR EXTENSION, RE-FINISHING & RE-USE
2. REMOVE EXISTING DIVIDING WALLS BETWEEN UNITS
3. REMOVE EXISTING CONCRETE TOPPING SLABS - LEAVE WATERPROOF MEMBRANES & STRUCTURES INTACT
4. REMOVE BOTTOM 2 FEET OF STUCCO SIDING ABOVE DECKS
5. REMOVE ROOF SOFFITS AT SOUTH WALLS
6. CUT STUCCO AT TOP OF SOUTH WALLS TO INSTALL GLULAM BEAMS PER PLAN Re: 1/S-1 UNDER RAFTERS & FASTENED TO WALL
7. CONSTRUCT GLULAM TIMBER FRAMES UNDER EACH END OF NEW GLULAM BEAMS
8. CONSTRUCT NEW SLOPED ROOF OVER EXISTING ROOF/DECK STRUCTURE WITH DECK ON REVERSE TAPER SLEEPERS - REQUIRES RAISING EXISTING EXTERIOR DOOR FOR MAXIMUM 7" STEP FROM FINISHED FLOOR
9. REPLACE REFINISHED GUARDRAILS WITH TOP CAP TO MINIMUM 42" ABOVE NEW DECK SURFACE
10. BUILD NEW WOOD FRAMED DIVIDER WALLS TO ENCLOSE AND PROTECT GLULAM TIMBER FRAMES - THE USE OF FIRE RETARDANT SHEATHING TO PROTECT THE INTEGRITY OF THE EXISTING 1-HOUR SYSTEMS AT 3 LOCATIONS Re:2/S-1.
11. REPLACE STUCCO WITH NEW FLASHING AND 'J' CHANNEL
12. REPLACE ROOF SOFFITS - CUT TO FIT AT NEW GLULAM BEAMS



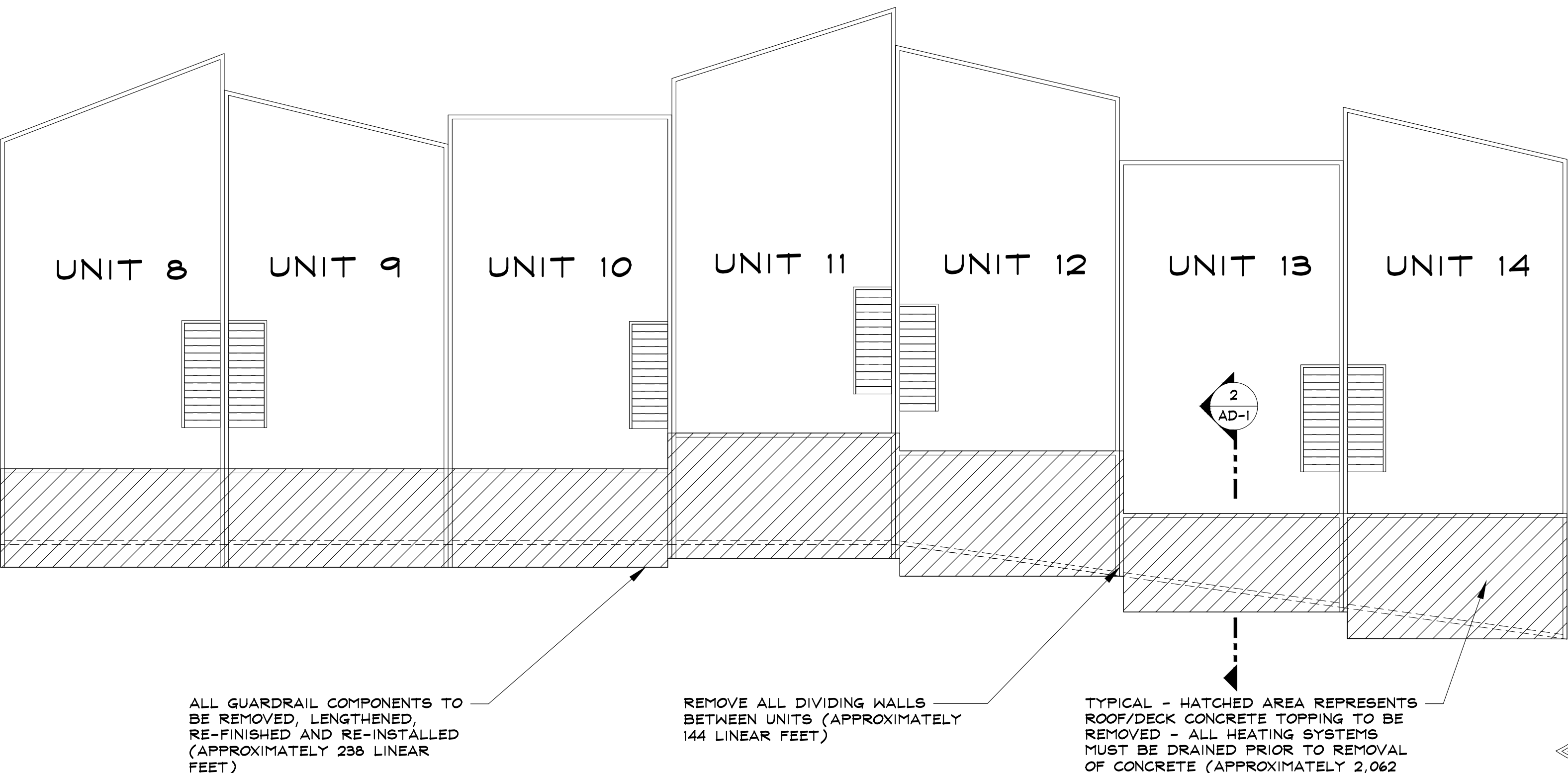
TYPICAL ROOF/DECK DEMOLITION SECTION

SCALE: 1/4" = 1'-0"

3 SITE PLAN

COPY OF PLAT FROM JAN. 28, 2007

SCALE: N.T.S.



CONCEPTUAL ROOF/DECK DEMOLITION PLAN

APPROXIMATELY 2,062 SQ. FT. OF CONCRETE TOPPING TO BE REMOVED
APPROXIMATELY 238 LINEAR FT. OF GUARDRAILS TO BE REMOVED, EXTENDED, REFINISHED, & REINSTALLED
APPROXIMATELY 144 LINEAR FT. OF DIVIDING WALLS TO BE REMOVED AND REPLACED

SCALE: N.T.S.

ROOF & DECK REPAIR - BUILDING 4

1900 BRIDGE LANE

STEAMBOAT SPRINGS, COLORADO

A REPAIR & RENOVATION FOR:

RIVERFRONT PARK HOMEOWNERS ASSOCIATION

ISSUE DATES

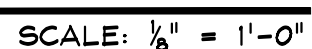
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SITE AND
DEMOLITION
PLANS

AD-1

SHEET 1 of 10



NO WORK INSIDE OF UNITS

- A. 2015 International Building Code (including all local adoptions)
- B. 2015 International Residential Code (including all local adoptions)
- C. City of Steamboat Springs Community Development Code
- D. "Minimum Design Loads for Buildings and Other Structures" - ASCE 7-10
- E. "Building Code Requirements for Structural Concrete" - ACI318
- F. "Steel Construction Manual" - AISC fourteenth edition
- G. "National Design Specification for Wood Construction" - ANSI/APA-PPA-NDS 2015

A. Roofs: 75 psf
B. Floors: 40 psf
C. Decks: 75 psf
D. Wind: 120 mph, Exposure B
E. Seismic Design: Category B, Soil Type D

A. Unless noted otherwise, all 2" lumber shall be Douglas Fir S4S No. 2 and better. All solid timber beams and posts shall be DF-L No. 1 or better.

B. Unless noted otherwise, minimum nailing shall be provided as specified in Table No. 2304.10.1, "Fastening Schedule", of the 2015 IBC or Table No. R602.3(1), "Fastening Schedule", of the 2015 IRC.

C. Wall and floor sheathing shall be APA rated with exterior glue and graded in accordance with APA standards. Panel identification and thickness shall be as noted on the drawings.

D. Where light gauge framing anchors are shown or required, they shall be Simpson "Strong Tie" (or equal approved by ICBO). They shall be installed with the number and type of fasteners recommended by the manufacturer to develop the rated capacity.

E. Laminated Veneer Lumber shall be of such stress grade to provide an allowable bending stress of 2,600 psi, allowable shear stress parallel to the glue line of 285 psi and a modulus of elasticity of 1,900,000 psi.

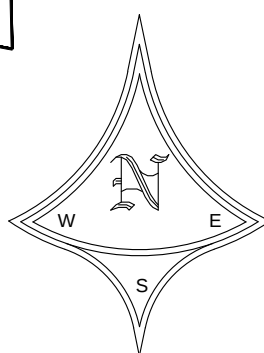
F. Glue laminated timber shall be stress grade marked 24F-V4 for simple spans @ 24F-V4 for multiple spans as required.

G. All structural steel shall be designed by a Colorado Registered Professional Engineer to support the full live load and dead loads of the roof, ceiling, and any other superimposed loads. Calculations and shop drawings, including member sizes, lumber species, and grade and substantiating data for connector capacities and truss bearing, shall be submitted to the Architect or Engineer for review and approval prior to fabrication.

H. Floor joists shall be plant fabricated I series with LVL or solid wood flanges and plywood or OSB webs, and shall carry ICBO approval for a complete section. Joists shall be designed to carry full live and dead loads of the roof(s), floor(s), and any superimposed loads.

I. Roof overframing shall be 2x6 rafters @ 24" O.C. w/ 2x6 studs @ 24" O.C. to stack over rafters or purlins below.

A. The contractor shall thoroughly inspect and survey the existing structure to verify dimensions, elevations, framing, etc., which may affect the work shown on the drawings and report any variations or discrepancies to the Engineer.



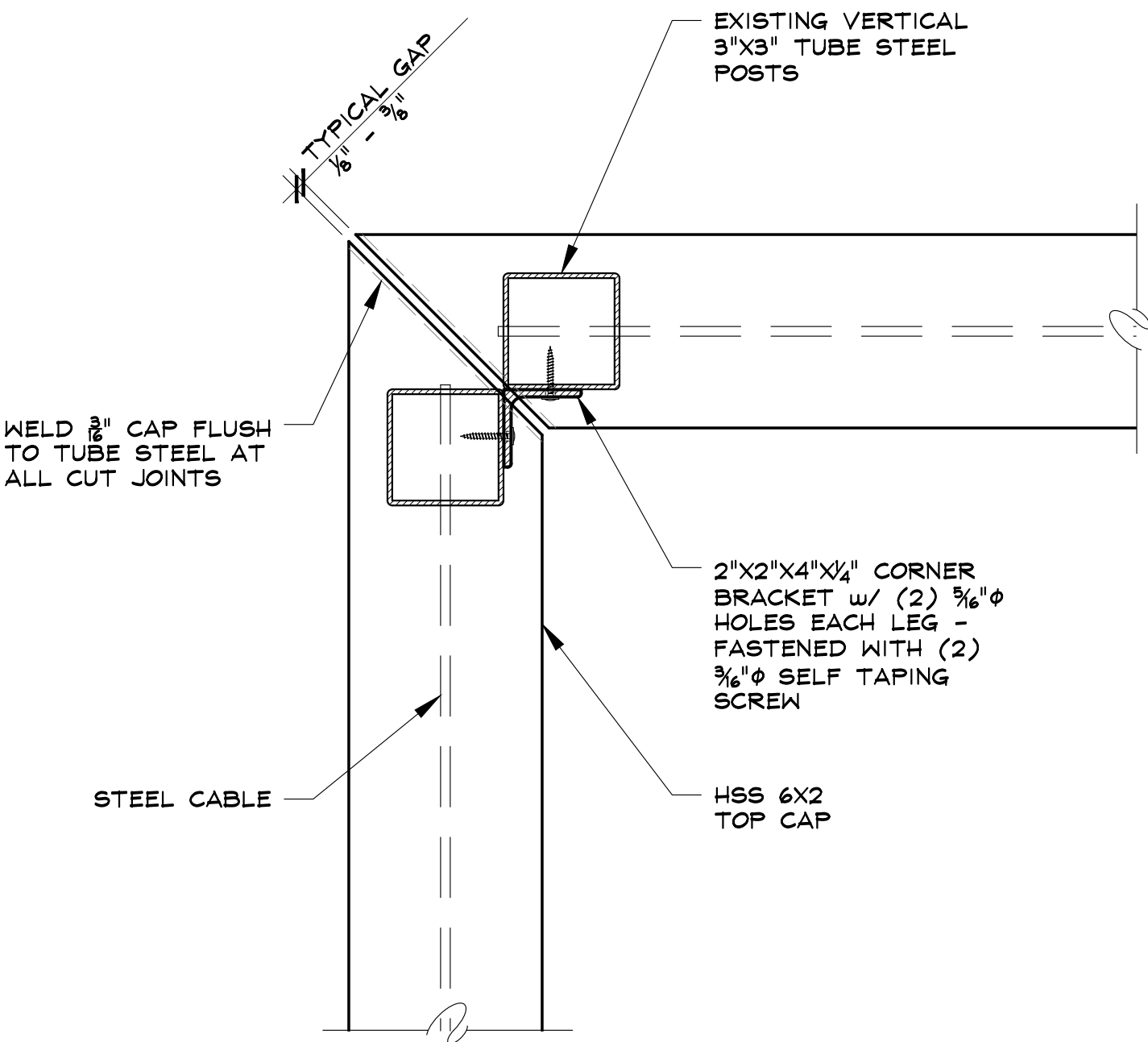
ADD NEW ROOF BEAMS AT SOUTH WALLS

SCALE: $\frac{1}{8}'' = 1'-0''$



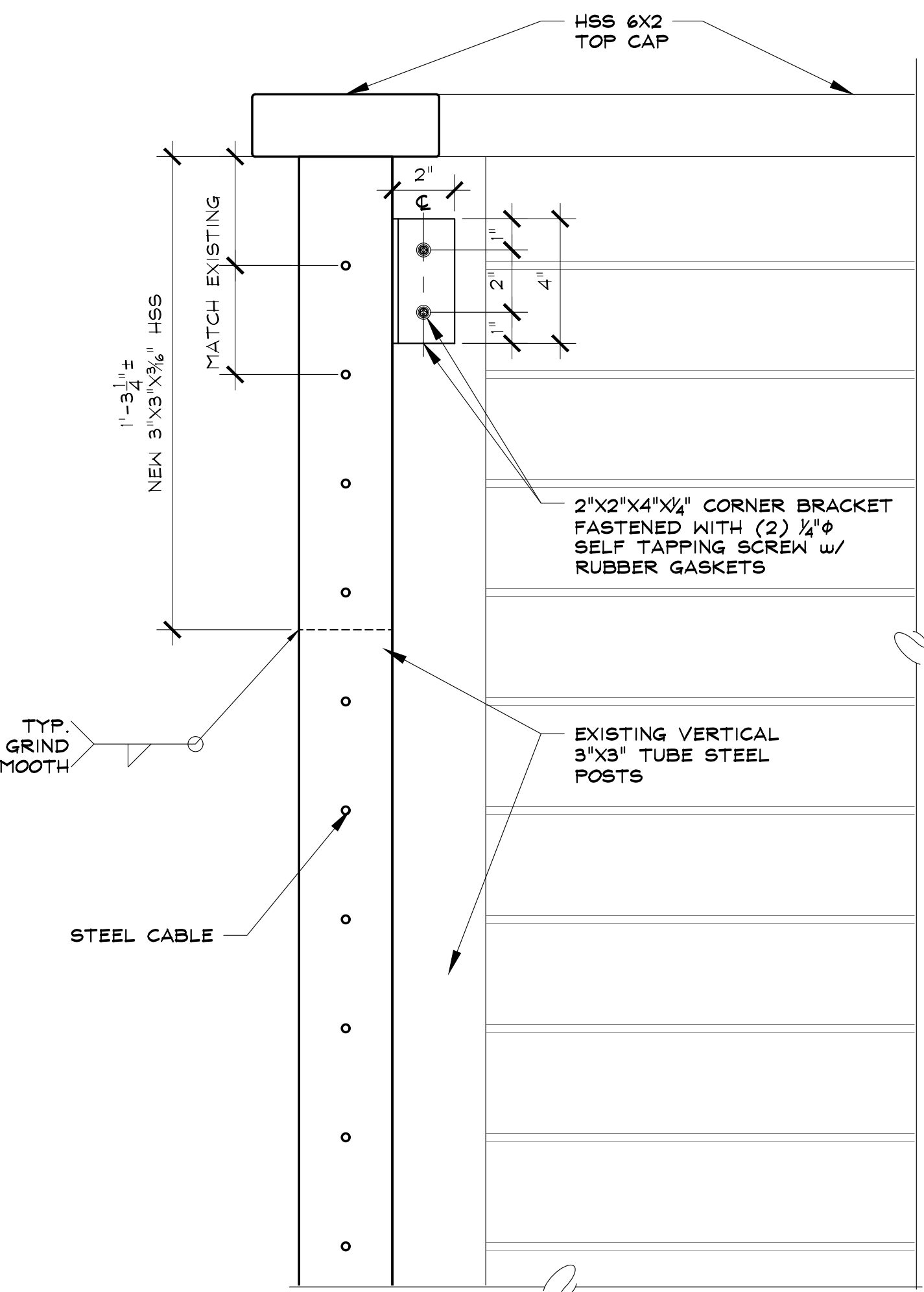
GUARDRAIL REPAIR SCOPE OF WORK

1. CUT OFF CAP & ADD APPROXIMATELY 15" HSS 3X3X $\frac{3}{8}$ " EXTENSION TO ACHIEVE A GUARDRAIL HEIGHT OF 42" OFF DECKING - WELD ALL AROUND
2. DRILL EXISTING GUARDRAIL PLATES TO $\frac{1}{4}$ " ϕ FOR NEW $\frac{3}{8}$ " ϕ LAGS
3. NO FIELD WELDING OF RAILING AFTER POWDER COAT IS APPLIED.
4. NO DRILLING/REAMING OF CABLE HOLES AFTER POWDER COAT PAINT.
5. DRILL $\frac{1}{4}$ " ϕ DRAIN HOLE IN BOTTOM CAPS OF EACH VERTICAL TUBE STEEL BEFORE FINISHING.
6. ALL CABLE FERRULES TO HAVE STAINLESS STEEL WASHERS, HEX NUT AND ACORN NUT AT TERMINATION.
7. NO EXPOSED FERRULE THREADS, BETWEEN HEX NUT AND ACORN NUT.
8. ALL TUBE STEEL EXTENSIONS TO BE WELDED ALL AROUND AND GROUND SMOOTH. METAL FINISH WITH 100 GRIT. METAL FINISH GRAIN TO BE ALONG AXIS OF TUBE STEEL.
9. PLUG WELD BOTTOM (2) OR (3) CABLE RAIL HOLES IN POSTS AND GRIND SMOOTH BEFORE FINISHING. VERIFY AND COORDINATE W/ EXISTING CONDITIONS
10. RAILING ASSEMBLY TO BE SAND BLASTED PRIOR TO APPLICATION OF POWDER COATING.



4 HANDRAIL SPECS

SCALE: 3"=1'-0"



3 HANDRAIL SPECS

SCALE: 3"=1'-0"

SLOPE OF TAPER		
UNIT	APPROXIMATE SLOPE	
14	.5/12	
13	.66/12	
12	.5/12	
11	.54/12	
10	.66/12	
9	.66/12	
8	.66/12	

NOTE:
FIELD VERIFY ALL MEASUREMENTS

RE-INSTALL POWDER COATED STEEL GUARDRAIL MIN. 42" ABOVE DECK SURFACE

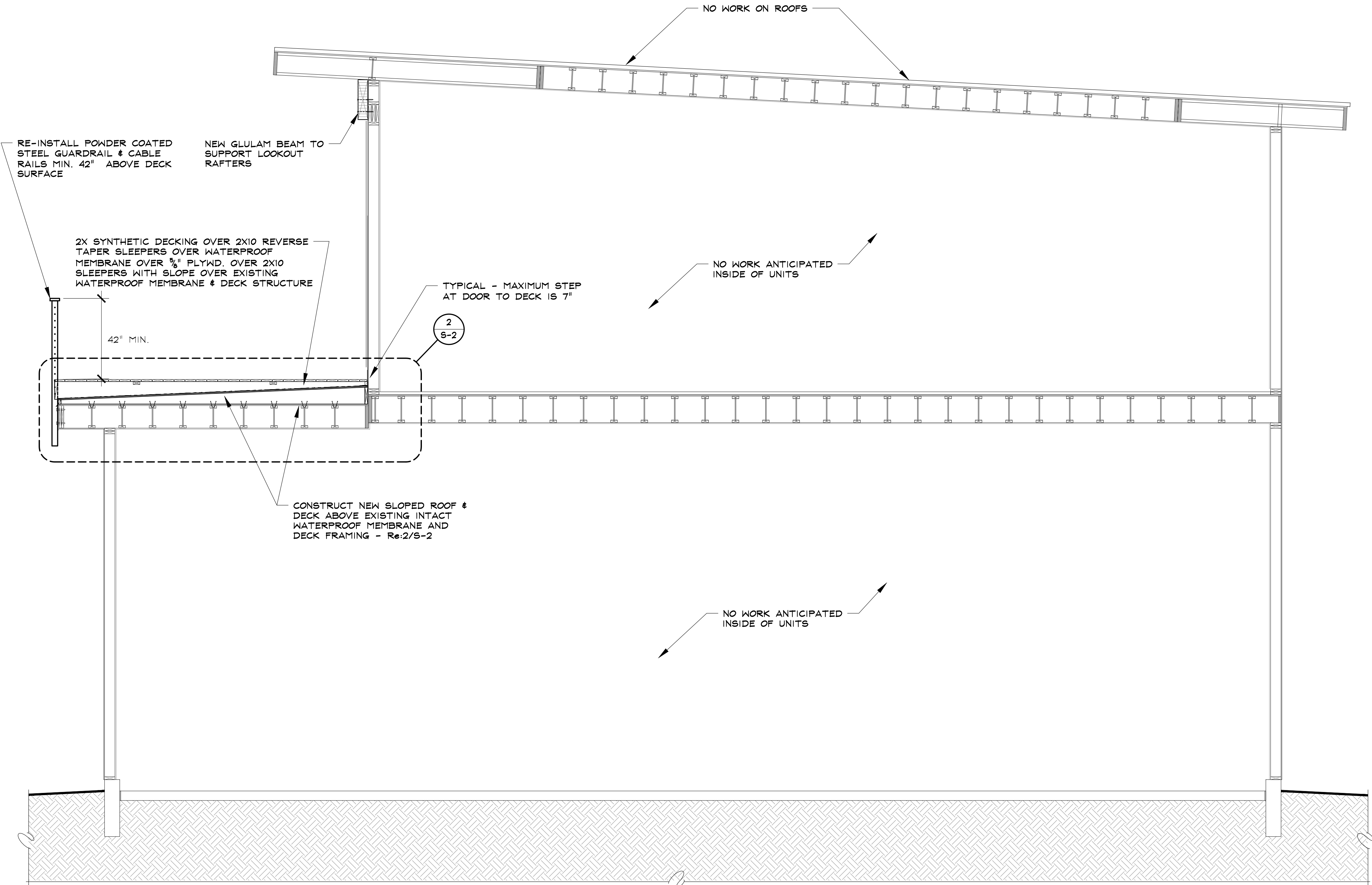
TYPICAL - 2X10 SUBFASCIA FLUSH TO INSIDE OF GUARDRAIL POSTS - FASTEN TO SLEEPERS W/ (3) 16d END NAILS

TYPICAL - THIS END OF RAFTER IS 2 $\frac{1}{2}$ " TALL - ADD BEVELED FULL HEIGHT 2X BLOCKING

RE-ATTACH GUARD RAIL W/ (4) $\frac{3}{8}$ " ϕ LAG BOLTS - EXISTING PLATES TO BE DRILLED TO $\frac{1}{4}$ " ϕ HOLES FOR LARGER BOLTS (CONFIRM MIN. (2) LVL RIM)

2 CONCEPTUAL BUILDING REPAIR SECTION DETAIL

SCALE: $\frac{3}{4}$ "=1'-0"



1 CONCEPTUAL BUILDING REPAIR SECTION

SCALE: $\frac{3}{8}$ "=1'-0"



SEAD

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ROOF & DECK REPAIR - BUILDING 4

1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR & RENOVATION FOR:
RIVERFRONT PARK HOMEOWNERS ASSOCIATION

ISSUE DATES

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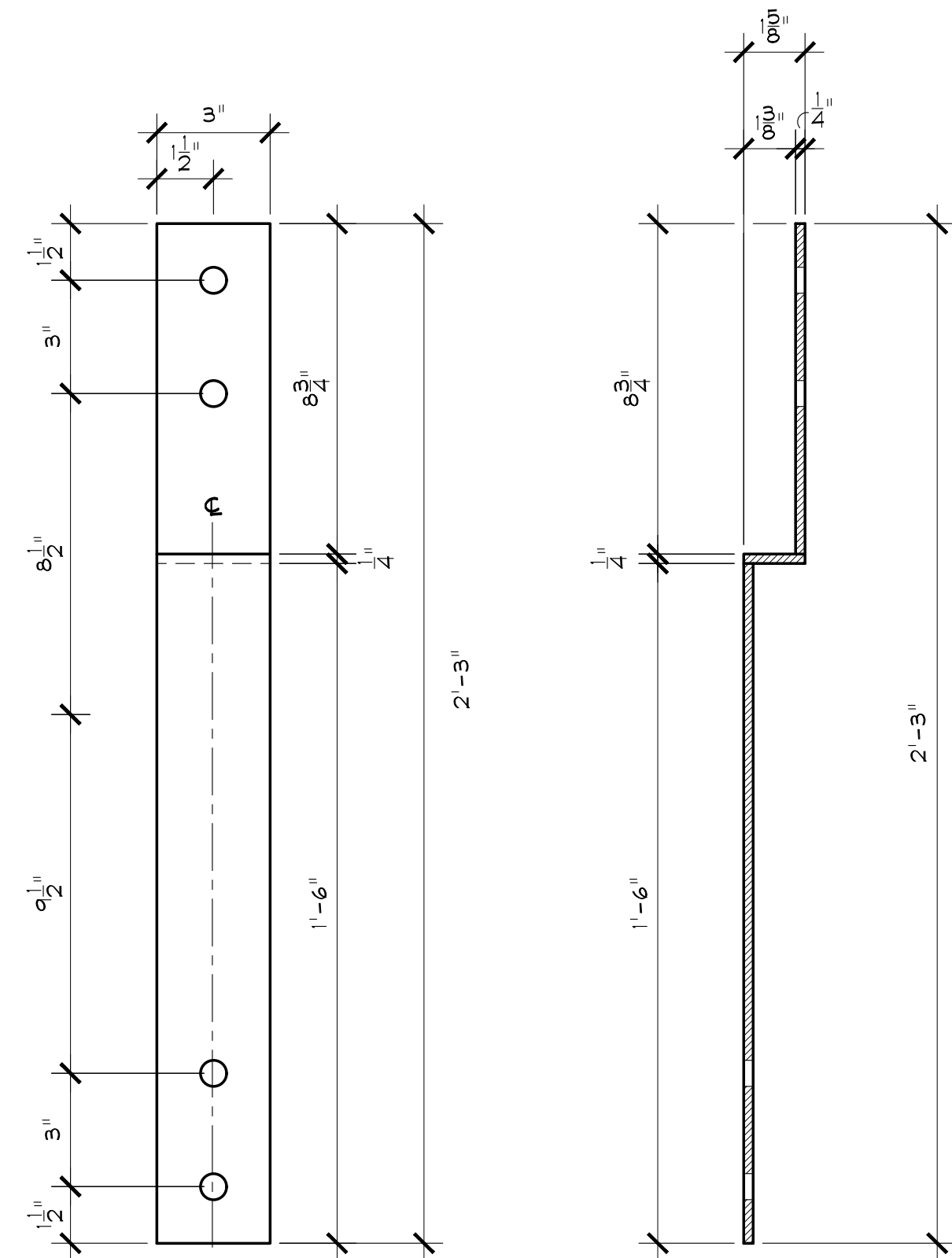
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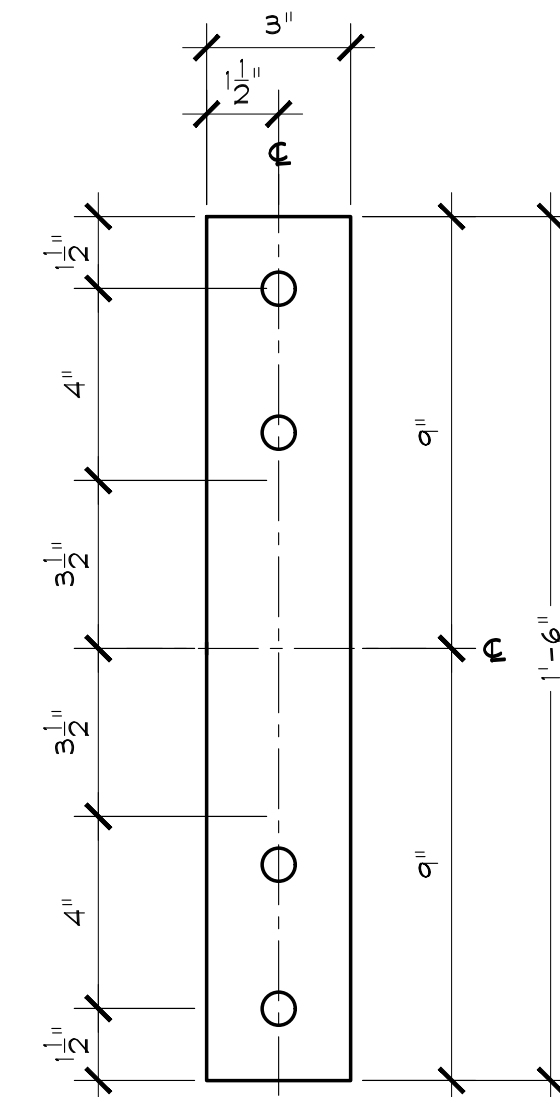
SECTION
THROUGH DECK

S - 2

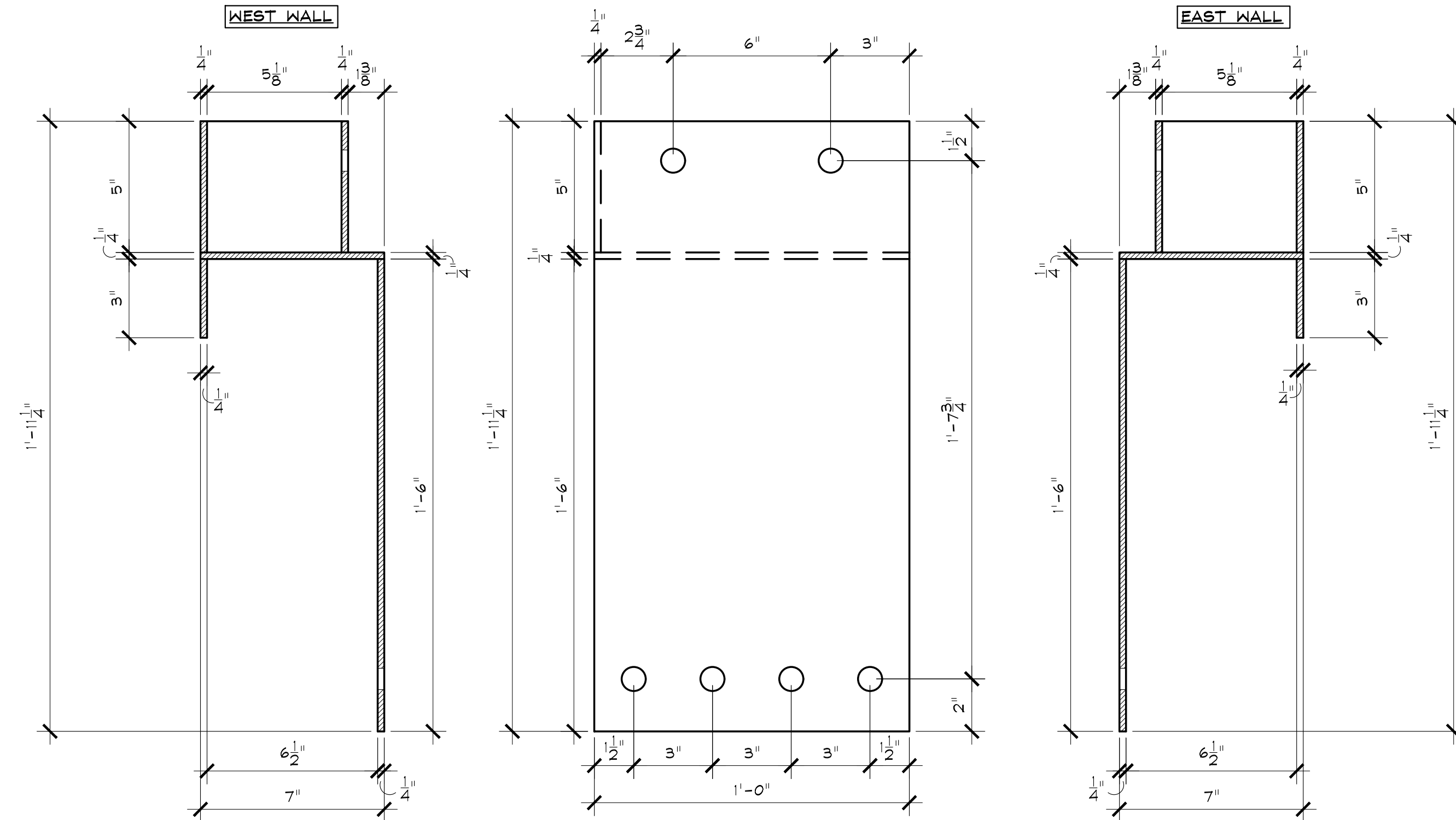
SHEET 3 of 10



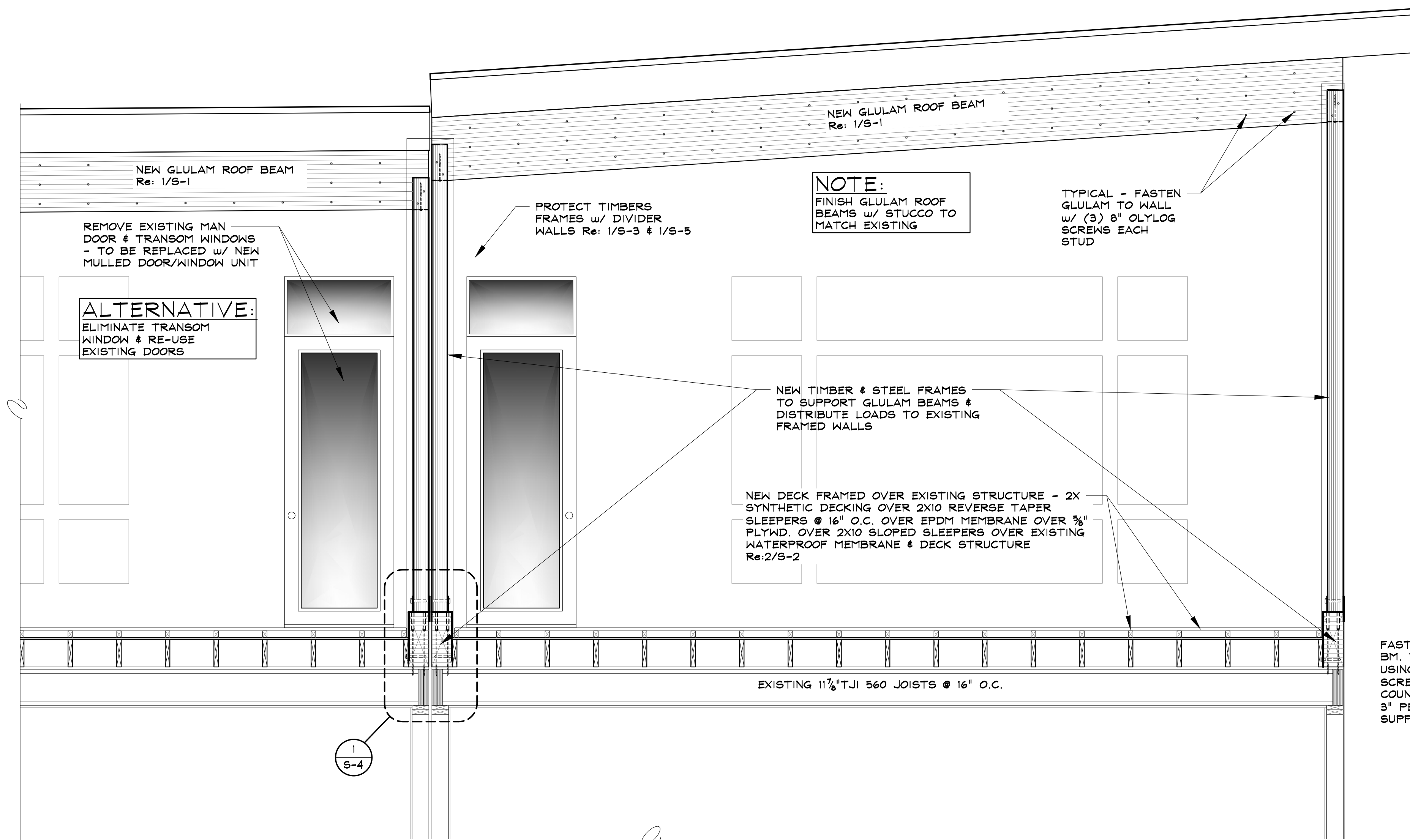
5 STEEL P 'SP2'
 1/4" PLATE
 PROVIDE (4) 3/8" Ø HOLES FOR 3/4" Ø LAGS
 (7) EACH
 SCALE: 3" = 1'-0"



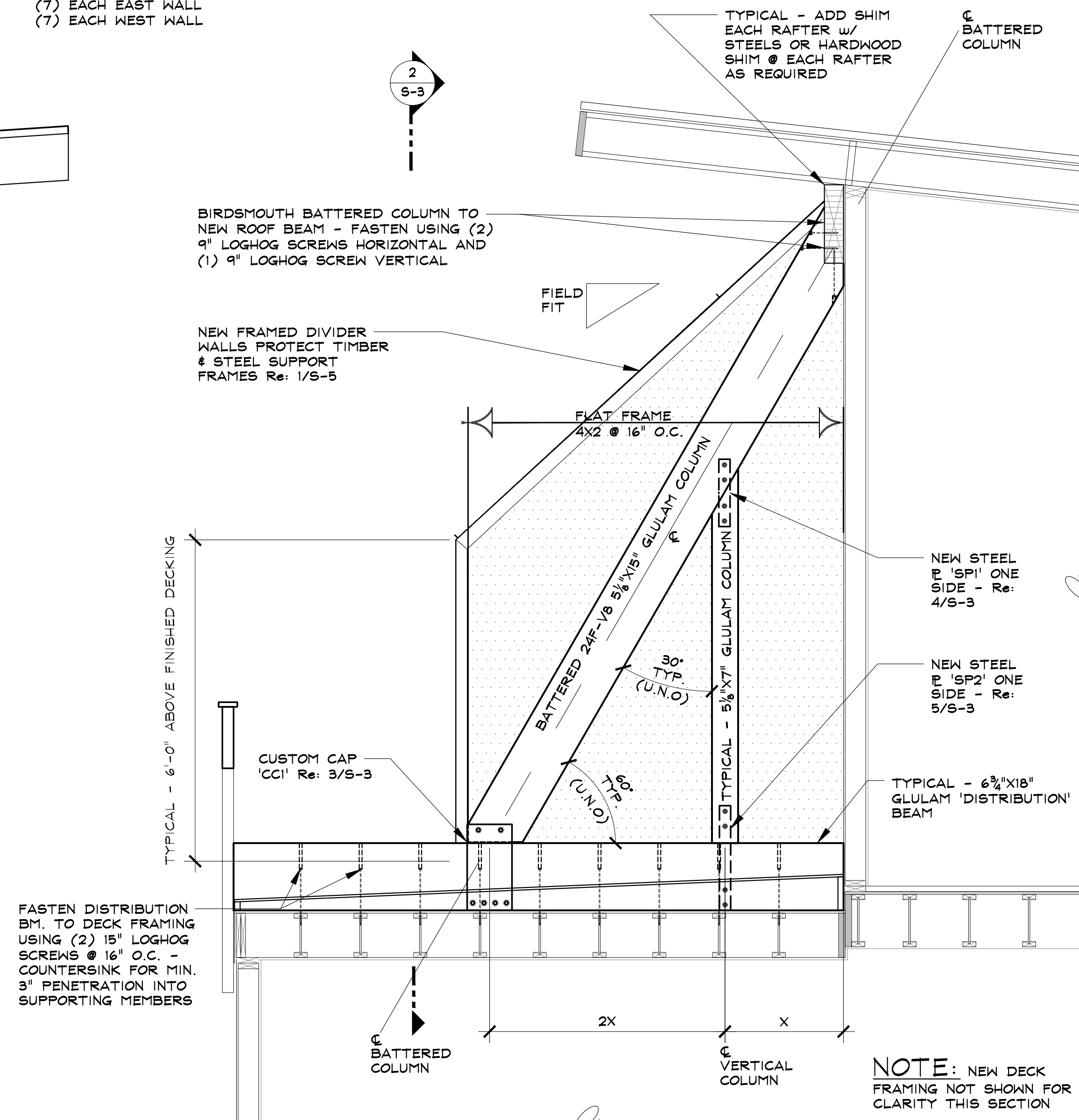
4 STEEL P 'SP1'
 1/4" PLATE
 PROVIDE (4) 3/8" Ø HOLES FOR 3/4" Ø LAGS
 (7) EACH
 SCALE: 3" = 1'-0"



3 CUSTOM STEEL CAP 'CCI'
 FABRICATE WITH 1/4" PLATE
 PROVIDE (6) 3/8" Ø THRU HOLES FOR 3/4" Ø LAGS
 PROVIDE FULLY WELDED SEAMS
 (7) EACH EAST WALL
 (7) EACH WEST WALL
 SCALE: 3" = 1'-0"



2 TYPICAL SOUTH WALL ELEVATION/SECTION
 SCALE: 1/2" = 1'-0"



1 TYPICAL END WALL SECTION
 NOTE: ALL BATTERED GLULAM COLUMNS SHALL BE STRESSED GRADE 24F-V8
 SCALE: 1/2" = 1'-0"

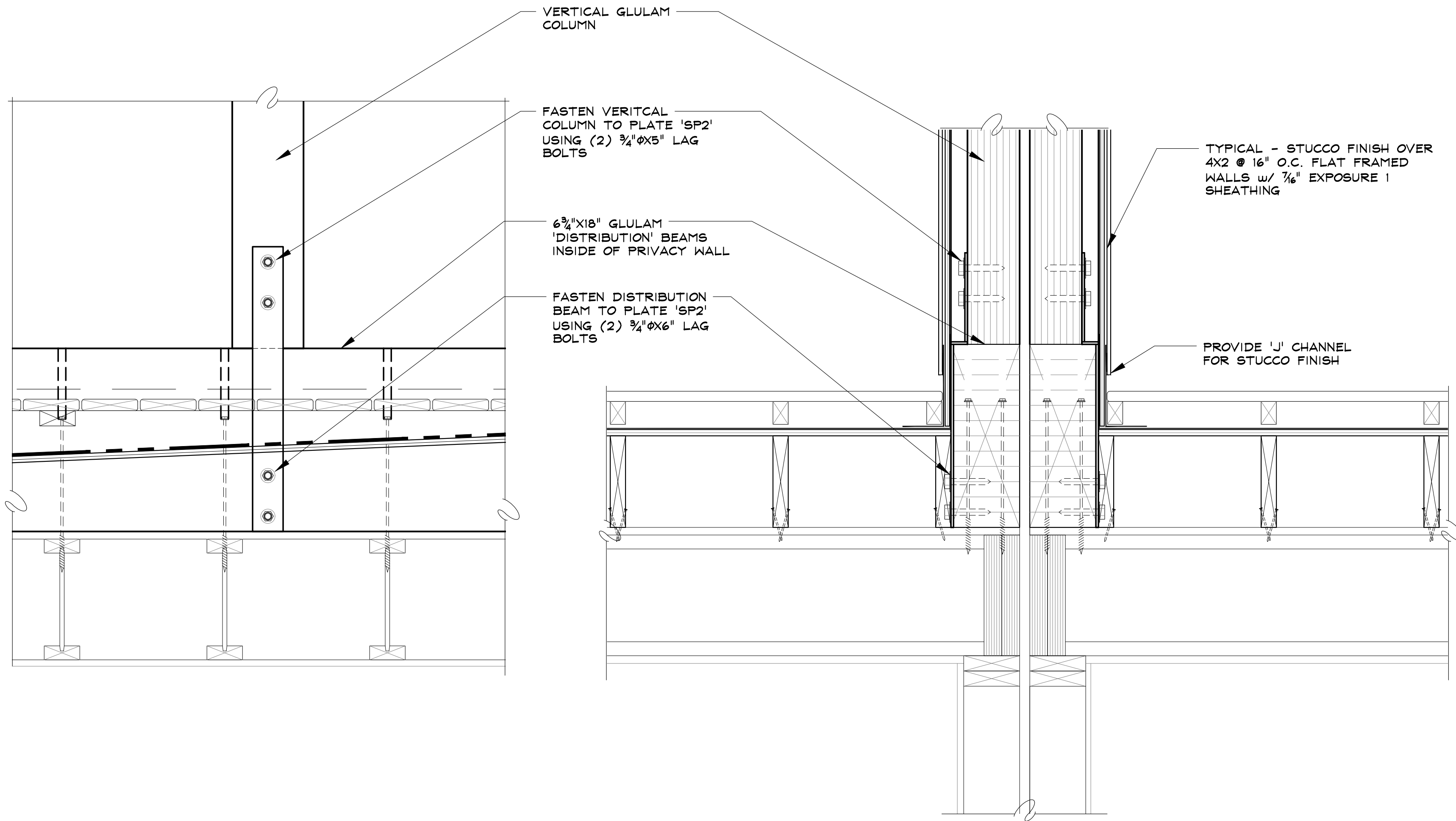


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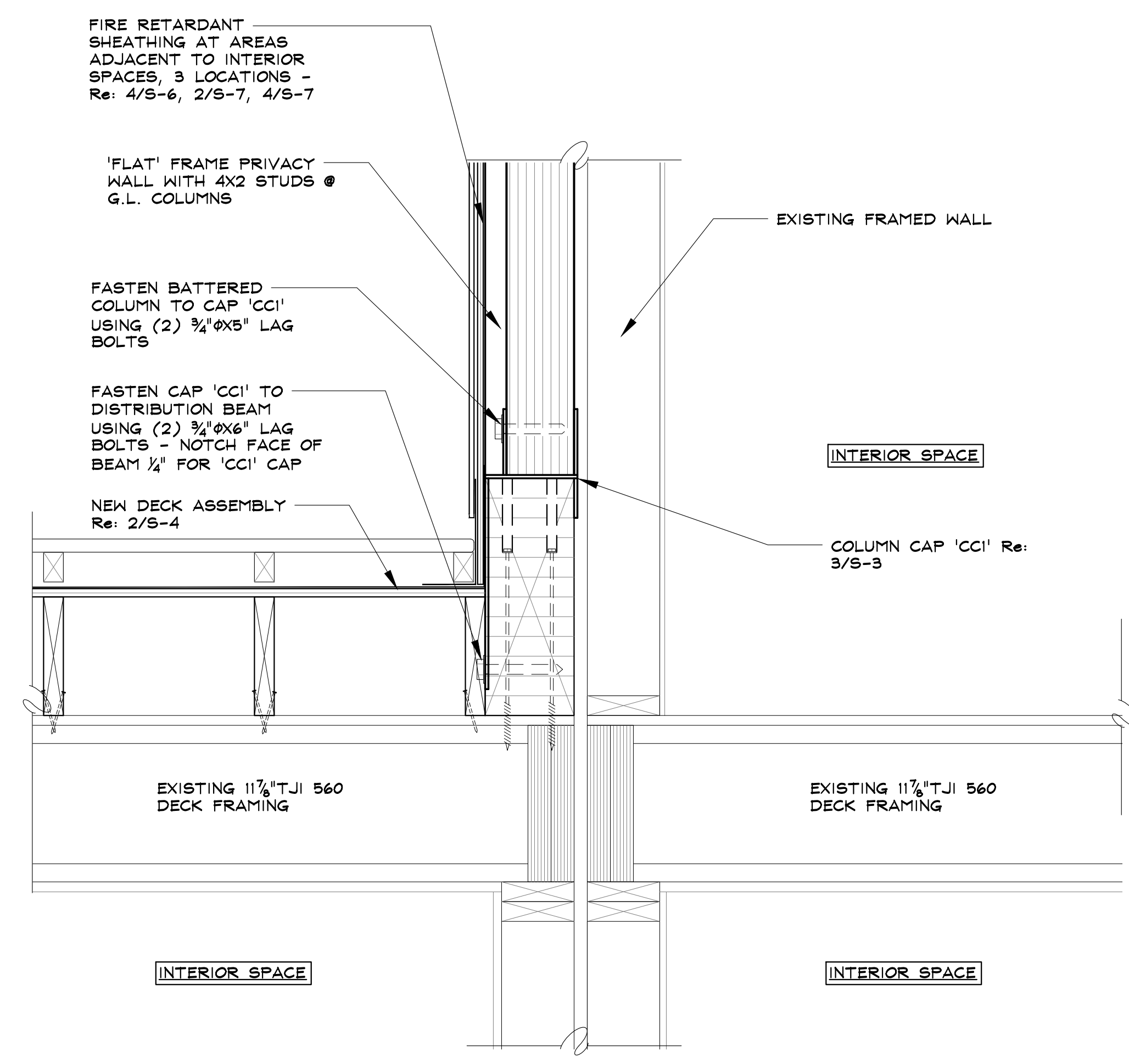
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 SECTIONS
 THROUGH
 PRIVACY WALL
S - 3
 SHEET 4 of 10



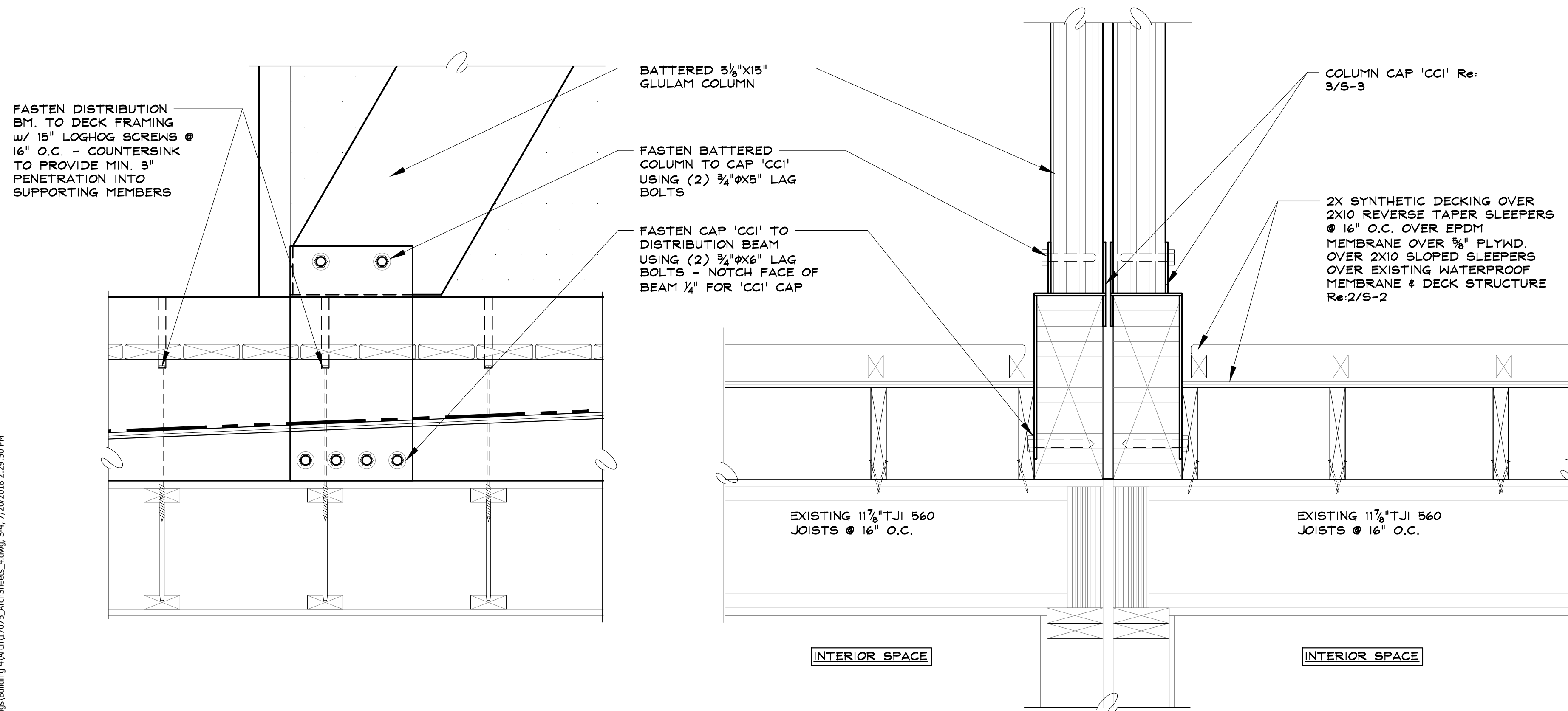
3 VERTICAL COLUMN TO DISTRIBUTION BEAM CONNECTION

SCALE: 1 1/2" = 1'-0"



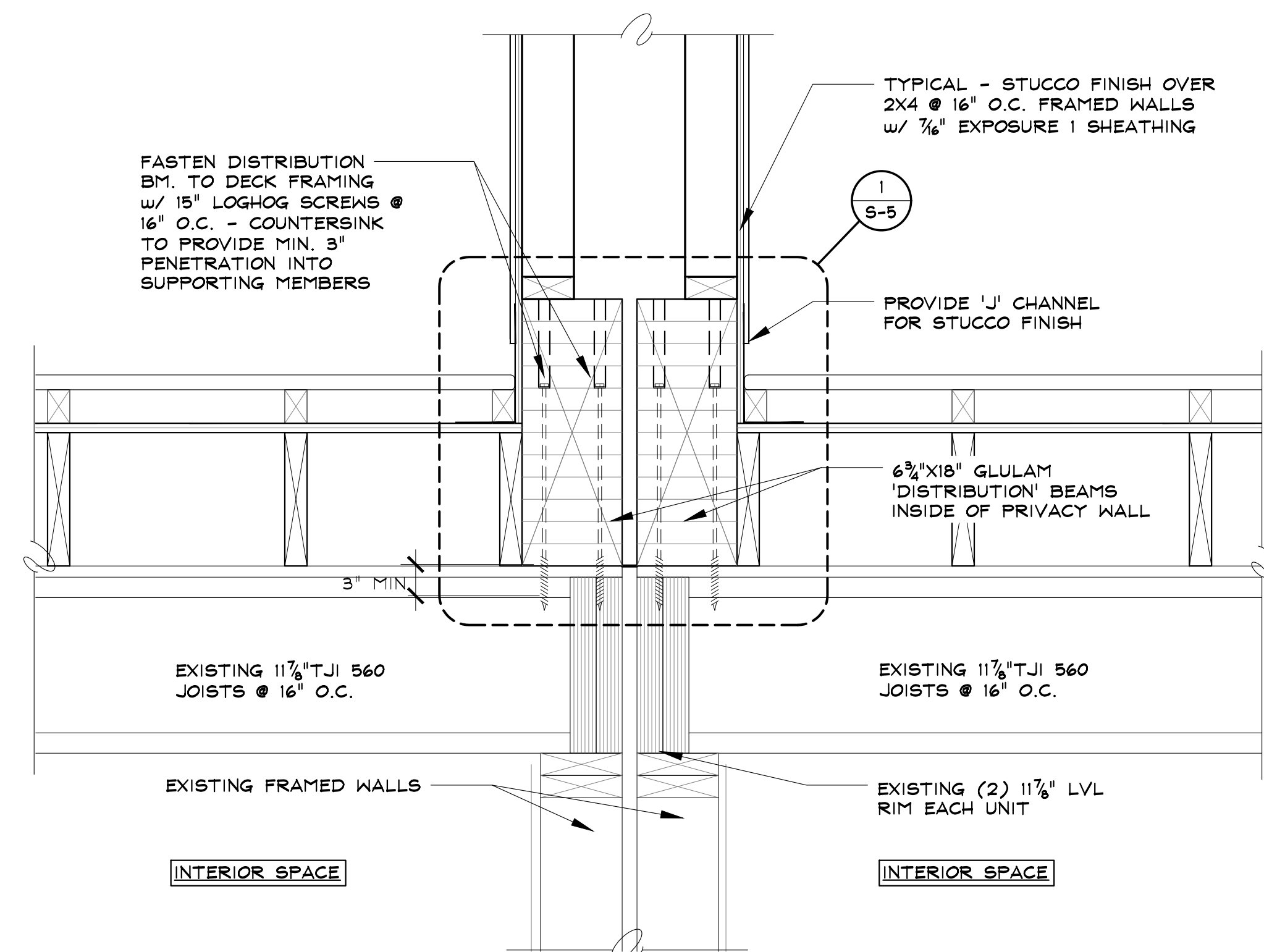
4 BATTERED COLUMN TO DISTRIBUTION BEAM @ EXISTING WALL

SCALE: 1 1/2" = 1'-0"



2 BATTERED COLUMN TO DISTRIBUTION BEAM CONNECTION

SCALE: 1 1/2" = 1'-0"



1 DISTRIBUTION BEAM TO DECK FRAMING

SCALE: 1 1/2" = 1'-0"



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ROOF & DECK REPAIR - BUILDING 4

1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR & RENOVATION FOR:
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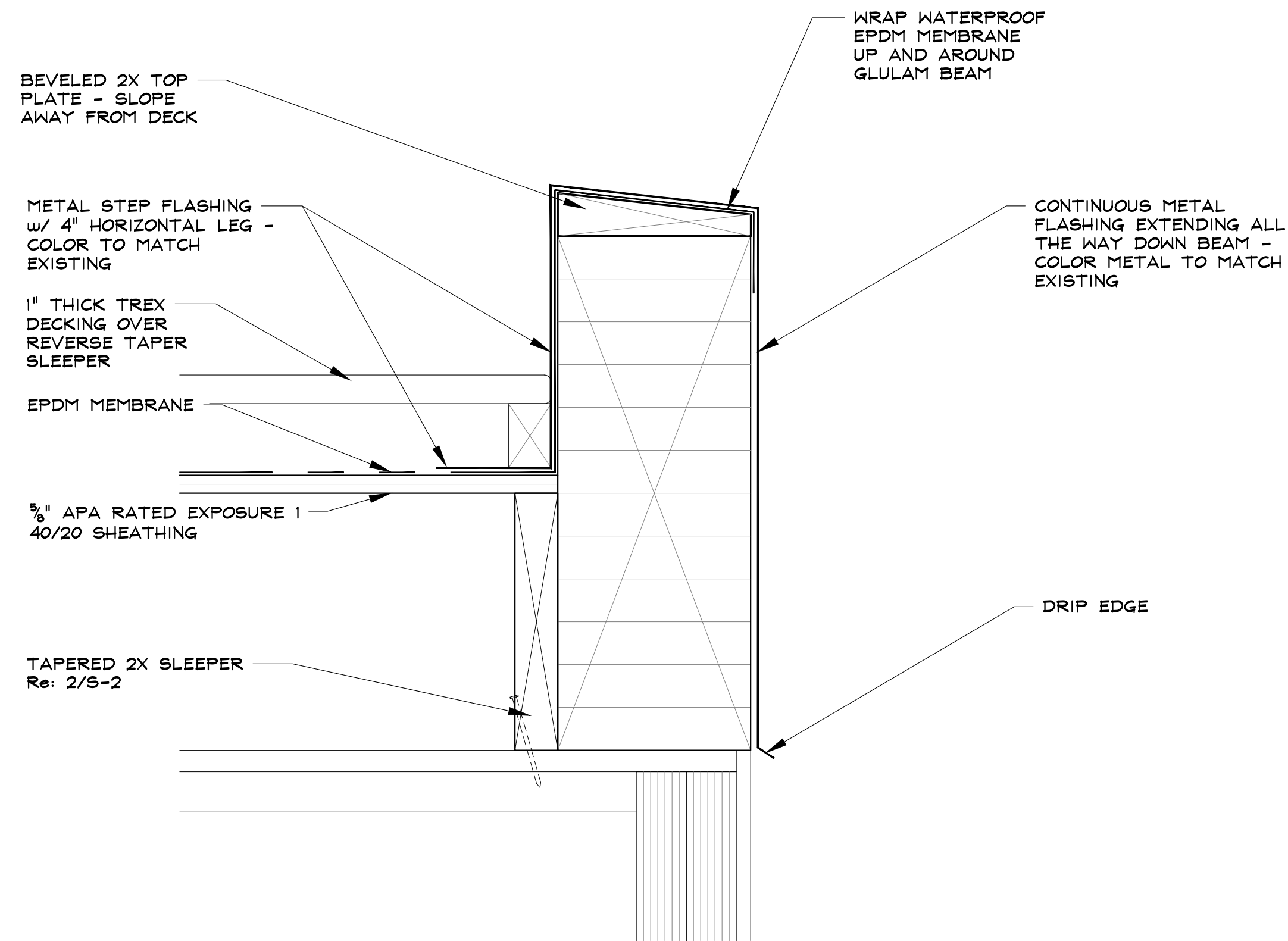
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CONNECTION
DETAILS

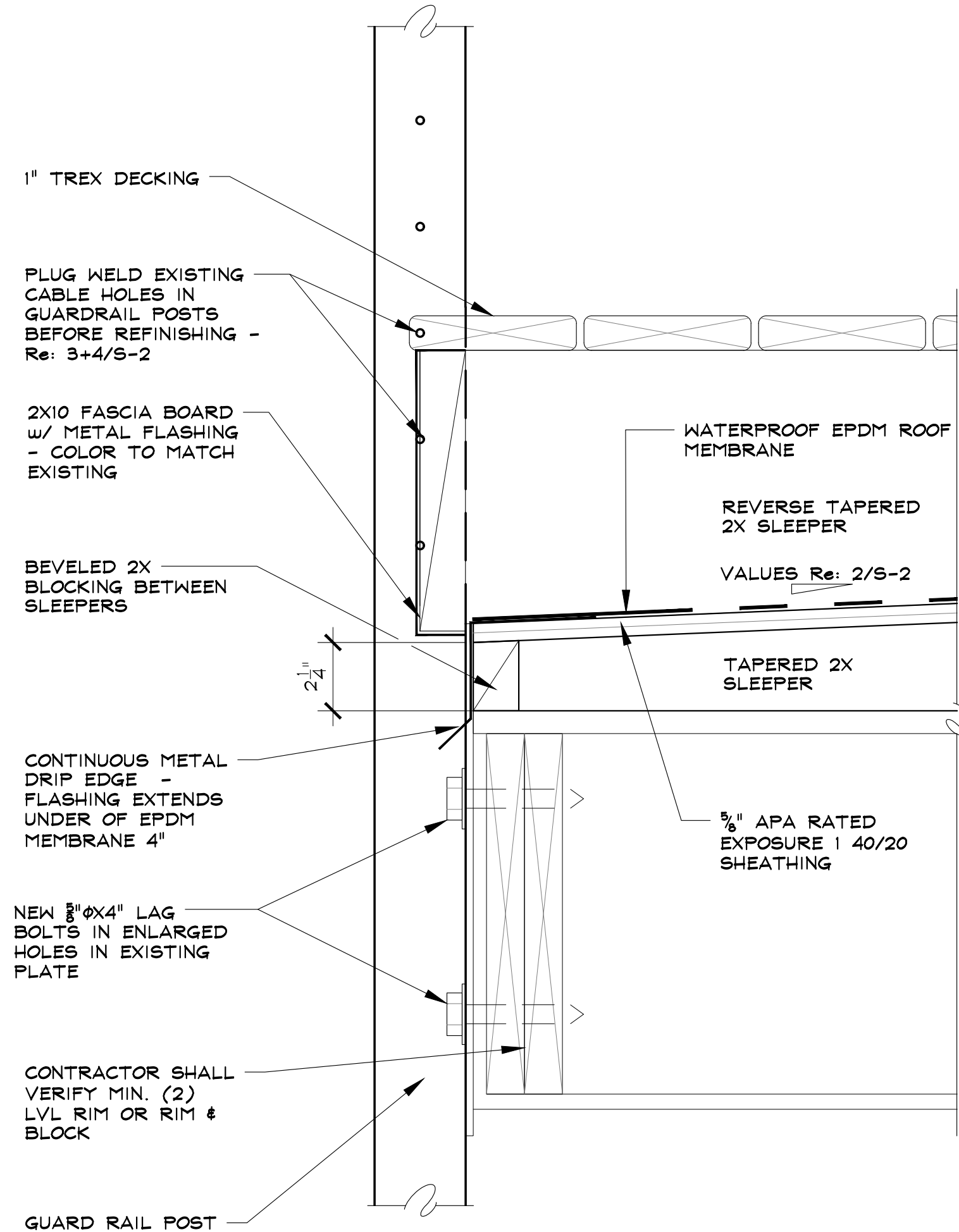
S - 4

SHEET 5 of 10

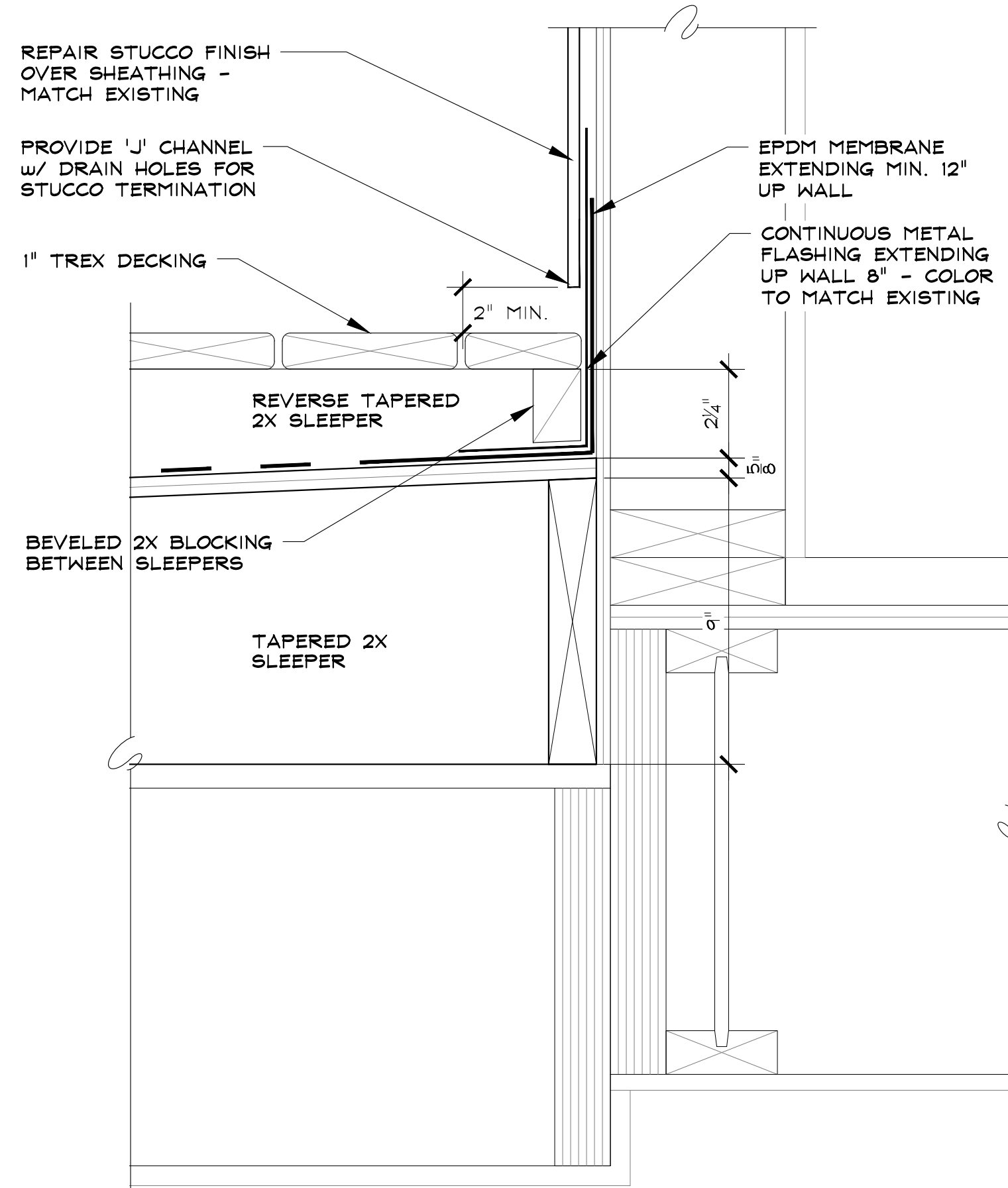
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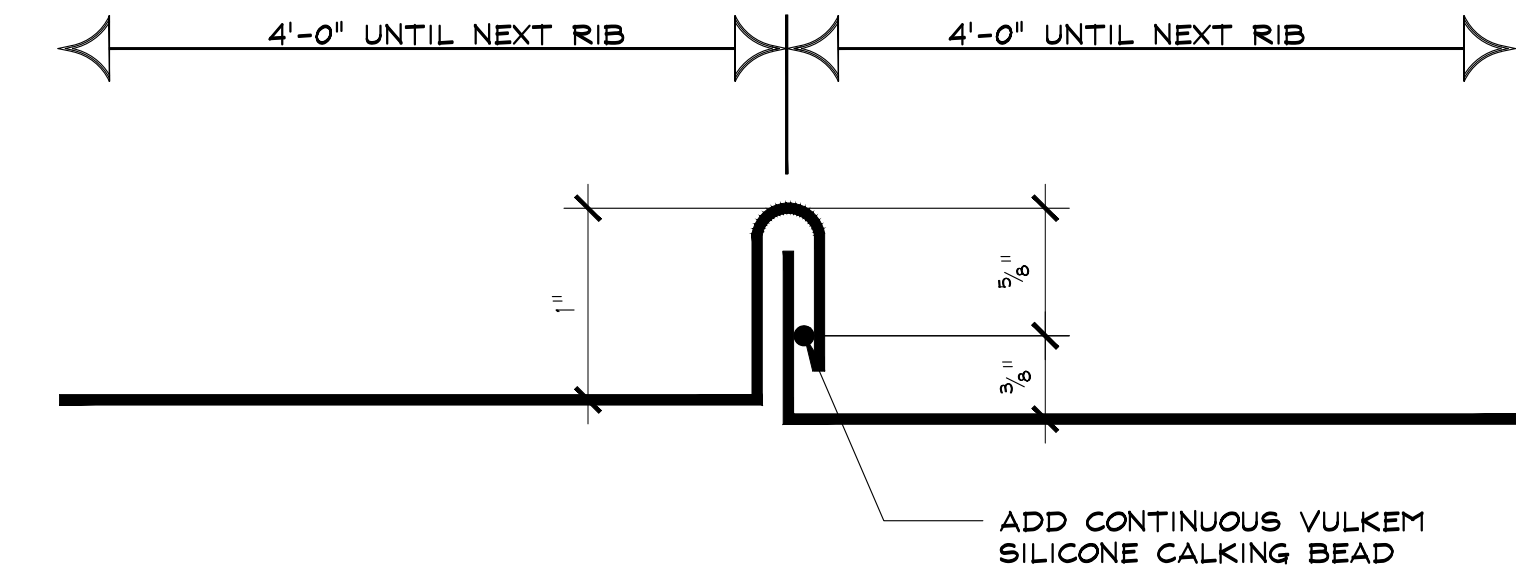
4 WATERPROOFING AT EXPOSED BM. BEYOND DIVIDER WALL
EXPLODED VIEW SCALE: 3" = 1'-0"



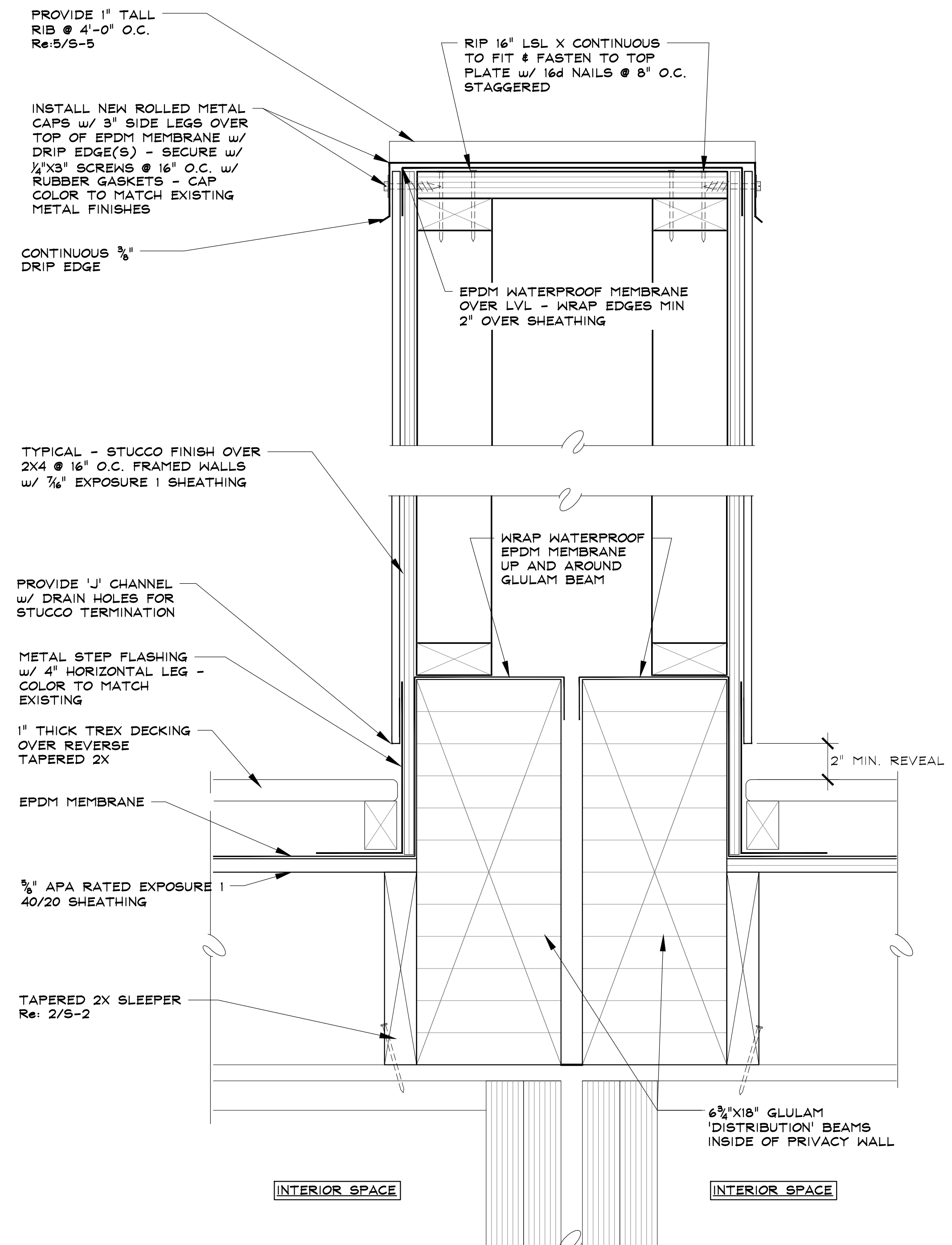
3 SOUTH END OF ROOF DECK
EXPLODED VIEW SCALE: 3" = 1'-0"



2 NORTH END OF ROOF DECK
EXPLODED VIEW SCALE: 3" = 1'-0"



5 METAL CAP RIB
EXPLODED VIEW SCALE: 1'-0" = 1'-0"



1 FLASHING DETAIL - TYPICAL AT DIVIDER WALL
EXPLODED VIEW SCALE: 3" = 1'-0"



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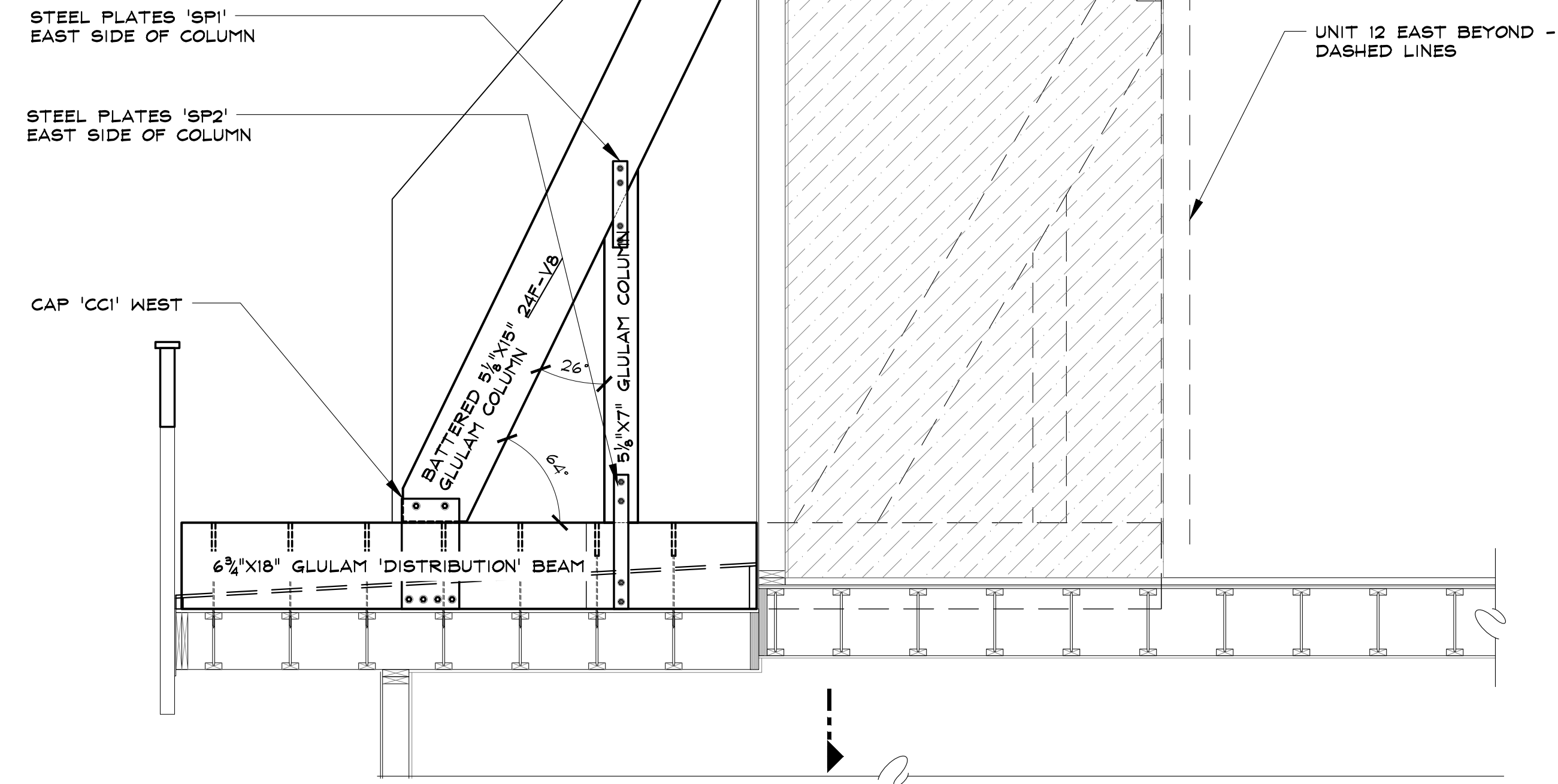
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FLASHING /
WATERPROOFING
DETAILS

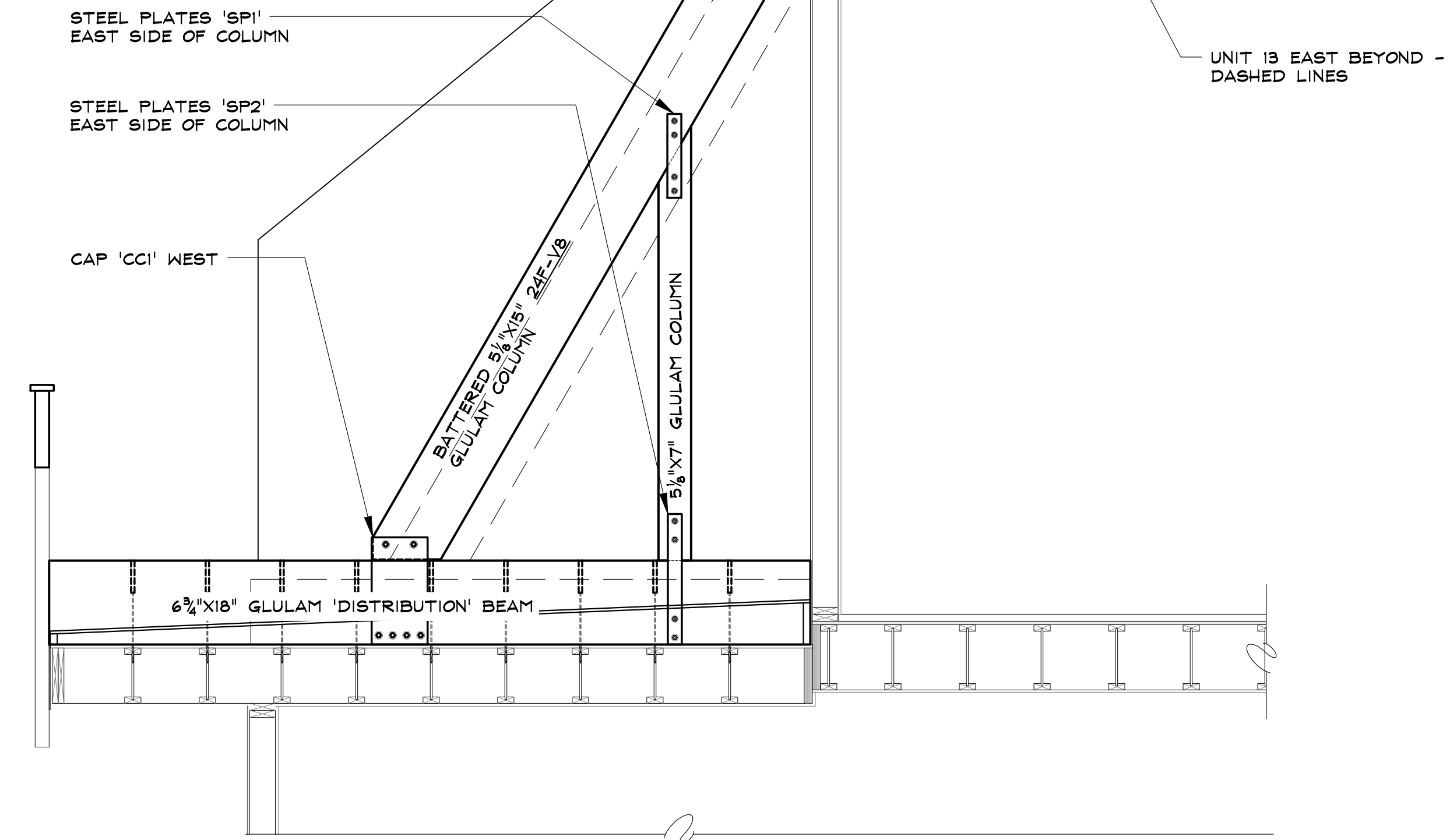
S - 5
SHEET 6 of 10

NOTE:
ADJUST ANGLE OF
BATTERED COLUMN TO
STAY BEHIND EXISTING
GUARD RAIL @ UNIT 12
EAST



4 UNIT 13 WEST END WALL SECTION
Re: 1/S-3 FOR TYPICAL NOTES

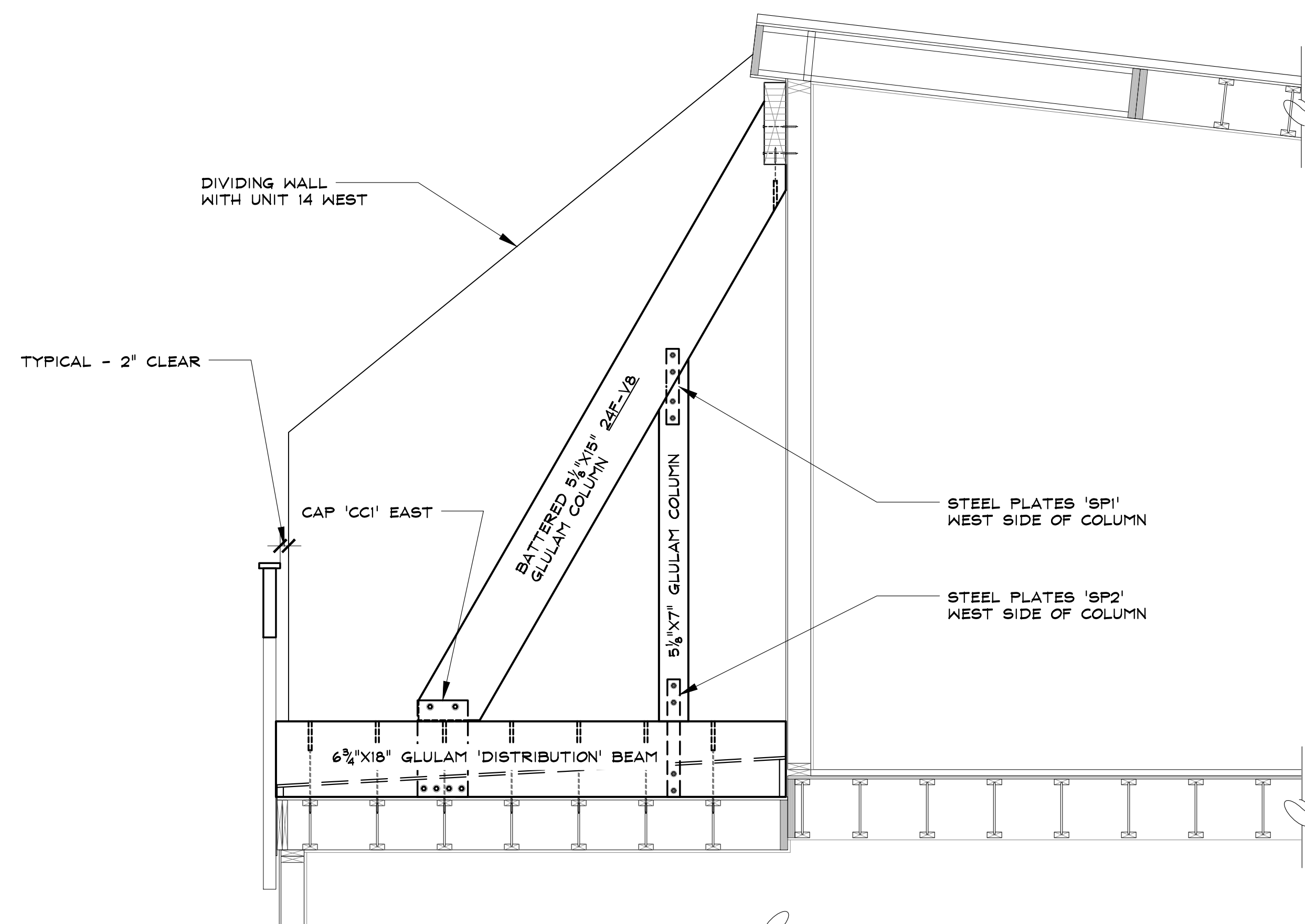
SCALE: 1/2" = 1'-0"



2 UNIT 14 WEST END WALL SECTION
Re: 1/S-3 FOR TYPICAL NOTES

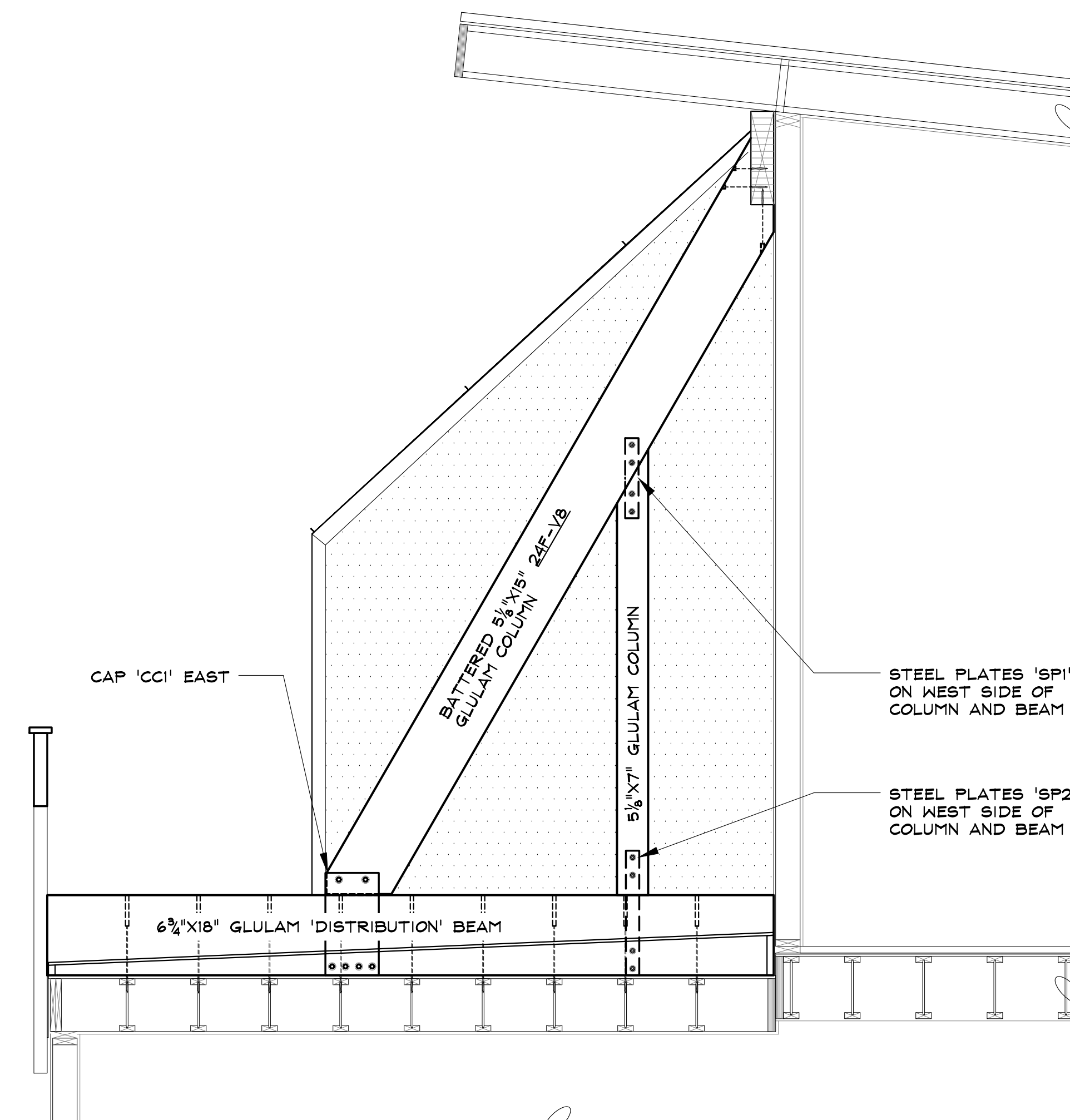
SCALE: 1/2" = 1'-0"

NOTE: NEW DECK
FRAMING NOT SHOWN FOR
CLARITY THESE SECTIONS



3 UNIT 13 EAST END WALL SECTION
Re: 1/S-3 FOR TYPICAL NOTES

SCALE: 1/2" = 1'-0"



1 UNIT 14 EAST END WALL SECTION
Re: 1/S-3 FOR TYPICAL NOTES
DECK/ROOF FRAMING NOT SHOWN FOR CLARITY

SCALE: 1/2" = 1'-0"



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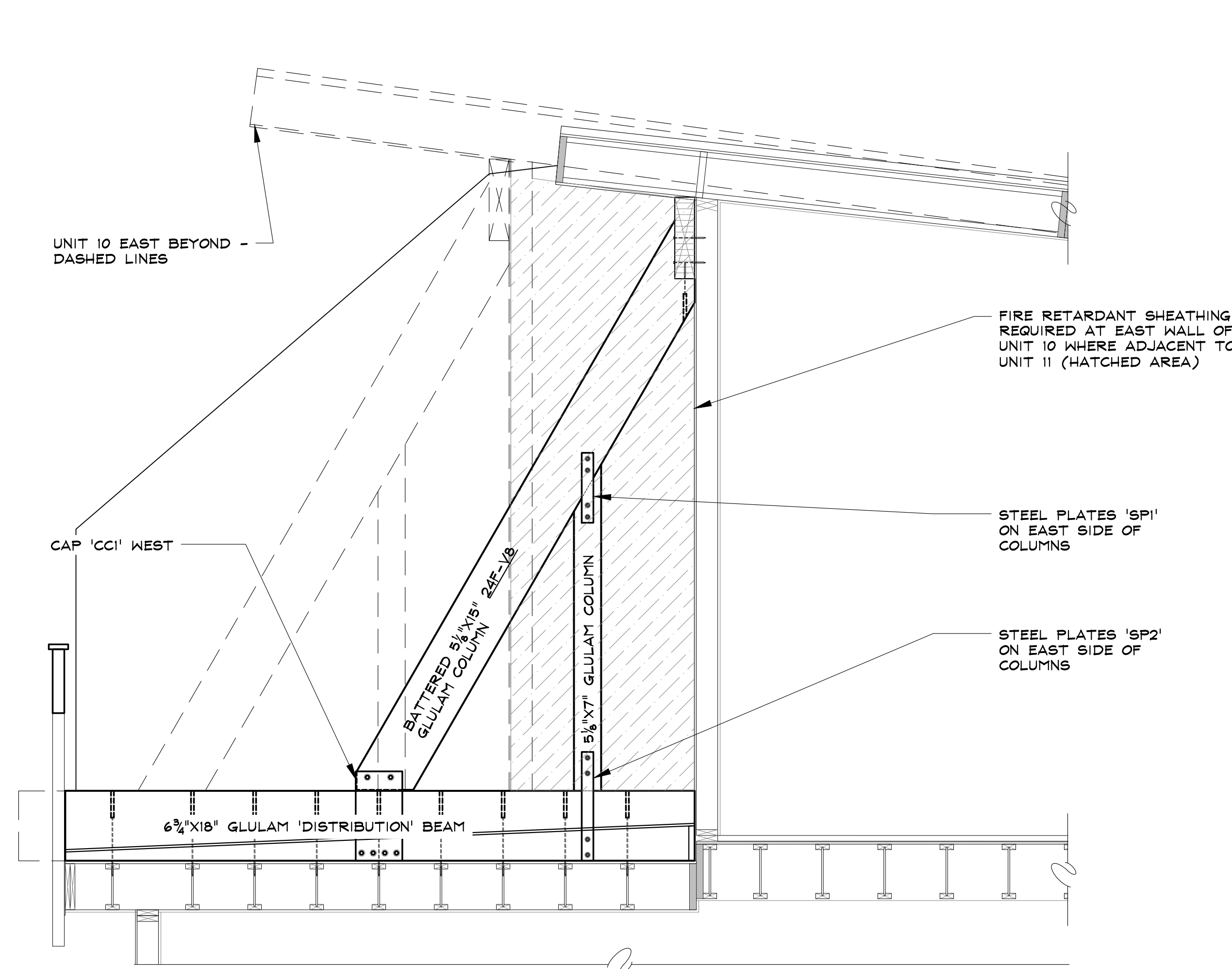
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SECTIONS
THROUGH
PRIVACY WALL
UNITS 14-13

S - 6

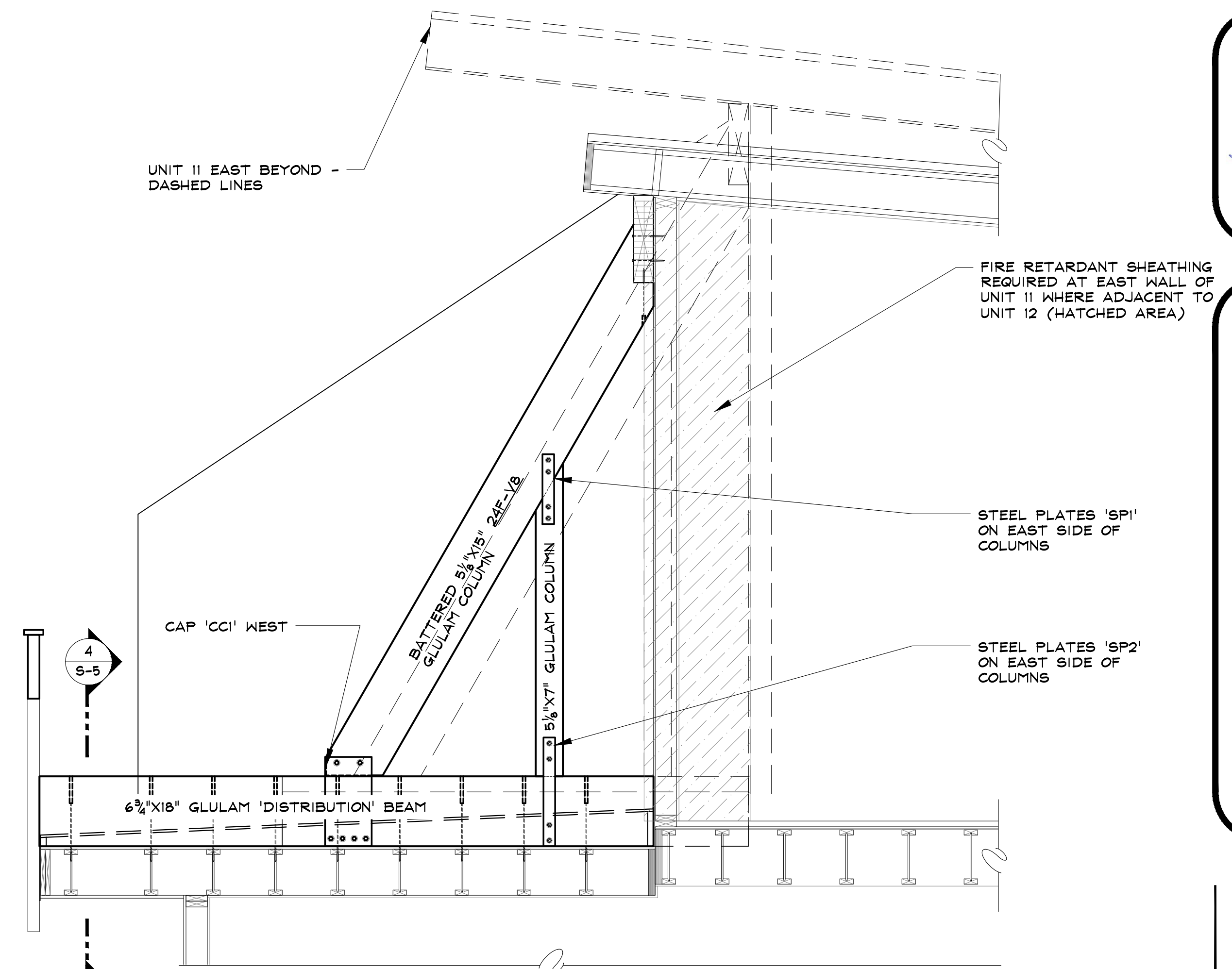
SHEET 7 of 10



4 UNIT 11 WEST END WALL SECTION

Re: 1/S-3 FOR TYPICAL NOTES

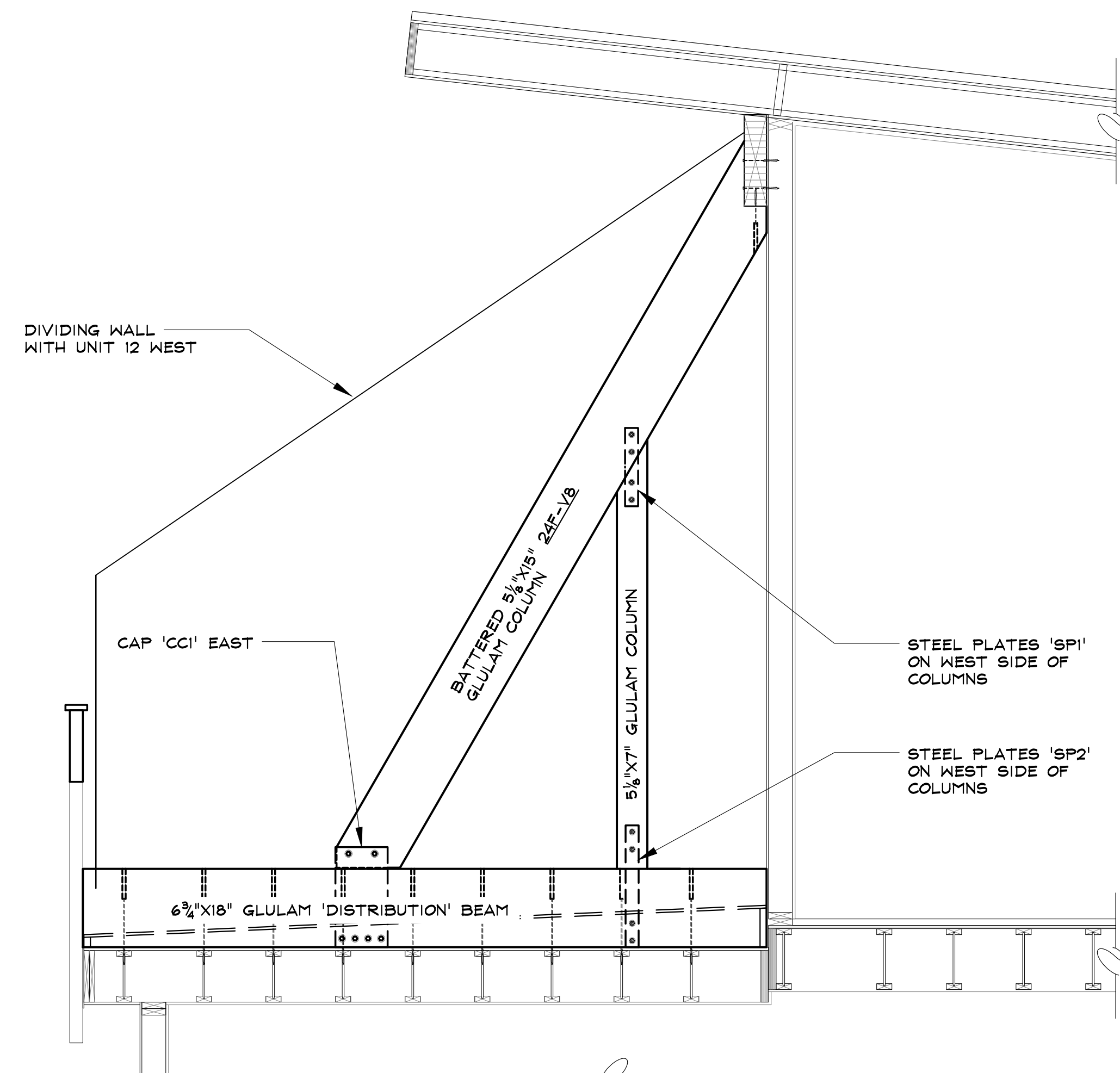
SCALE: $\frac{1}{2}" = 1'-0"$



2 UNIT 12 WEST END WALL SECTION

Re: 1/S-3 FOR TYPICAL NOTES

SCALE: $\frac{1}{2}" = 1'-0"$

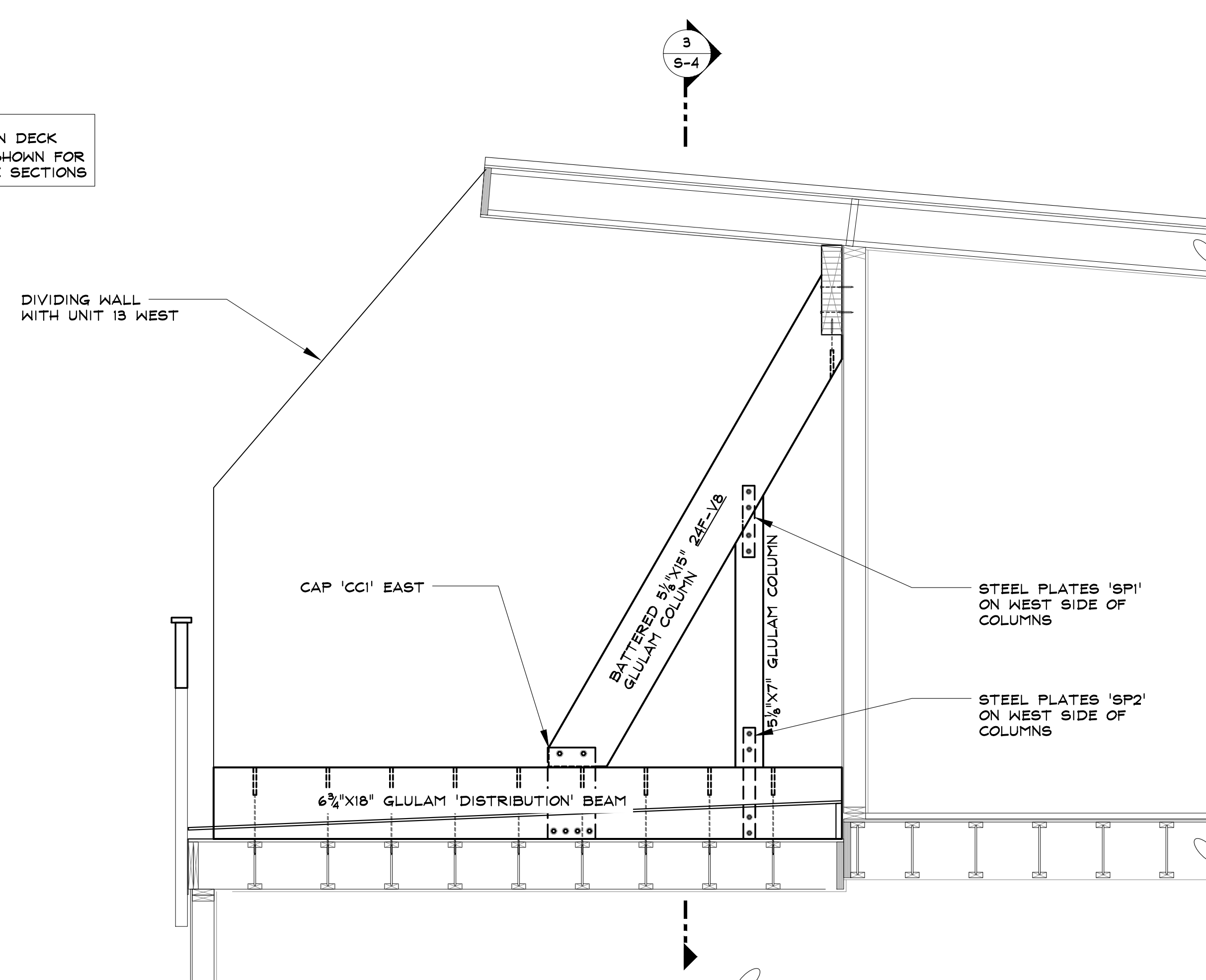


3 UNIT 11 EAST END WALL SECTION

Re: 1/S-3 FOR TYPICAL NOTES

SCALE: $\frac{1}{2}" = 1'-0"$

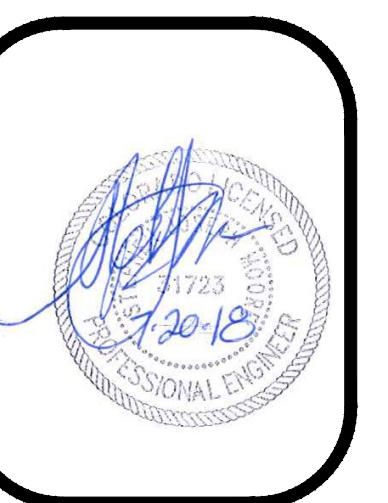
NOTE: NEW DECK FRAMING NOT SHOWN FOR CLARITY THESE SECTIONS



1 UNIT 12 EAST END WALL SECTION

Re: 1/S-3 FOR TYPICAL NOTES

SCALE: $\frac{1}{2}" = 1'-0"$



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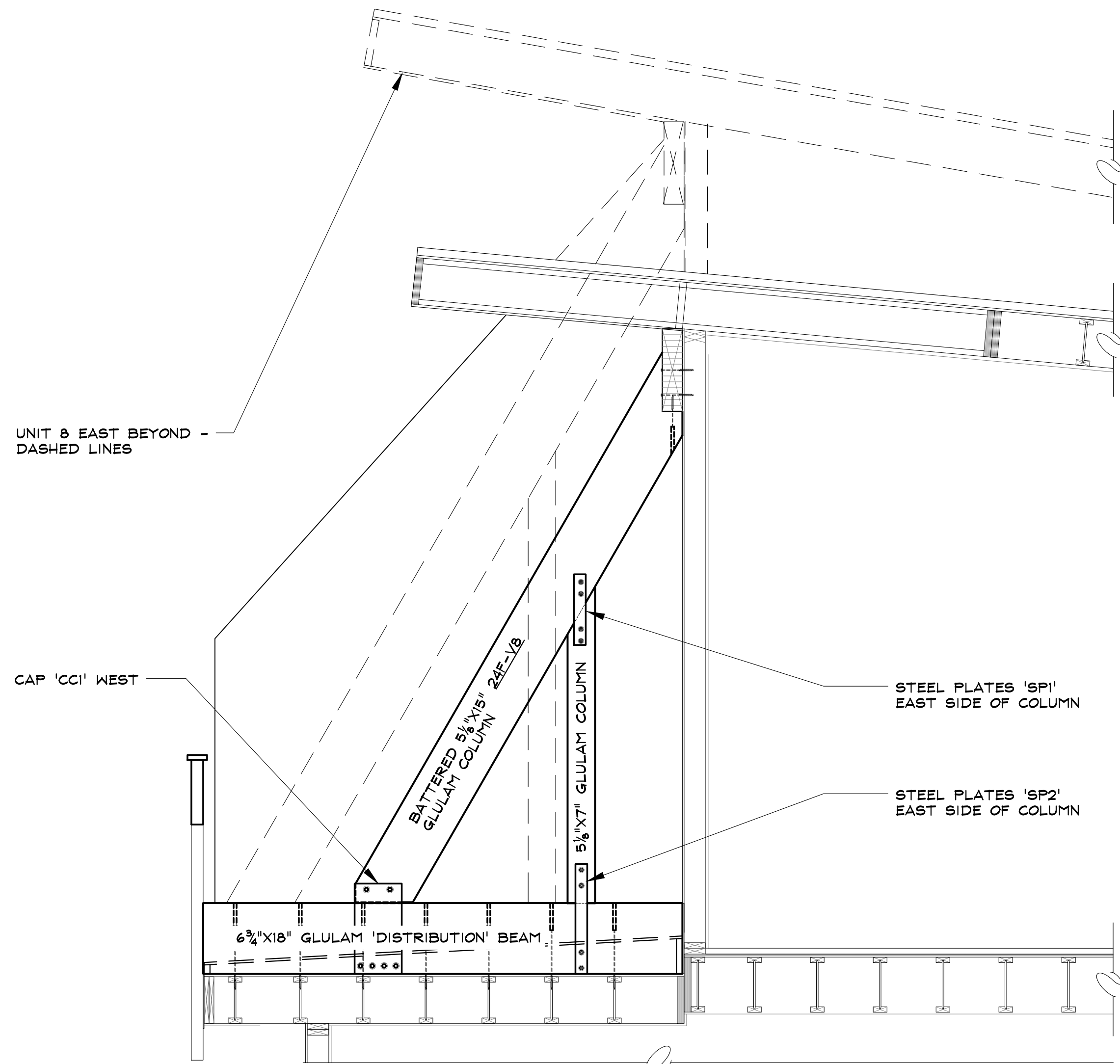
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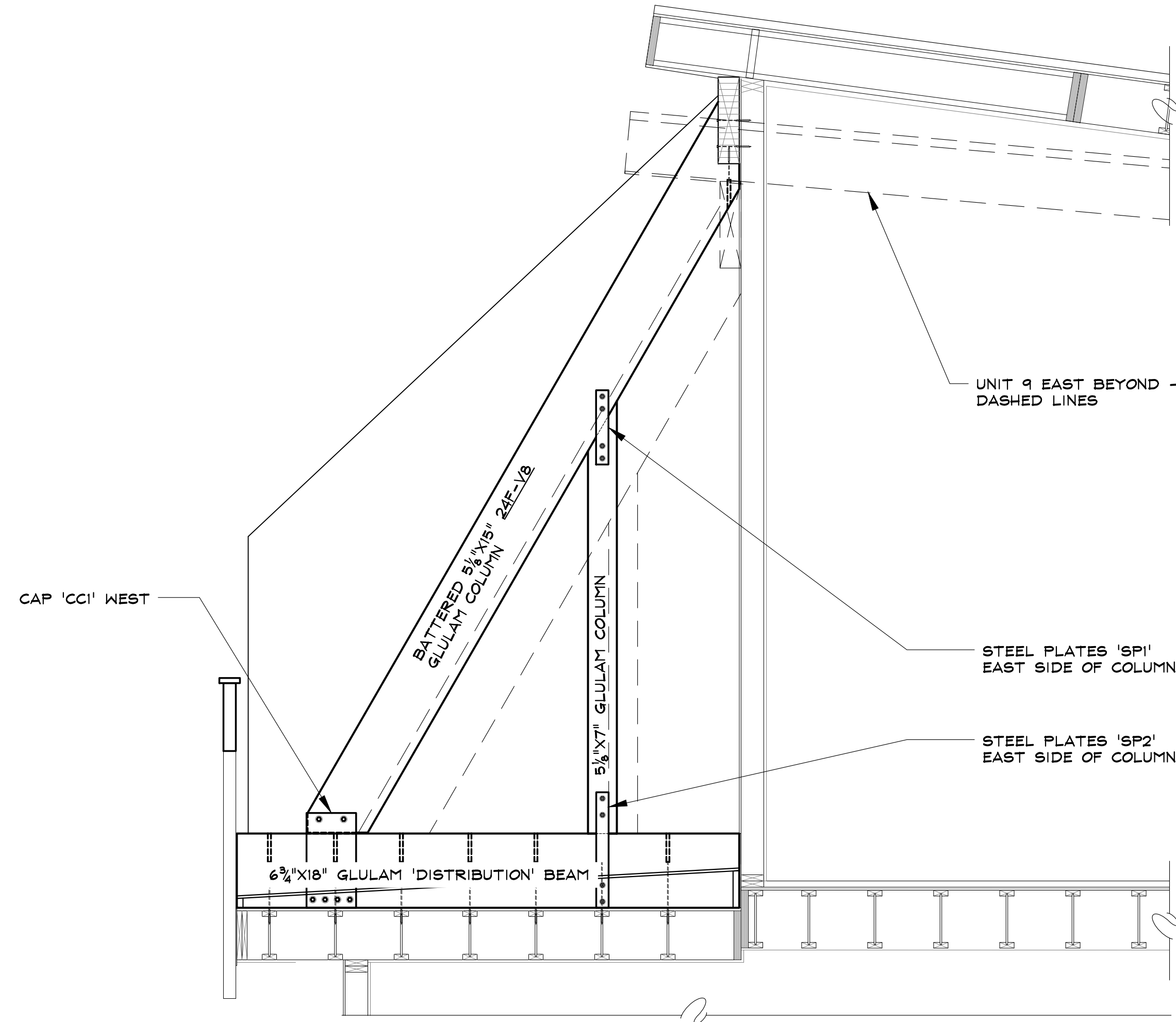
SECTIONS
THROUGH
PRIVACY WALL
UNITS 12-11

S - 7

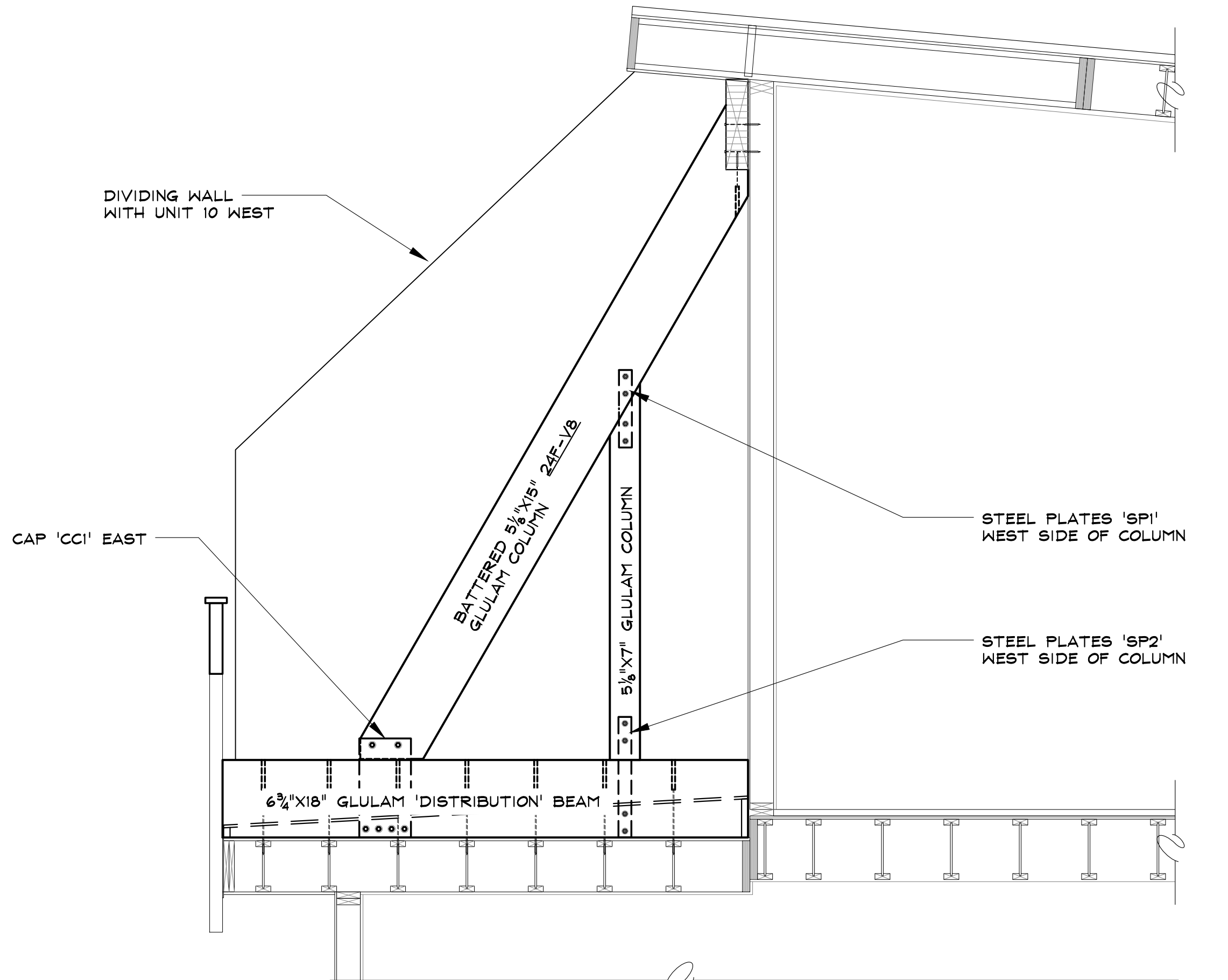
SHEET 8 of 10



4 UNIT 9 WEST END WALL SECTION
 Re: 1/5-3 FOR TYPICAL NOTES
 SCALE: 1/2" = 1'-0"

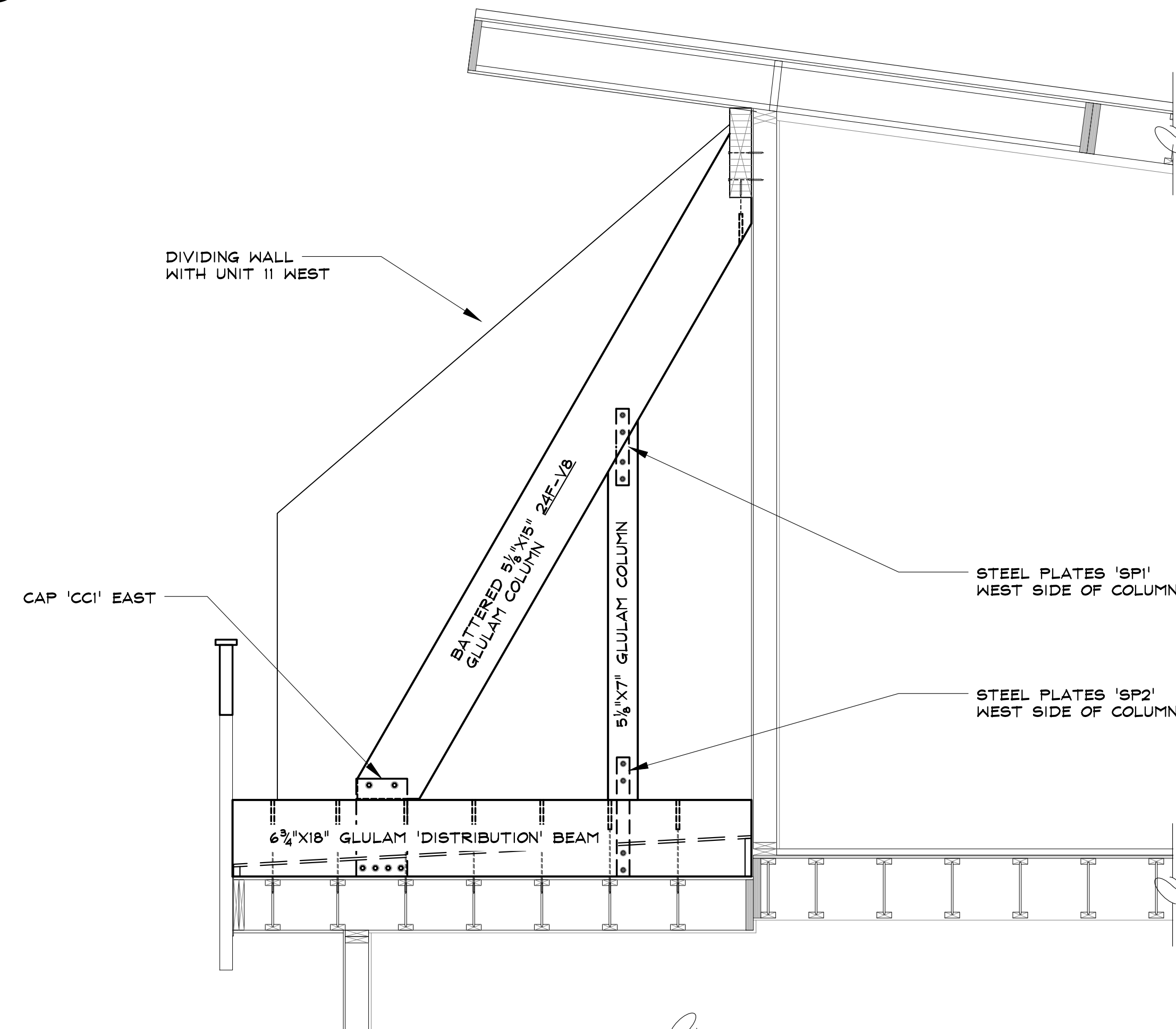


2 UNIT 10 WEST END WALL SECTION
 Re: 1/5-3 FOR TYPICAL NOTES
 SCALE: 1/2" = 1'-0"



3 UNIT 9 EAST END WALL SECTION
 Re: 1/5-3 FOR TYPICAL NOTES
 SCALE: 1/2" = 1'-0"

NOTE: NEW DECK FRAMING NOT SHOWN FOR CLARITY THESE SECTIONS



1 UNIT 10 EAST END WALL SECTION
 Re: 1/5-3 FOR TYPICAL NOTES
 SCALE: 1/2" = 1'-0"



SED
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ROOF & DECK REPAIR - BUILDING 4
 1900 BRIDGE LANE
 STEAMBOAT SPRINGS, COLORADO
 A REPAIR & RENOVATION FOR:
 RIVERFRONT PARK HOMEOWNERS ASSOCIATION

ISSUE DATES

CONCEPTUAL	05 . 03 . 18
OWNER REVIEW	07 . 06 . 18
PERMIT	07 . 19 . 18

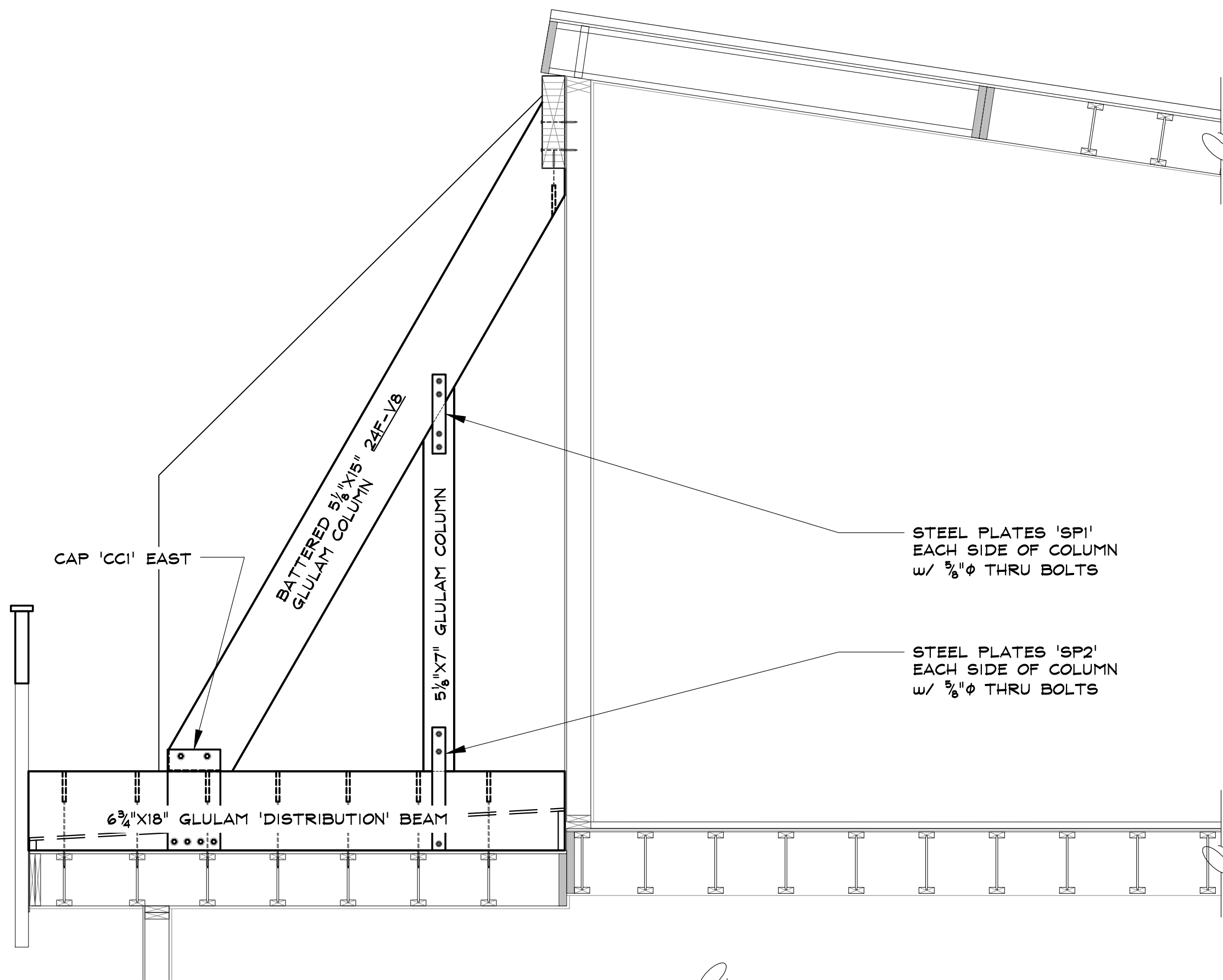
DRAWN BY:
 SJM/SWS
 PROJECT # 17075

SECTIONS
 THROUGH
 PRIVACY WALL
 UNITS 10-9

S - 8

SHEET 9 of 10

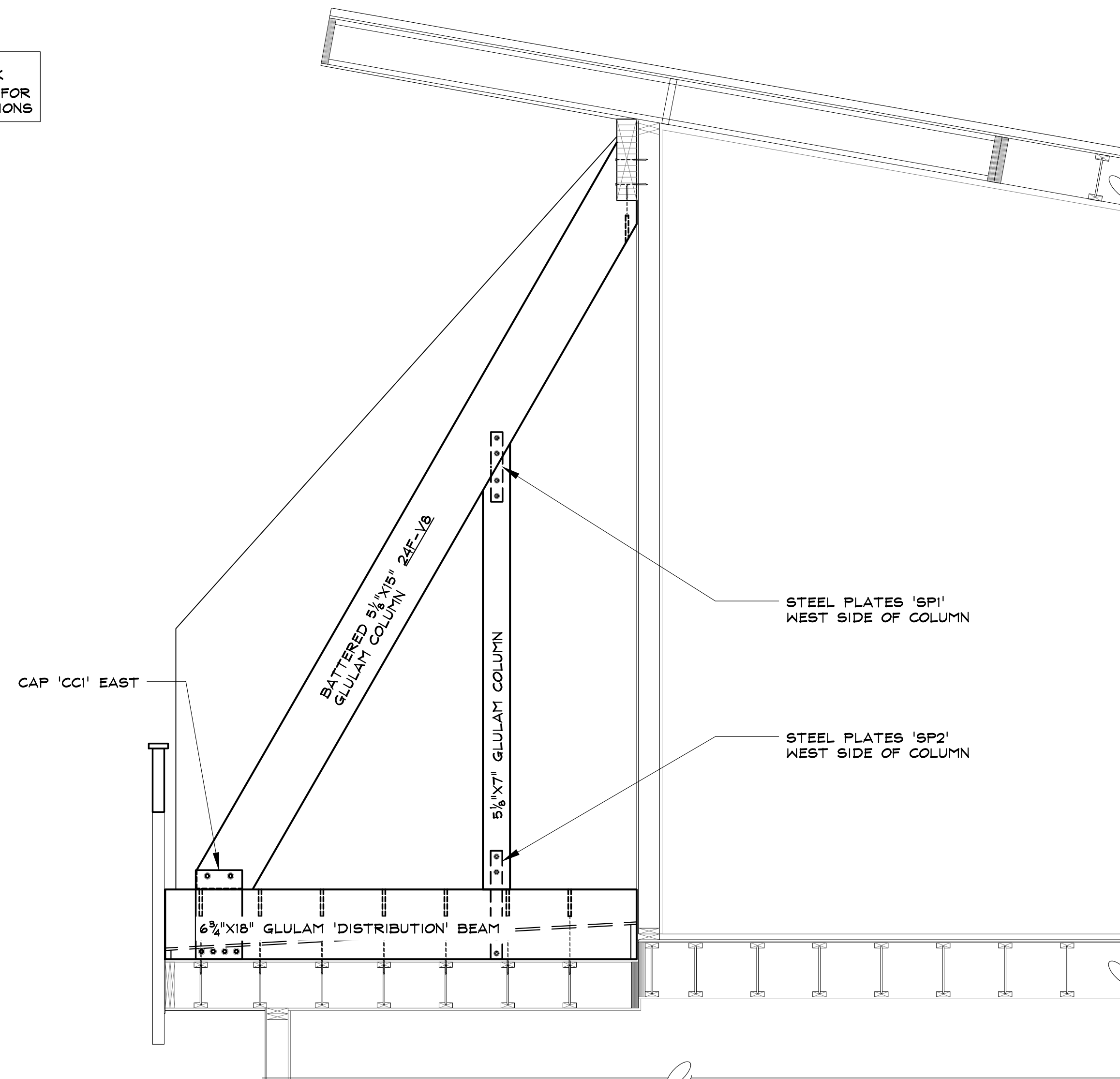
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2 UNIT 8 WEST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES

SCALE: 1/2" = 1'-0"

NOTE: NEW DECK
FRAMING NOT SHOWN FOR
CLARITY THESE SECTIONS



1 UNIT 8 EAST END WALL SECTION
Re: 1/5-3 FOR TYPICAL NOTES

SCALE: 1/2" = 1'-0"

ROOF & DECK REPAIR - BUILDING 4

1900 BRIDGE LANE
STEAMBOAT SPRINGS, COLORADO
A REPAIR & RENOVATION FOR:
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ISSUE DATES

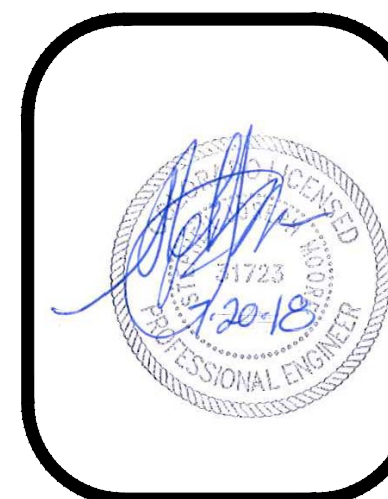
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SECTIONS
THROUGH
PRIVACY WALL
UNIT 8

S - 9

SHEET 10 of 10



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