

CODE STUDY

RFP BUILDING 4 WAS COMPLETED UNDER RCRBD PERMIT No. SB-06-732

BUILDING TYPE: V- 1 HOUR  
'B' & R-2 OCCUPANCIES

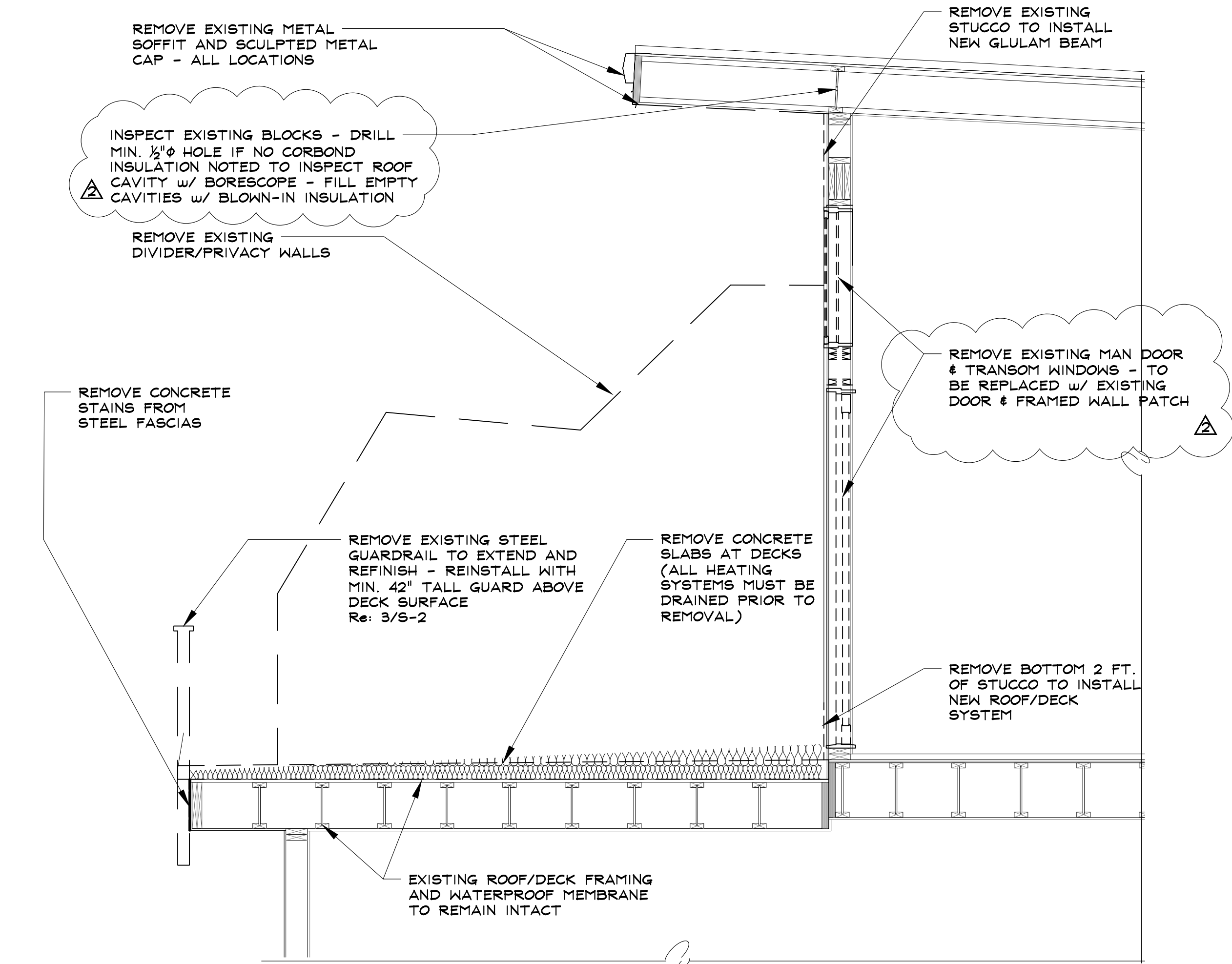
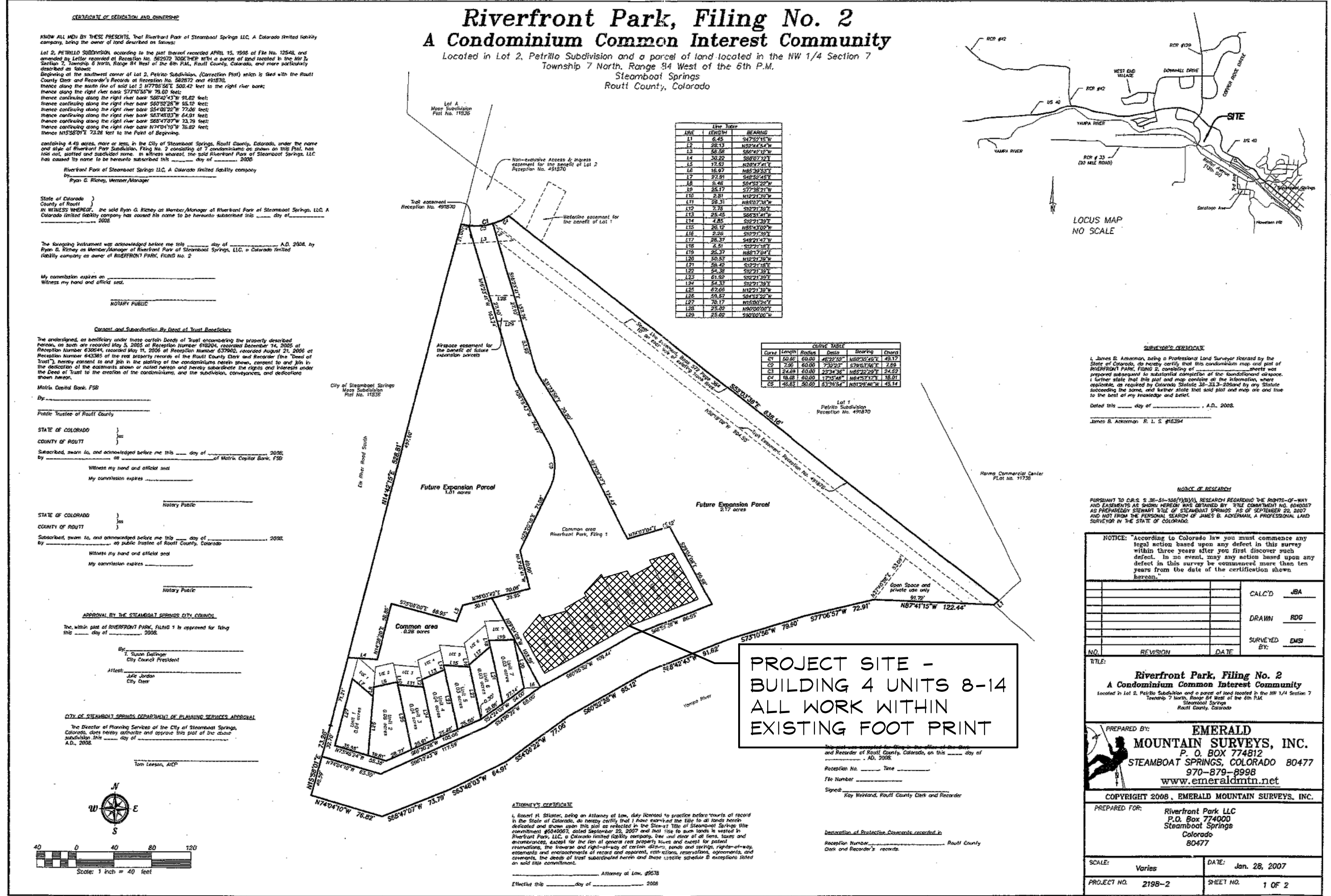
NO CHANGE TO BUILDING USE, OCCUPANCY OR EGRESS WITH PROPOSED ROOF/DECK REPAIR

SHEET SCHEDULE

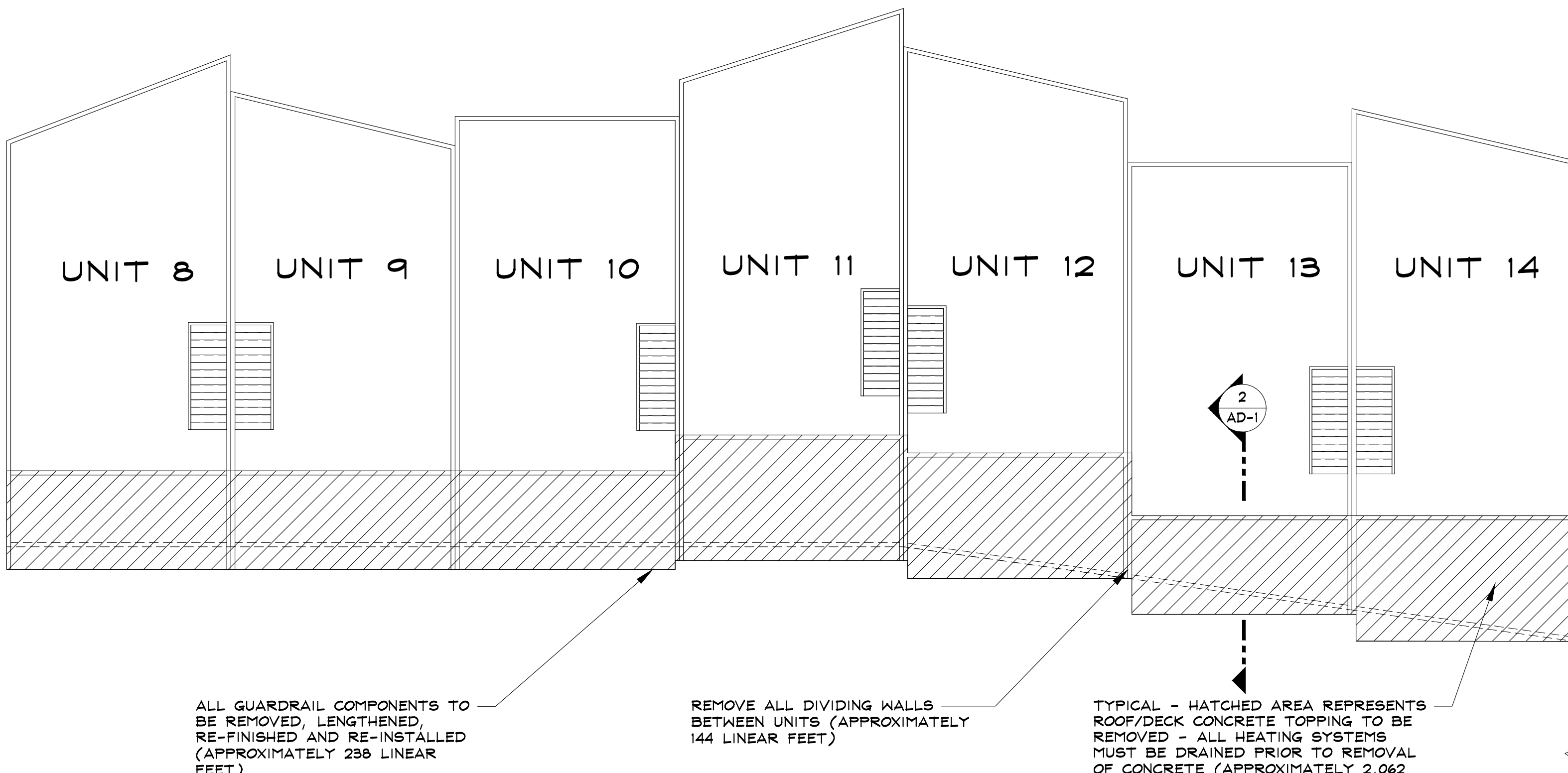
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CONCEPTUAL ROOF/DECK REPAIR SCOPE OF WORK & SEQUENCE

1. REMOVE EXISTING STEEL GUARDRAILS AND CABLES FOR EXTENSION, RE-FINISHING & RE-USE
2. REMOVE EXISTING DIVIDING WALLS BETWEEN UNITS
3. REMOVE EXISTING CONCRETE TOPPING SLABS - LEAVE WATERPROOF MEMBRANES & STRUCTURES INTACT
4. REMOVE BOTTOM 2 FEET OF STUCCO SIDING ABOVE DECKS
5. REMOVE SOFFITS & SOUTH EAVES, INSPECT BLOCKING BETWEEN RAFTERS, AND DRILL 1/2" HOLES IN AREAS WHERE NO CORBOND INSULATION IS VISIBLE TO INSPECT ROOF CAVITY W/ BORESCOPE
6. CUT STUCCO AT TOP OF SOUTH WALLS TO INSTALL GLULAM BEAMS PER PLAN Re: 1/S-1 UNDER RAFTERS & FASTENED TO WALL
7. CONSTRUCT GLULAM TIMBER FRAMES UNDER EACH END OF NEW GLULAM BEAMS
8. CONSTRUCT NEW SLOPED ROOF OVER EXISTING ROOF/DECK STRUCTURE WITH DECK ON REVERSE TAPER SLEEPERS - REQUIRES RAISING EXISTING EXTERIOR DOOR FOR MAXIMUM 7" STEP FROM FINISHED FLOOR
9. REPLACE REFINISHED GUARDRAILS WITH TOP CAP TO MINIMUM 42" ABOVE NEW DECK SURFACE
10. BUILD NEW WOOD FRAMED DIVIDER WALLS TO ENCLOSE AND PROTECT GLULAM TIMBER FRAMES - THE USE OF FIRE RETARDANT SHEATHING TO PROTECT THE INTEGRITY OF THE EXISTING 1-HOUR SYSTEMS AT 3 LOCATIONS Re:2/S-1.
11. REPLACE STUCCO WITH NEW FLASHING AND 'U' CHANNEL
12. REPLACE ROOF SOFFITS - CUT TO FIT AT NEW GLULAM BEAMS
13. REMOVE SOFFITS, GUTTERS AND METAL FASCIA AT NORTH EAVES. INSPECT BLOCKING BETWEEN RAFTERS AND DRILL 1/2" HOLES IN AREAS WHERE NO CORBOND INSULATION IS VISIBLE TO INSPECT ROOF CAVITY W/ BORESCOPE
14. REMOVE 2 FT. WIDE STRIP OF ROOFING AND SHEATHING TO INSTALL NEW PARAPET WALLS Re: 1/R-1 2/R-2
15. REMOVE ALL SCULPTED METAL CAPS AND ABOVE ROOF SIDEWALL SIDING.
16. INSTALL NEW SNOW FENCES - DETAILS TO BE SUPPLIED BY MANUFACTURER
17. INSTALL 2" POLYISO FLUTE FILLER, 4" POLYISO INSULATION BOARDS AND 1/2" CARLISLE SECURESHIELD HD SHEATHING FOR FULLY ADHERED CARBULE EPDM MEMBRANE. DETAILS TO BE SUPPLIED BY MANUFACTURER.



3 SITE PLAN  
COPY OF PLAT FROM JAN. 28, 2007



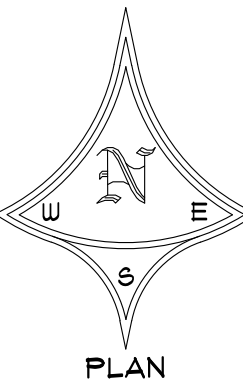
2 TYPICAL ROOF/DECK DEMOLITION SECTION

SCALE: 1/4" = 1'-0"

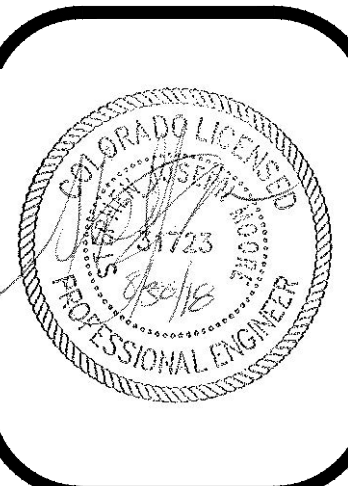
1 CONCEPTUAL ROOF/DECK DEMOLITION PLAN

APPROXIMATELY 2,062 SQ. FT. OF CONCRETE TOPPING TO BE REMOVED  
APPROXIMATELY 236 LINEAR FT. OF GUARDRAILS TO BE REMOVED, EXTENDED, REFINISHED, & REINSTALLED  
APPROXIMATELY 144 LINEAR FT. OF DIVIDING WALLS TO BE REMOVED AND REPLACED

SCALE: N.T.S.



RCRBD  
Record Set



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ROOF & DECK REPAIR - BUILDING 4  
1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO  
A REPAIR & RENOVATION FOR:  
RIVERFRONT PARK HOMEOWNERS ASSOCIATION

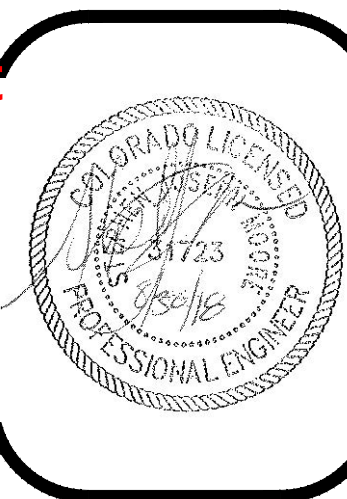
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|-------------------------------------|
| ISSUE DATES                         |
| CONCEPTUAL 05.03.18                 |
| OWNER REVIEW 07.06.18               |
| PERMIT 07.19.18                     |
| REVISION 1 & ROOF ADDENDUM 08.09.18 |
| REVISIONS 08.30.18                  |

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PROJECT # 17075

SITE AND  
DEMOLITION  
PLANS

AD-1

SHEET 1 of 13



ROOF & DECK REPAIR - BUILDING 4  
1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO  
A REPAIR & RENOVATION FOR:  
RIVERFRONT PARK HOMEOWNERS ASSOCIATION

| ISSUE DATES       |    |    |    |
|-------------------|----|----|----|
| CONCEPTUAL        | 05 | 03 | 18 |
| OWNER REVIEW      | 07 | 06 | 18 |
| PERMIT            | 07 | 19 | 18 |
| REVISION 1 & ROOF | 08 | 09 | 18 |
| ADDENDUM          | 08 | 30 | 18 |

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PROJECT # 17075

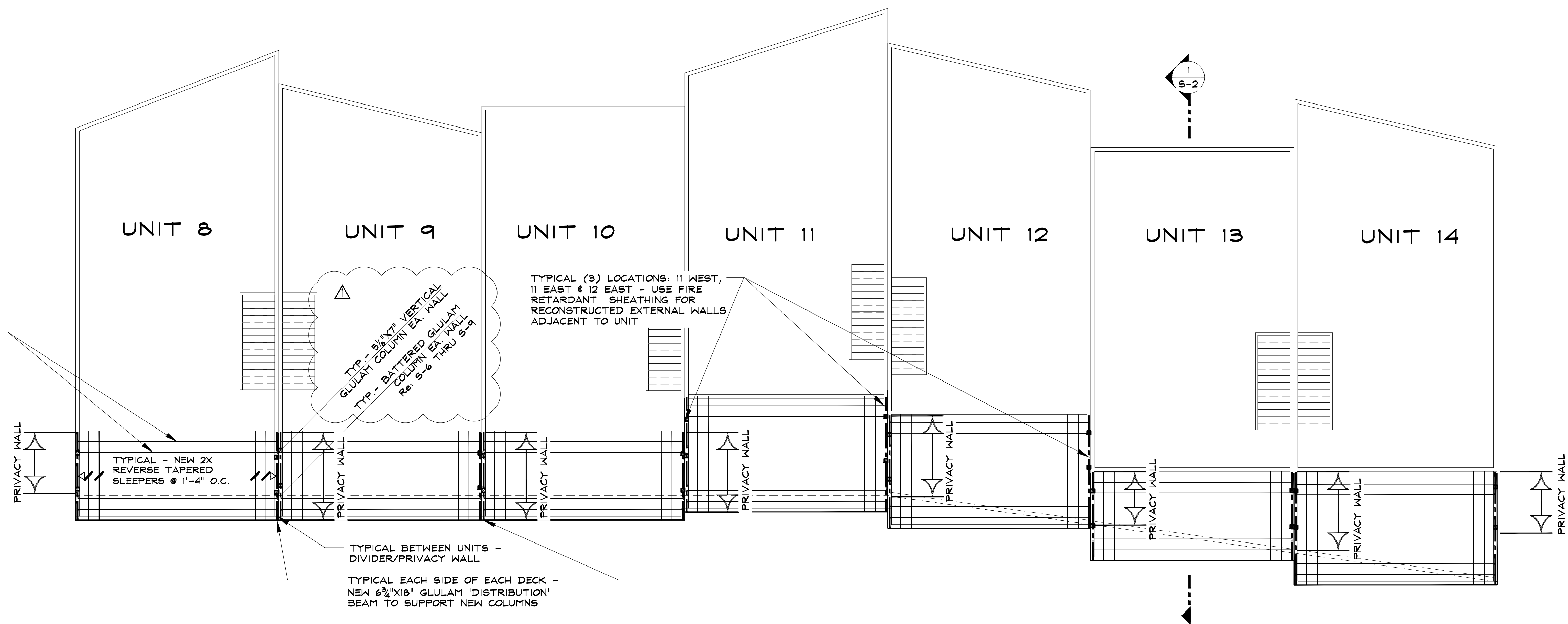
ROOF AND  
DECK FRAMING  
PLANS

S-1

SHEET 2 of 13

## STRUCTURE LEGEND

- = COLUMN BELOW
- ▣ = COLUMN ABOVE
- = COLUMN CONTINUOUS THIS LEVEL
- = RAFTER
- = JOIST
- = BEAM
- = RIM
- = LEDGER
- = TYPICAL HEADER
- = CLOSURE WALL
- = HANGER
- = CLIP



## STRUCTURAL NOTES

### Applicable Codes and Standards:

- 2015 International Building Code (including all local adoptions)
- 2015 International Residential Code (including all local adoptions)
- City of Steamboat Springs Community Development Code
- "Minimum Design Loads for Buildings and Other Structures" - ASCE 7-10
- "Building Code Requirements for Structural Concrete" - ACI 318
- "Steel Construction Manual" - AISC fourteenth edition
- "National Design Specification for Wood Construction" - ANSI/APA-FPA-NDS 2015

### Design Live Loads:

- Roofs: 75 psf
- Floors: 40 psf
- Decks: 75 psf
- Wind: 120 mph, Exposure B
- Seismic Design: Category B, Soil Type D

### Structural Wood Framing:

- Unless noted otherwise, all 2" lumber shall be Douglas Fir S4S No. 2 and better. All solid timber beams and posts shall be DF-L No. 1 or better.
- Unless noted otherwise, minimum nailing shall be provided as specified in Table No. 2304.10.1, "Fastening Schedule", of the 2015 IBC or Table No. R602.3(1), "Fastening Schedule", of the 2015 IRC.
- Wall and floor sheathing shall be APA rated with exterior glue and graded in accordance with APA standards. Panel identification and thickness shall be as noted on the drawings.
- Where light gauge framing anchors are shown or required, they shall be Simpson "Strong-Tie" (or equal approved by ICBO). They shall be installed with the number and type of fasteners recommended by the manufacturer to develop the rated capacity.
- Laminated Veneer Lumber shall be of such stress grade to provide an allowable bending stress of 2,600 psi, allowable shear stress parallel to the glue line of 285 psi and a modulus of elasticity of 1,900,000 psi.
- Glue laminated timber shall be stress grade marked 24F-V4 for simple spans & 24F-V8 for multiple spans or as required.
- Roof trusses shall be designed by a Colorado Registered Professional Engineer to support the full live load and dead loads of the roof, ceiling, and any other superimposed loads. Calculations and shop drawings, including member sizes, lumber species, and grade and substantiating data for connector capacities and truss bearing, shall be submitted to the Architect or Engineer for review and approval prior to fabrication.
- Floor joists shall be plant fabricated I series with LVL or solid wood flanges and plywood or OSB webs, and shall carry full live and dead loads of a complete section. Joists shall be designed to carry full live and dead loads of the roof(s), floor(s), and any superimposed loads.
- Roof overframing shall be 2x6 rafters @ 24" O.C. w/ 2x6 studs @ 24" O.C. to stack over rafters or purlins below.

### Field Verification:

- The contractor shall thoroughly inspect and survey the existing structure to verify dimensions, elevations, framing, etc., which may affect the work shown on the drawings and report any variations or discrepancies to the Engineer.

### Structural Steel:

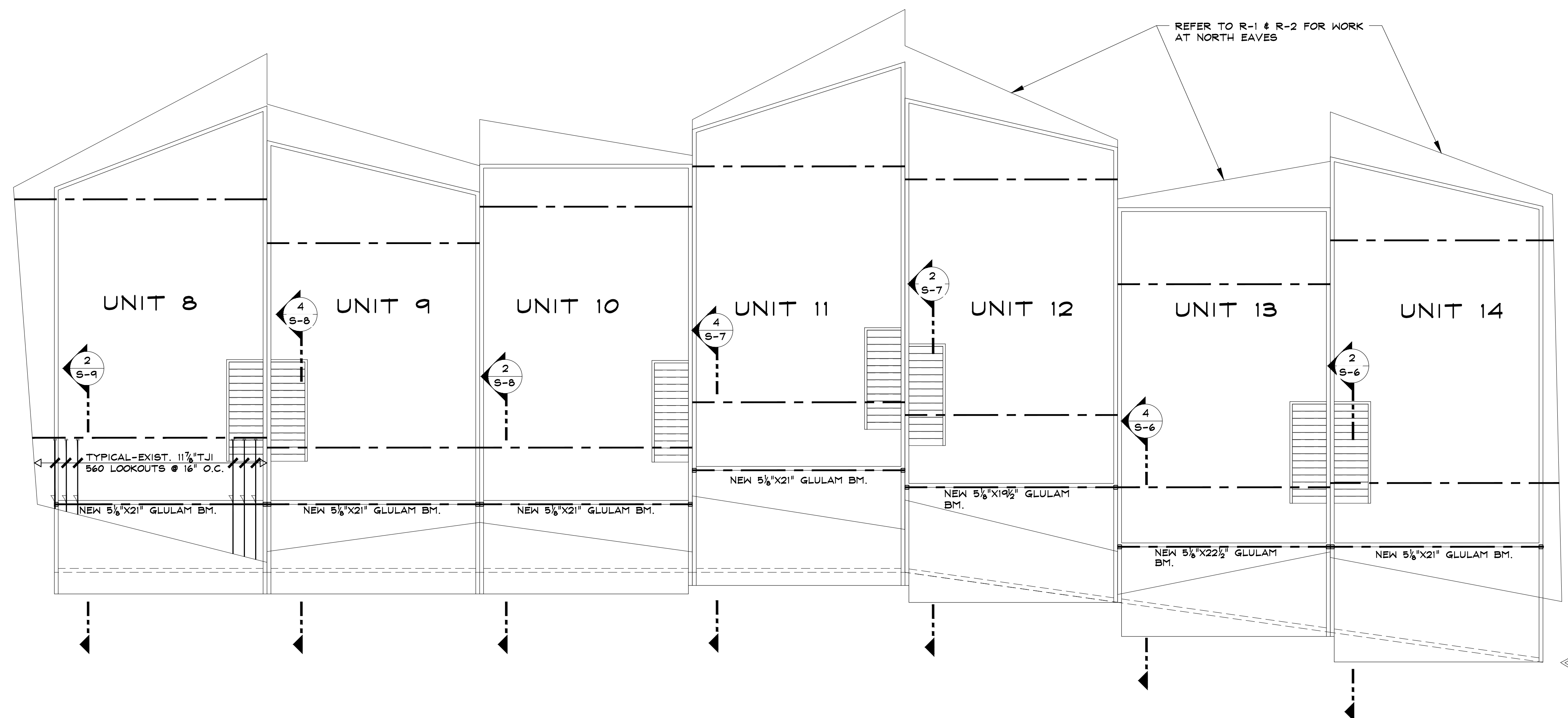
- Structural steel shall be detailed and fabricated in accordance with the latest version of the AISC Manual of Steel Construction.
- All bolts, including anchor bolts, shall conform to ASTM spec. A307.
- Structural steel rolled shapes, including plates and angles, shall be ASTM A36.
- Fillet welds indicated on the plans shall be of E70xx electrodes and shall be the minimum size specified in the AISC Manual of Steel Construction, Table J2.4.
- All welds shall be performed by a certified welder.

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## 2 DECK FRAMING REPAIR

NO WORK INSIDE OF UNITS

SCALE: 1/8" = 1'-0"



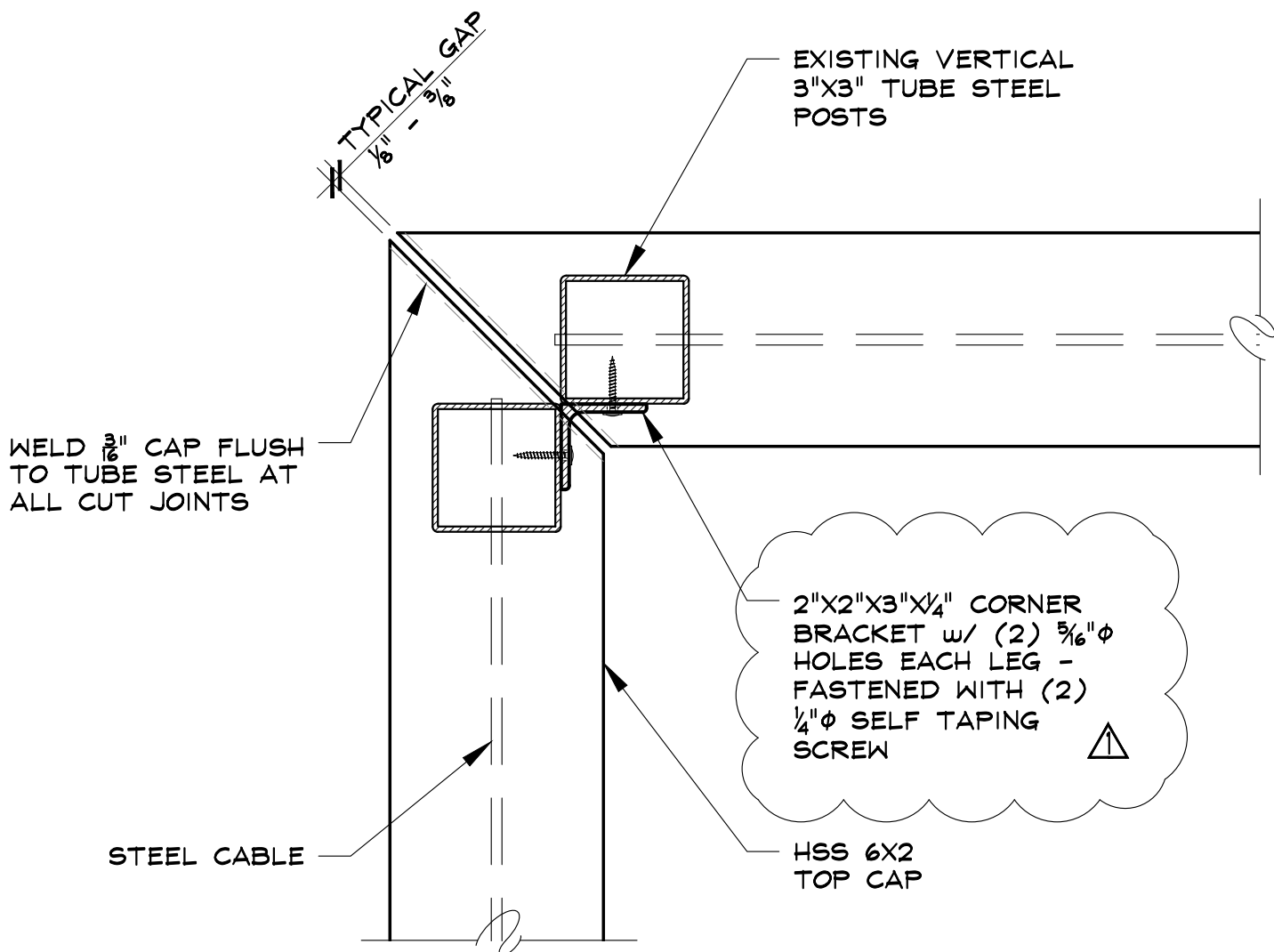
## 1 ROOF FRAMING REPAIR PLAN

ADD NEW ROOF BEAMS AT SOUTH WALLS

SCALE: 1/8" = 1'-0"

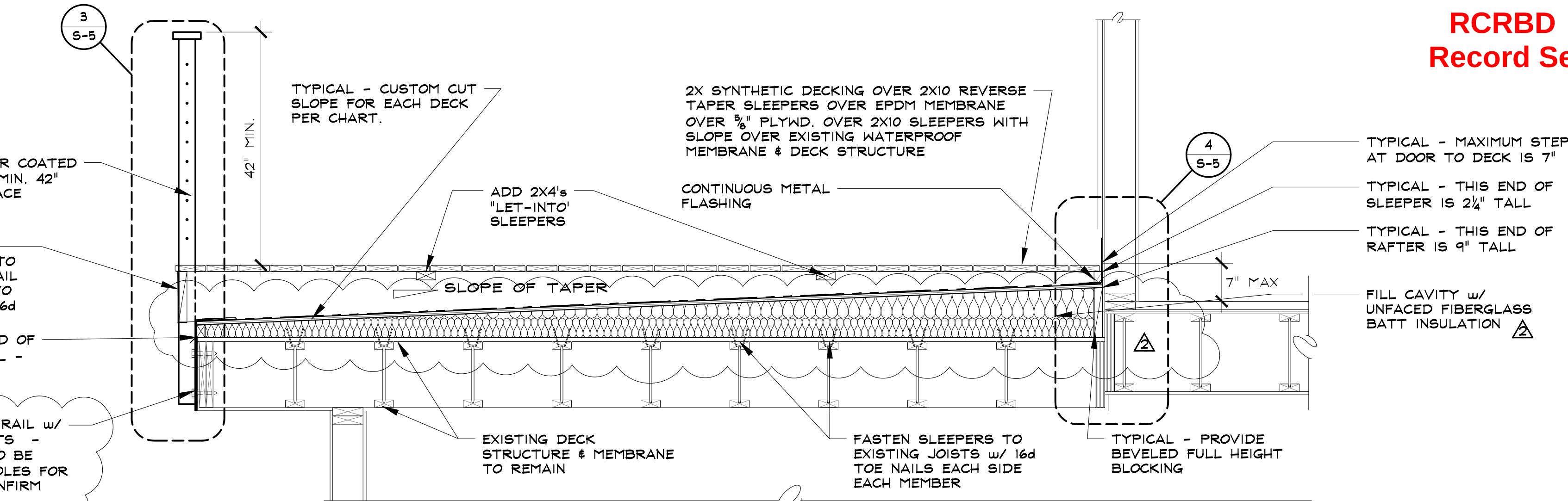
GUARDRAIL REPAIR SCOPE OF WORK

- 1. FIELD CUT CAP FOR MANAGEABLE SIZED GUARDRAIL SECTIONS TO BE REMOVED.
- 2. CUT 3"x3" TUBE STEEL GUARDRAIL POSTS FROM MOUNTING PLATES.
- 3. DRILL EXISTING GUARDRAIL MOUNTING PLATES TO 1/8" Ø FOR NEW 3/8" Ø LAGS.
- 4. WELD 3"x3" POSTS TO MOUNTING PLATES IN NEW CONFIGURATION TO PROVIDE A MIN. 42" HEIGHT ABOVE NEW DECK SURFACE R=3/8-2.
- 5. DRILL 1/2" Ø DRAIN HOLE IN BOTTOM CAPS OF EACH VERTICAL TUBE STEEL BEFORE FINISHING.
- 6. DRILL NEW HOLES TO ADD 3 OR 4 NEW CABLES - SIZE AND SPACING TO MATCH EXISTING - FIELD VERIFY MAX 4" SPACE BETWEEN BOTTOM CABLE & TOP OF NEW DECKING R= 3/5-5.
- 7. RAILING ASSEMBLY TO BE SAND BLASTED PRIOR TO APPLICATION OF POWDER COATING.
- 8. NO FIELD WELDING OF RAILING AFTER POWDER COAT IS APPLIED.
- 9. NO DRILLING/REAMING OF CABLE HOLES AFTER POWDER COAT PAINT.
- 10. ALL CABLE FERRULES TO HAVE STAINLESS STEEL WASHERS, HEX NUT AND ACORN NUT AT TERMINATION.
- 11. NO EXPOSED FERRULE THREADS. BETWEEN HEX NUT AND ACORN NUT.



| SLOPE OF TAPER |                   |
|----------------|-------------------|
| UNIT           | APPROXIMATE SLOPE |
| 14             | .5/12             |
| 13             | .66/12            |
| 12             | .5/12             |
| 11             | .54/12            |
| 10             | .66/12            |
| 9              | .66/12            |
| 8              | .66/12            |

NOTE:  
FIELD VERIFY ALL MEASUREMENTS

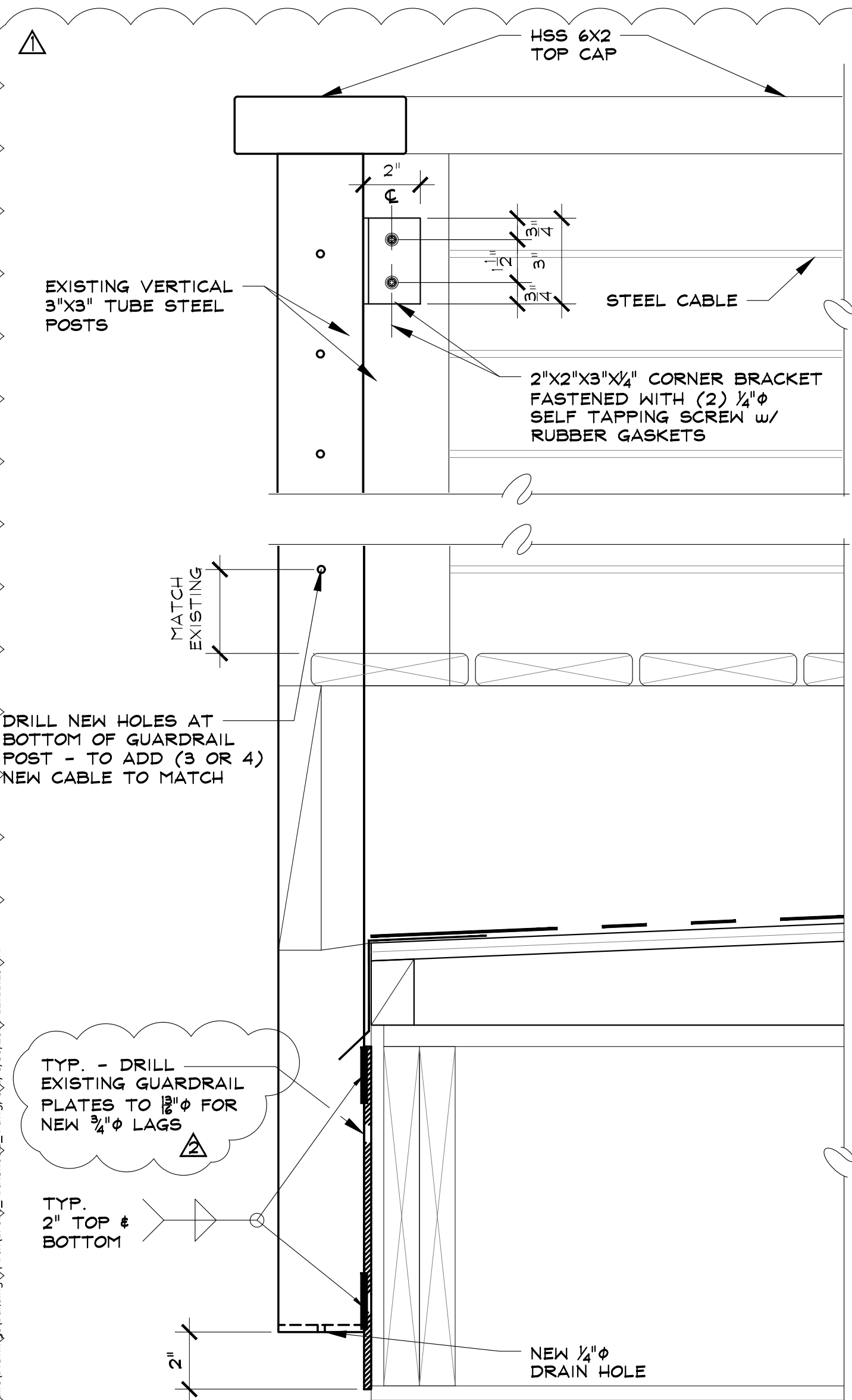


2 CONCEPTUAL BUILDING REPAIR SECTION DETAIL

SCALE: 3/4"=1'-0"

4 HANDRAIL SPECS

SCALE: 3/4"=1'-0"

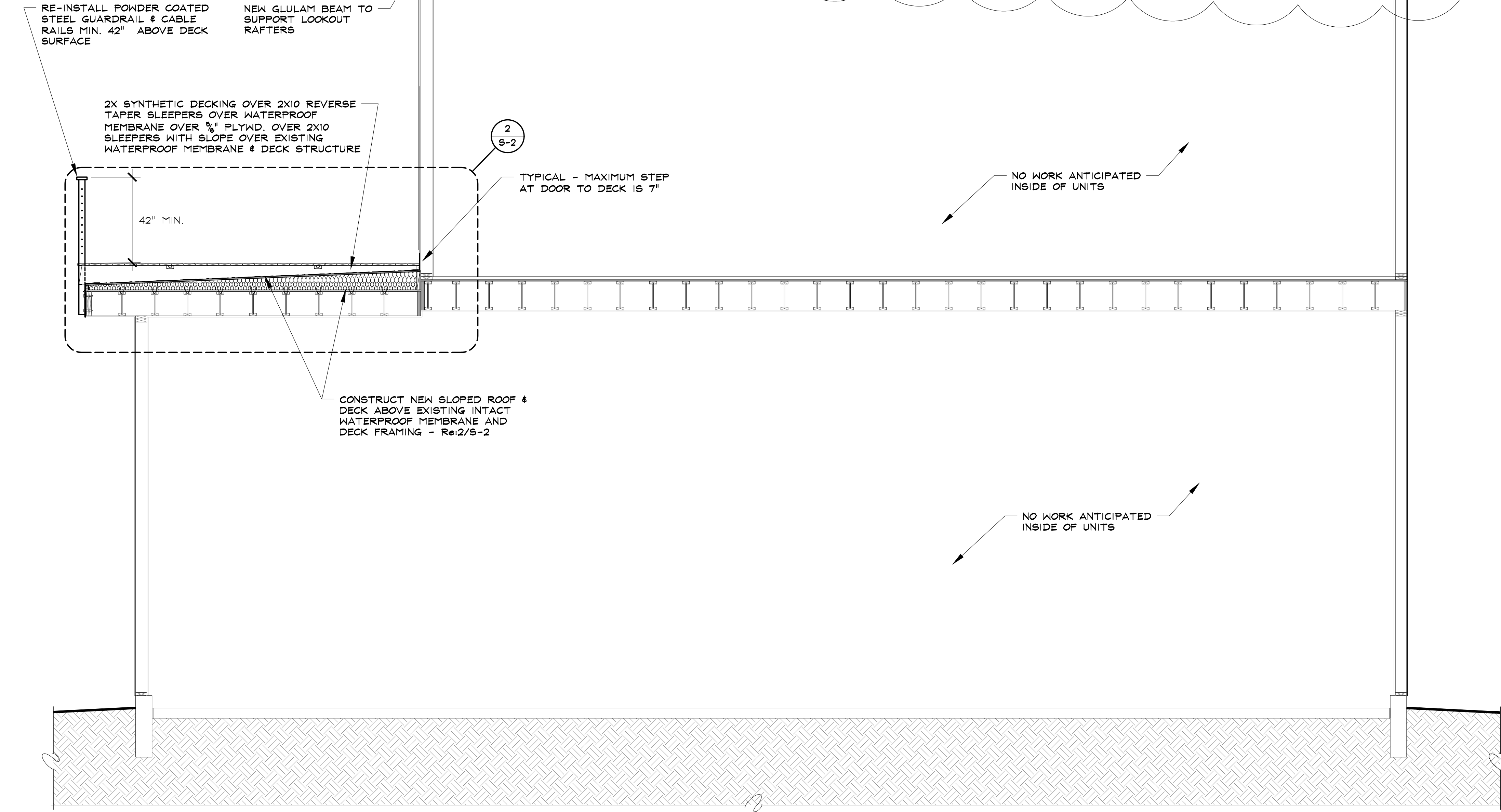


3 HANDRAIL SPECS

SCALE: 3/4"=1'-0"

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1 CONCEPTUAL BUILDING REPAIR SECTION



SCALE: 3/8"=1'-0"

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**ROOF & DECK REPAIR - BUILDING 4**

1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO

A REPAIR & RENOVATION FOR:  
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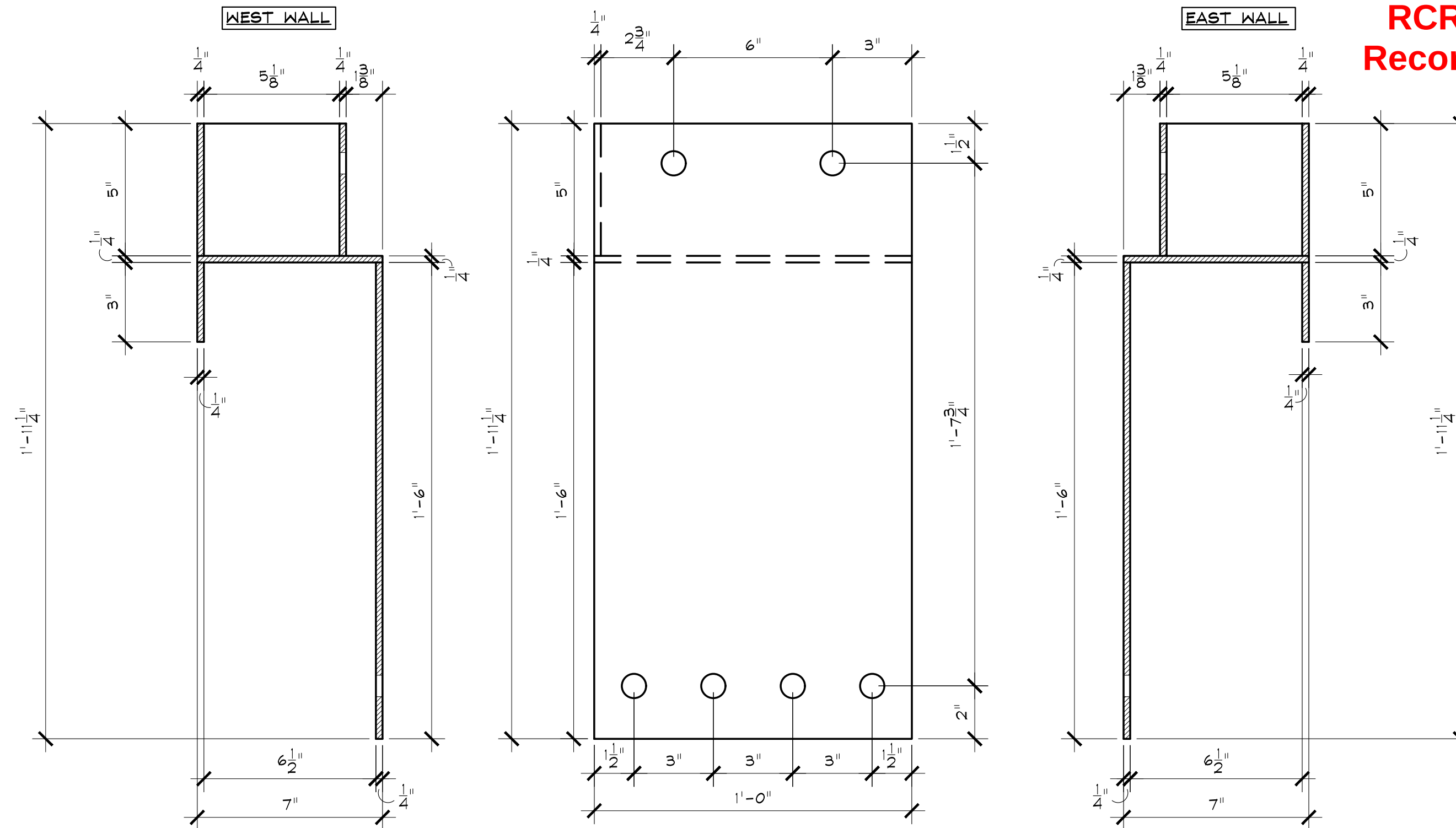
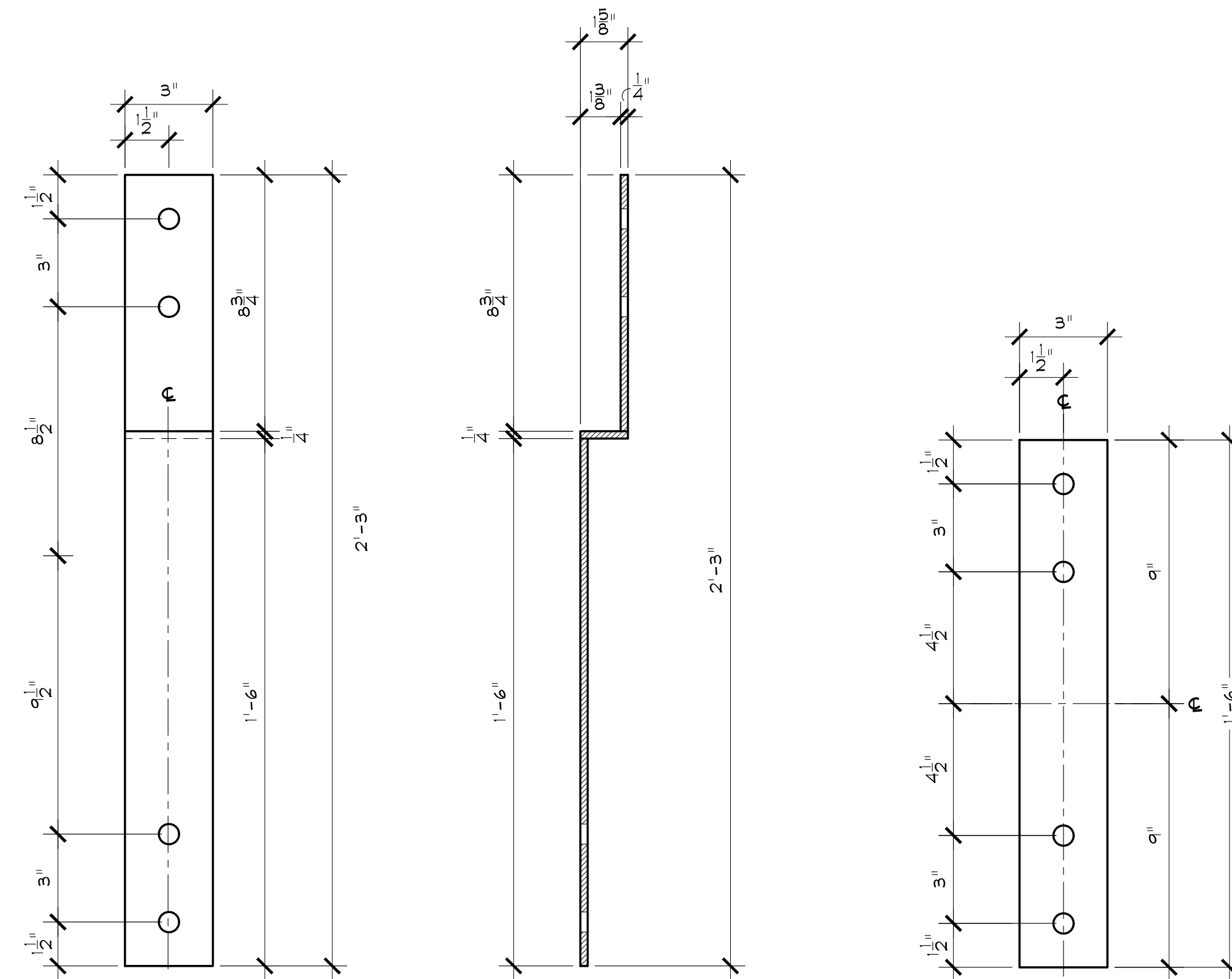
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|----------------------------|----------|
| CONCEPTUAL                 | 05.03.18 |
| OWNER REVIEW               | 07.06.18 |
| PERMIT                     | 07.19.18 |
| REVISION 1 & ROOF ADDENDUM | 08.09.18 |
| REVISIONS                  | 08.30.18 |

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BUILDING & DECK SECTIONS

**S-2**

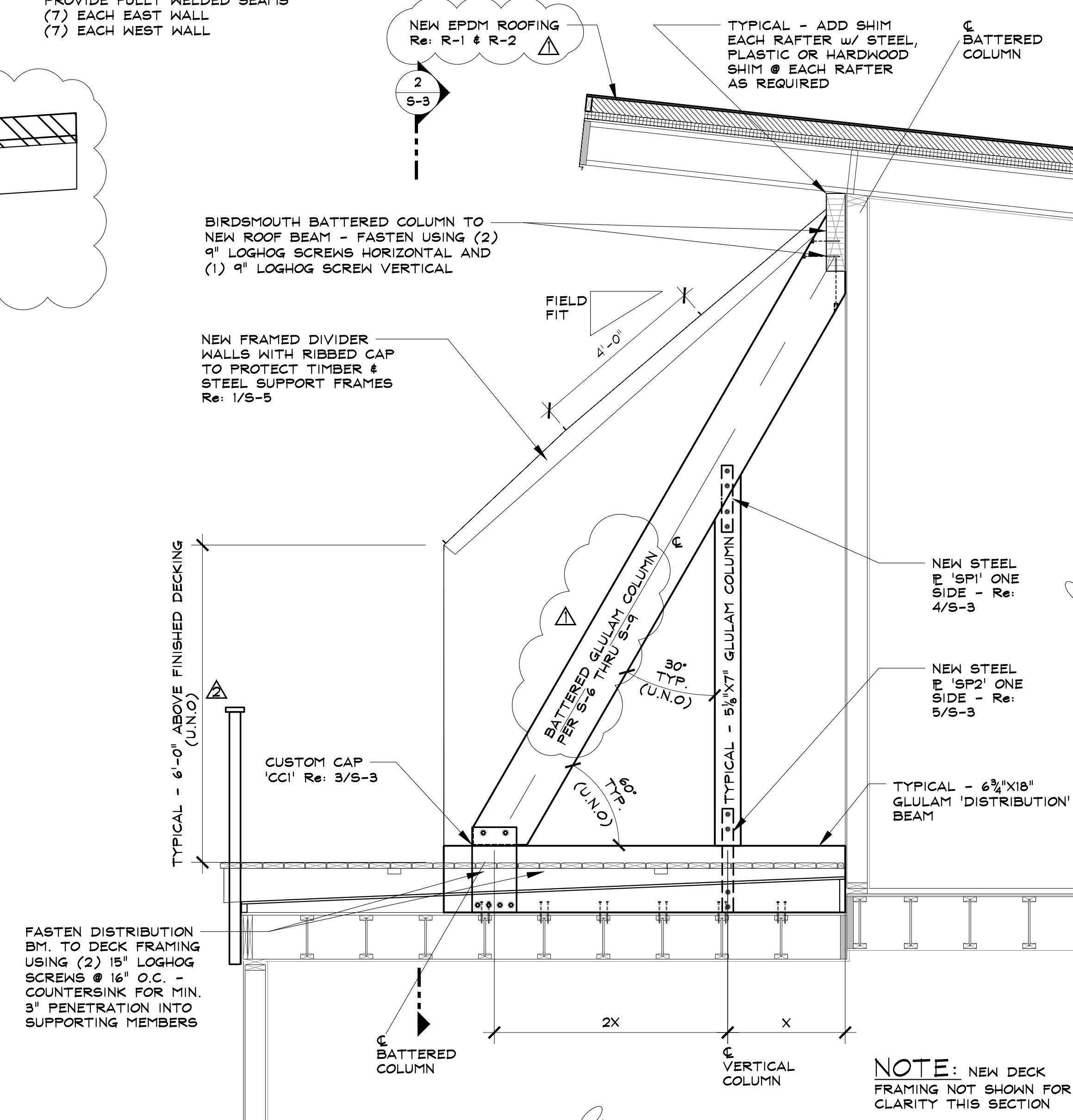
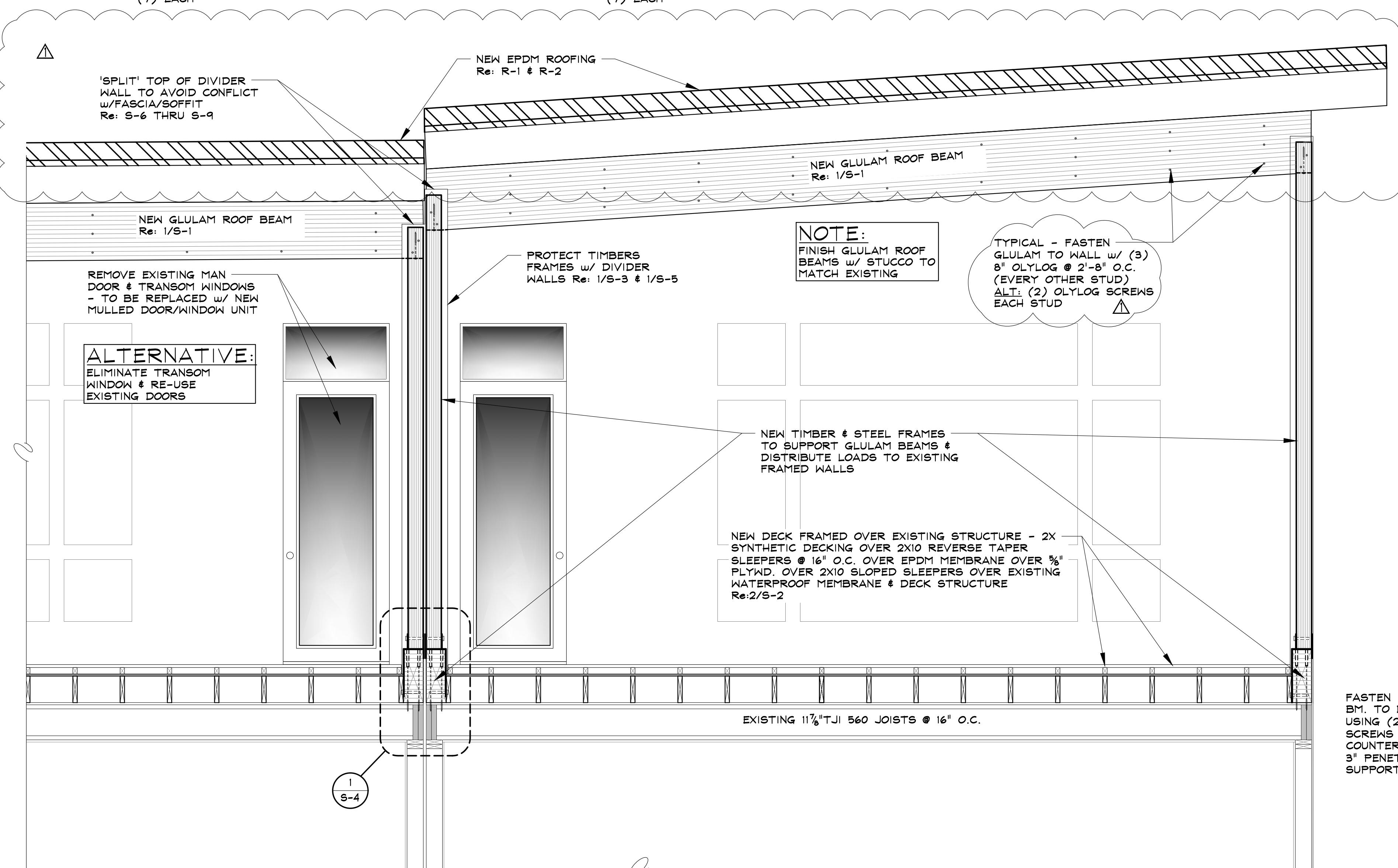
SHEET 3 of 13



### 3 CUSTOM STEEL CAP 'CCI'

FABRICATE WITH 1/4" PLATE  
PROVIDE (6) 1/8"Ø THRU HOLES FOR 3/4"Ø LAGS  
PROVIDE FULLY WELDED SEAMS  
(7) EACH EAST WALL  
(7) EACH WEST WALL

SCALE: 3" = 1'-0"



RCRBD  
Record Set



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**ROOF & DECK REPAIR - BUILDING 4**  
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A REPAIR & RENOVATION FOR:  
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**ISSUE DATES**  
05.03.18 CONCEPTUAL  
07.06.18 OWNER REVIEW  
07.19.18 PERMIT  
08.09.18 REVISION 1 & ROOF  
08.30.18 ADDENDUM  
REVISIONS

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SECTIONS  
THROUGH  
PRIVACY WALL

**S-3**

SHEET 4 of 13



ROOF & DECK REPAIR - BUILDING 4  
1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO  
A REPAIR & RENOVATION FOR:  
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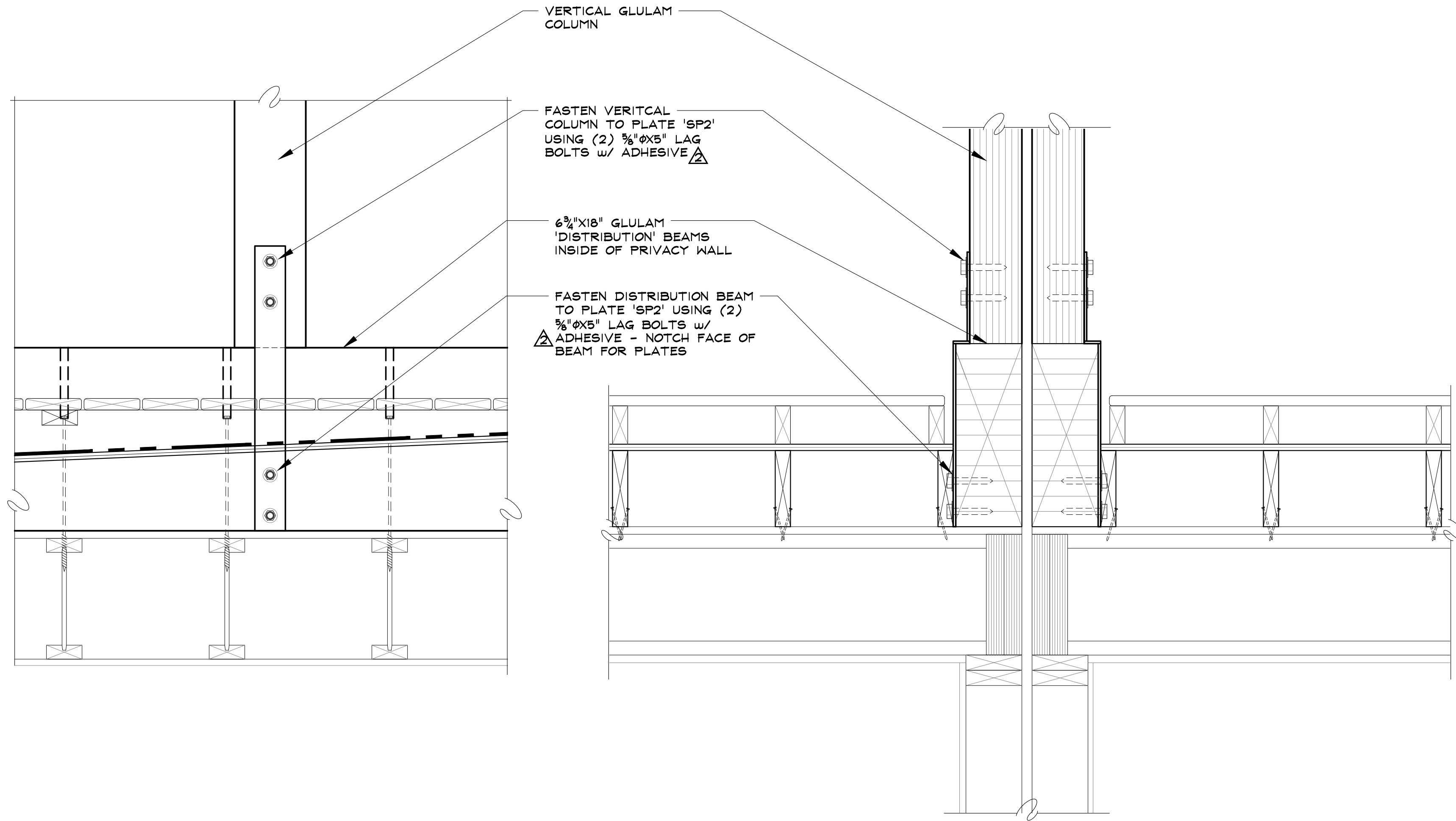
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CONNECTION  
DETAILS

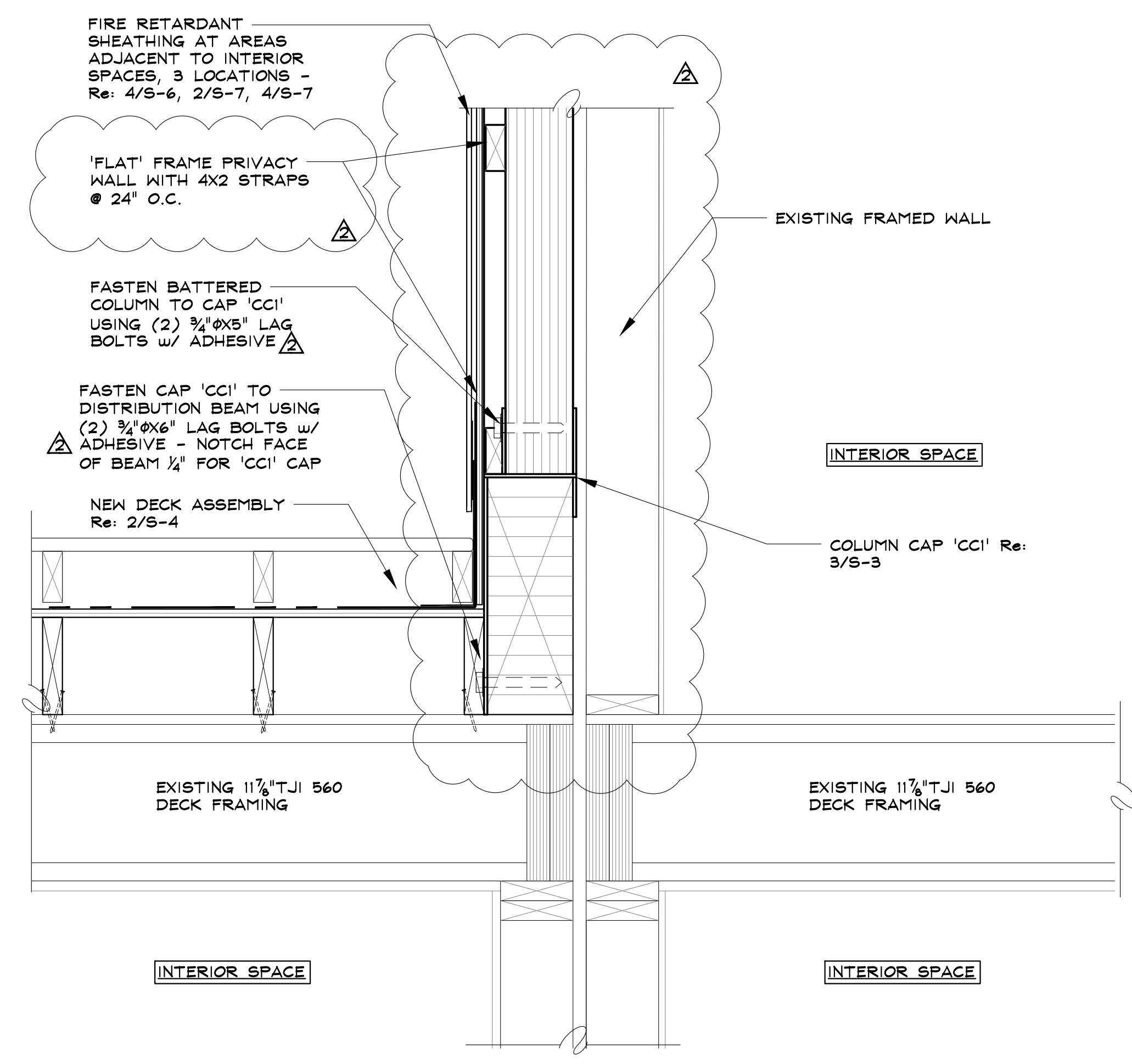
S-4

SHEET 5 of 13



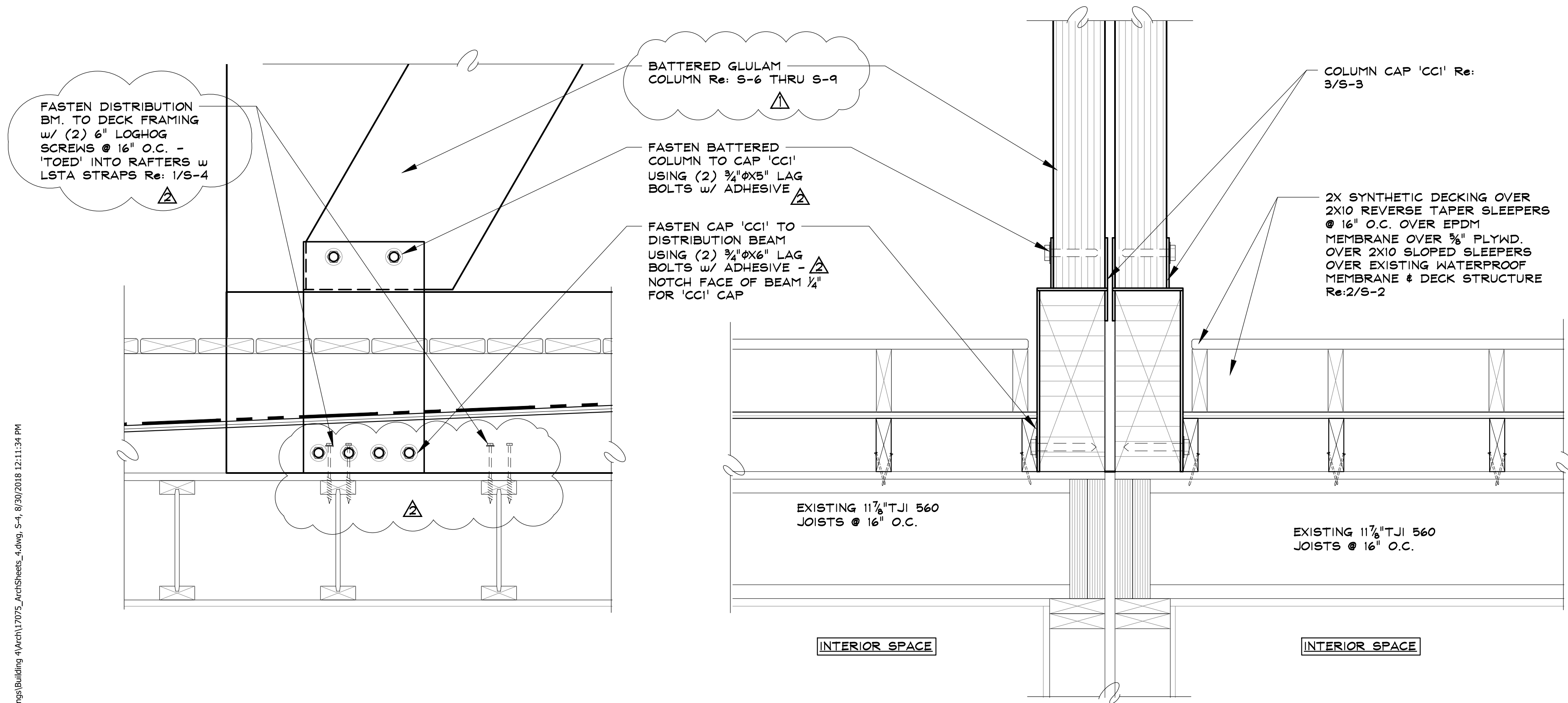
3 VERTICAL COLUMN TO DISTRIBUTION BEAM CONNECTION

SCALE: 1 1/2" = 1'-0"



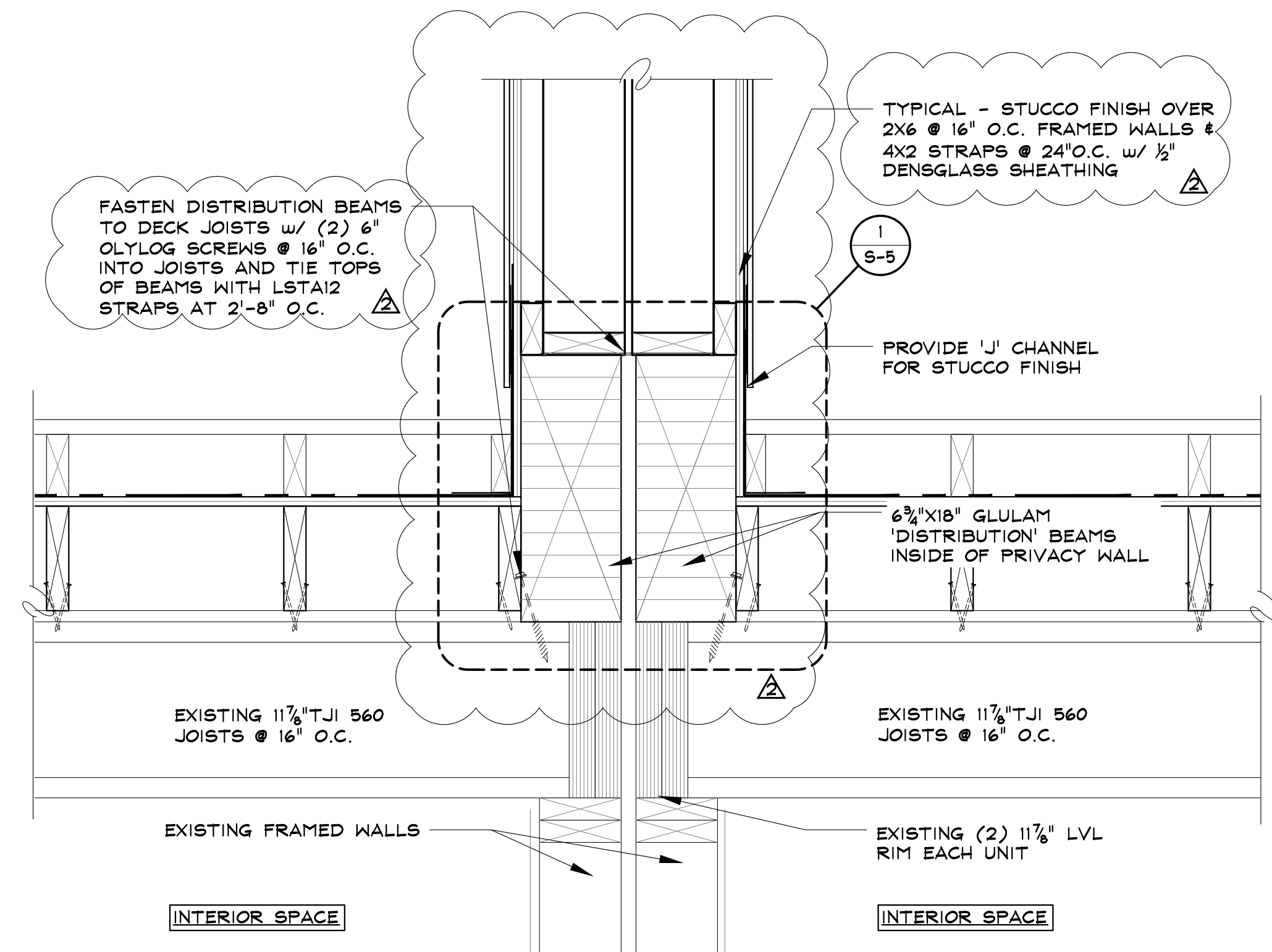
4 BATTERED COLUMN TO DISTRIBUTION BEAM @ EXISTING WALL

SCALE: 1 1/2" = 1'-0"



2 BATTERED COLUMN TO DISTRIBUTION BEAM CONNECTION

SCALE: 1 1/2" = 1'-0"



1 DISTRIBUTION BEAM TO DECK FRAMING

SCALE: 1 1/2" = 1'-0"



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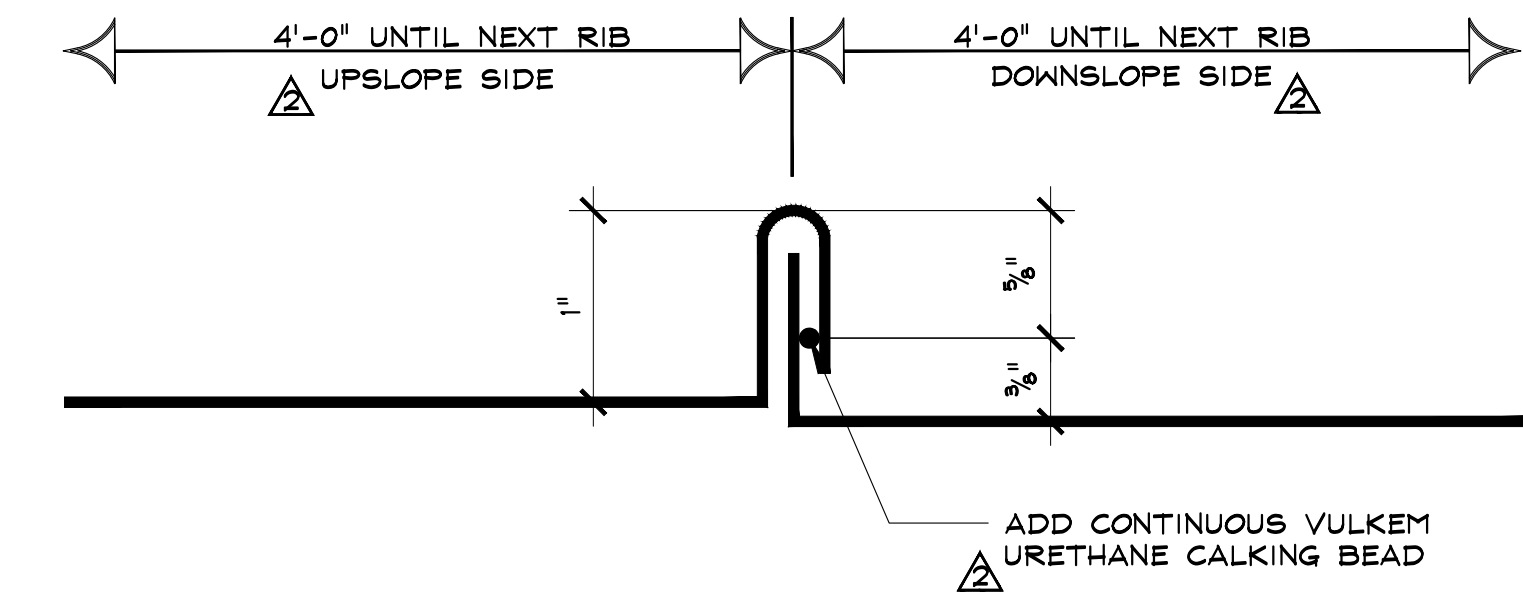
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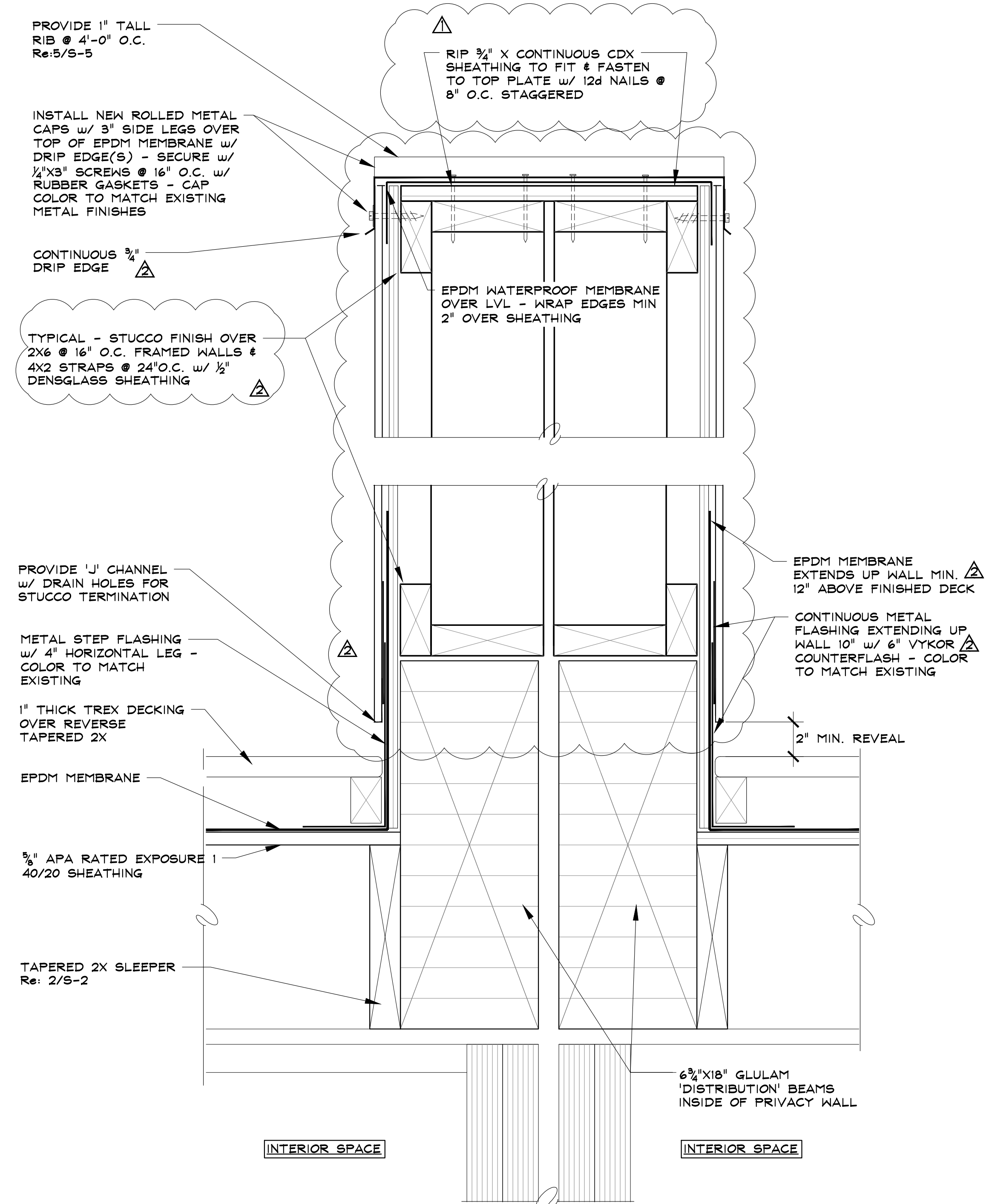
FLASHING /  
WATERPROOFING  
DETAILS

**S-5**

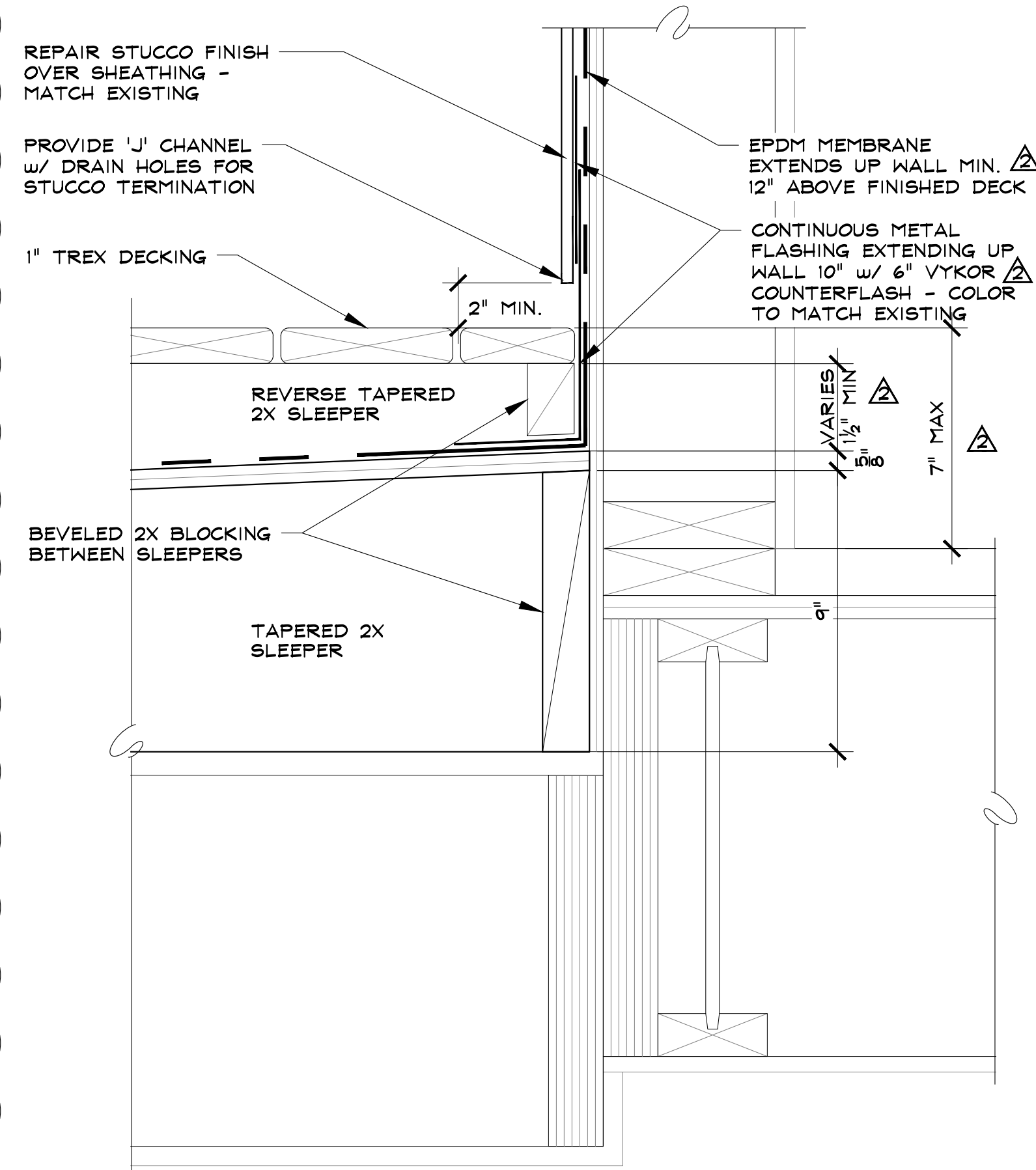
SHEET 6 of 13



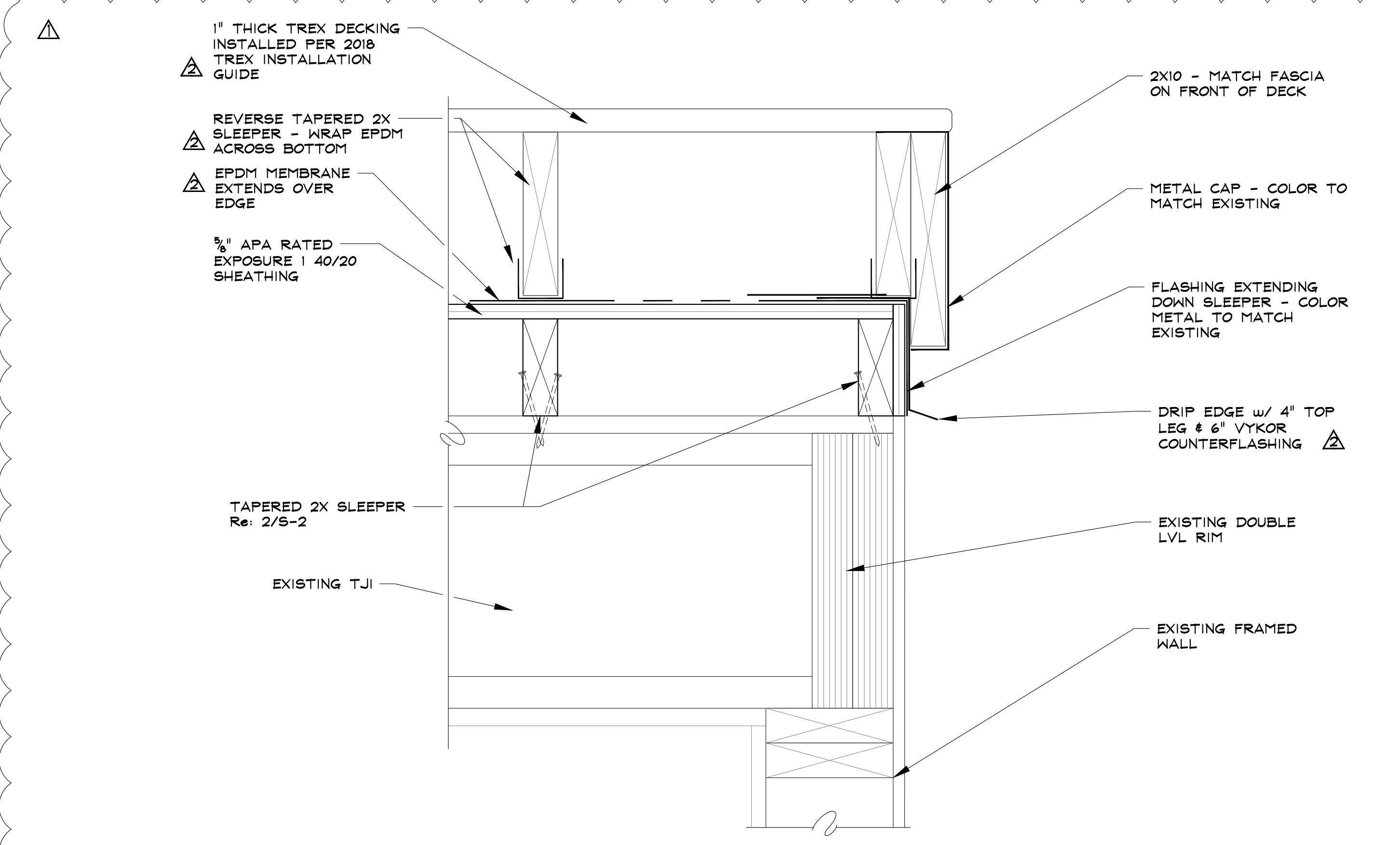
**5 METAL CAP RIB**  
EXPLODED VIEW SCALE: 1'-0" = 1'-0"



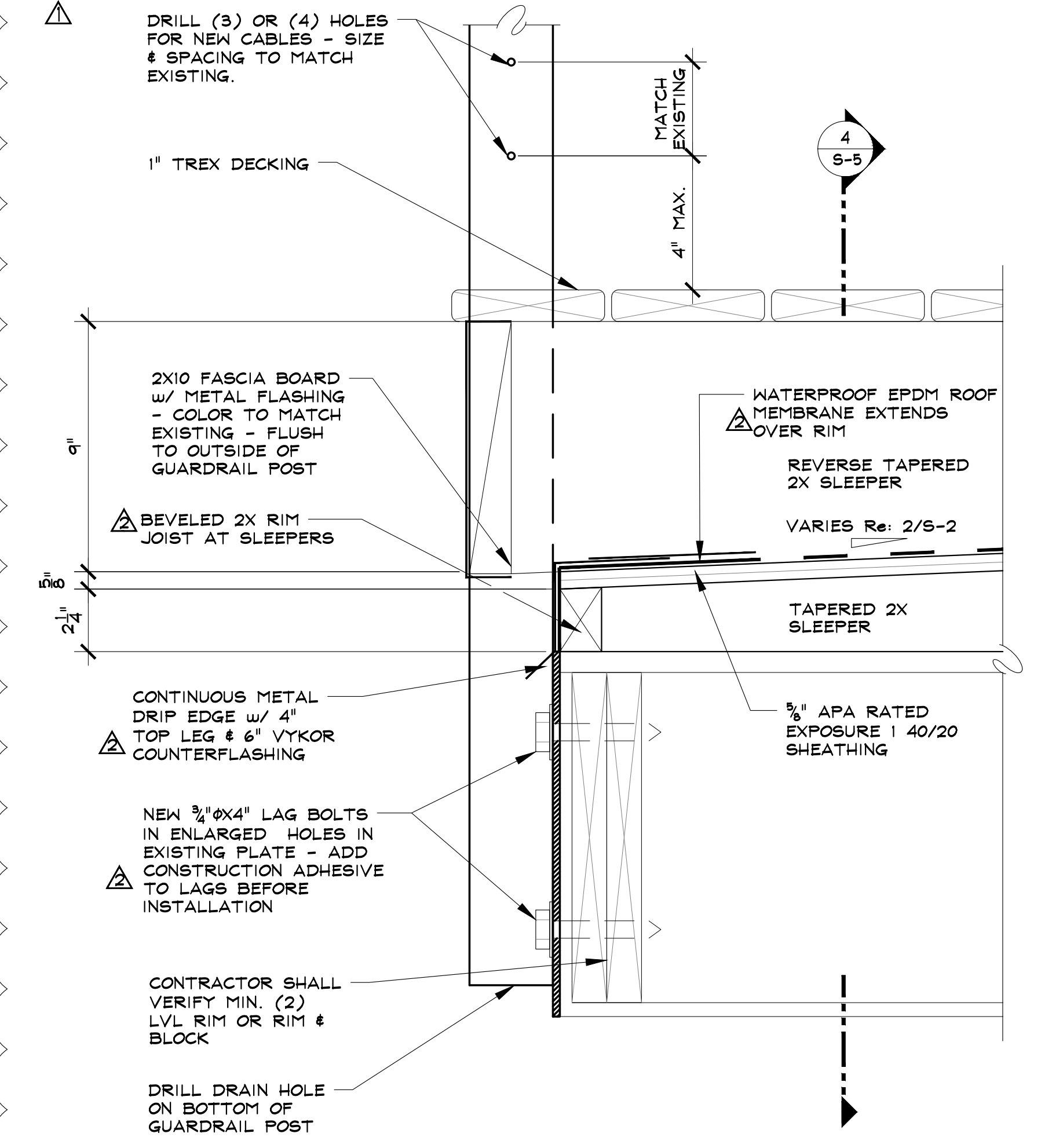
**1 FLASHING DETAIL - TYPICAL AT DIVIDER WALL**  
EXPLODED VIEW SCALE: 3" = 1'-0"



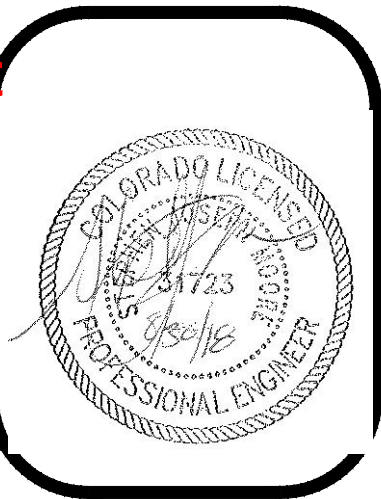
**2 NORTH END OF ROOF DECK**  
EXPLODED VIEW SCALE: 3" = 1'-0"



**4 ROOF DECK EDGE**  
EXPLODED VIEW SCALE: 3" = 1'-0"



**3 SOUTH END OF ROOF DECK**  
EXPLODED VIEW SCALE: 3" = 1'-0"



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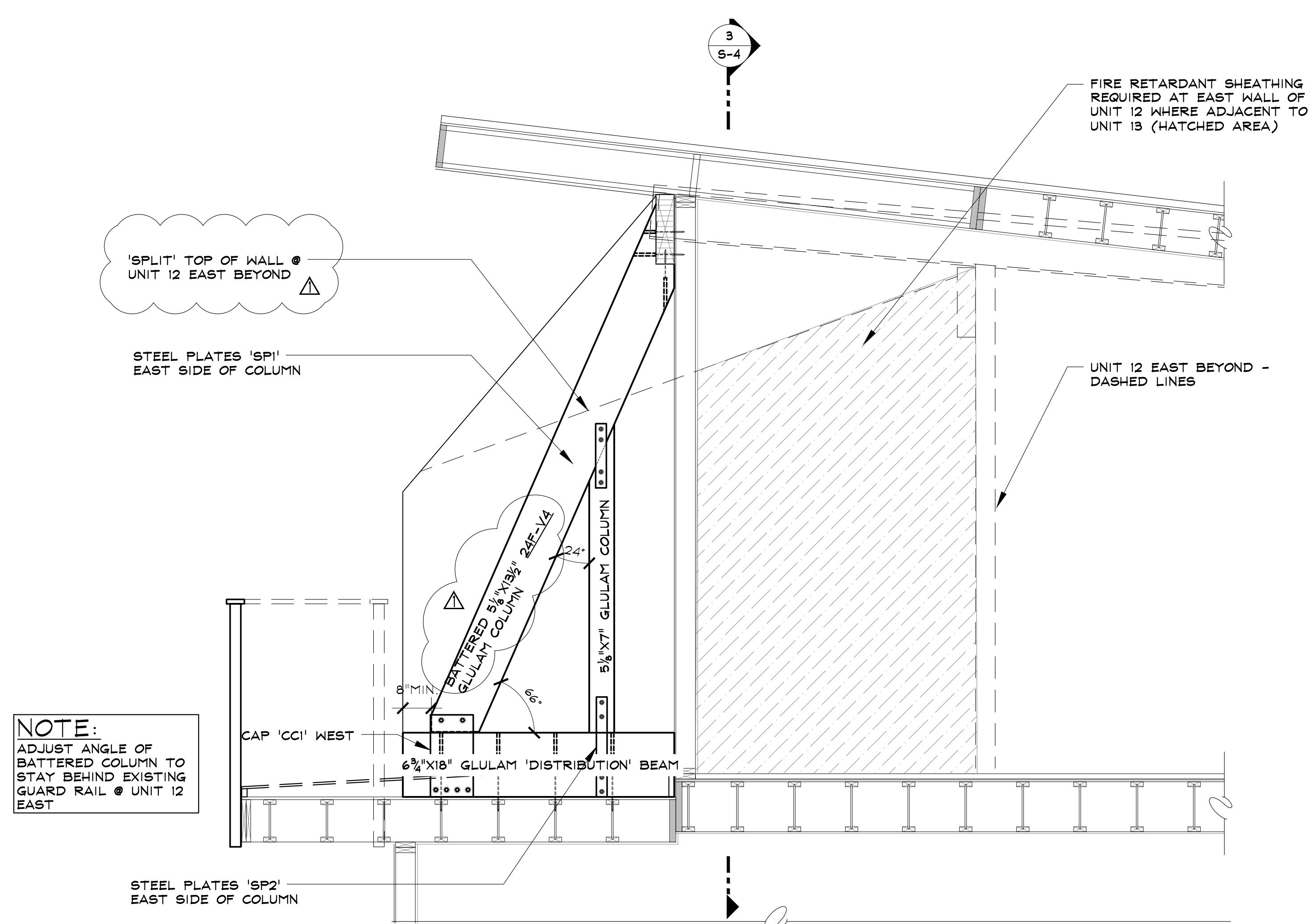
| ISSUE DATES                |          |
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SECTIONS  
THROUGH  
PRIVACY WALL  
UNITS 14-13

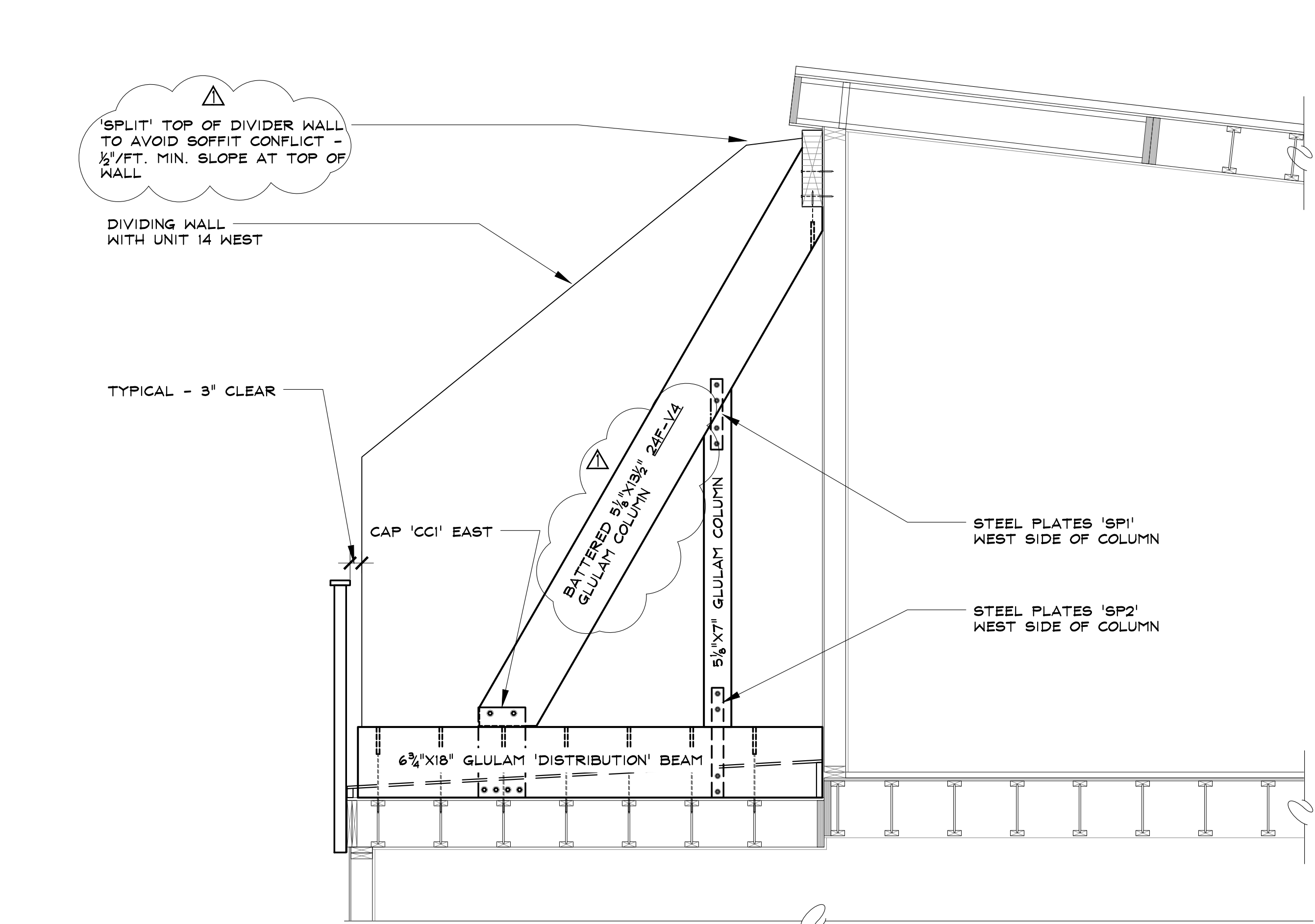
S-6

SHEET 7 of 13



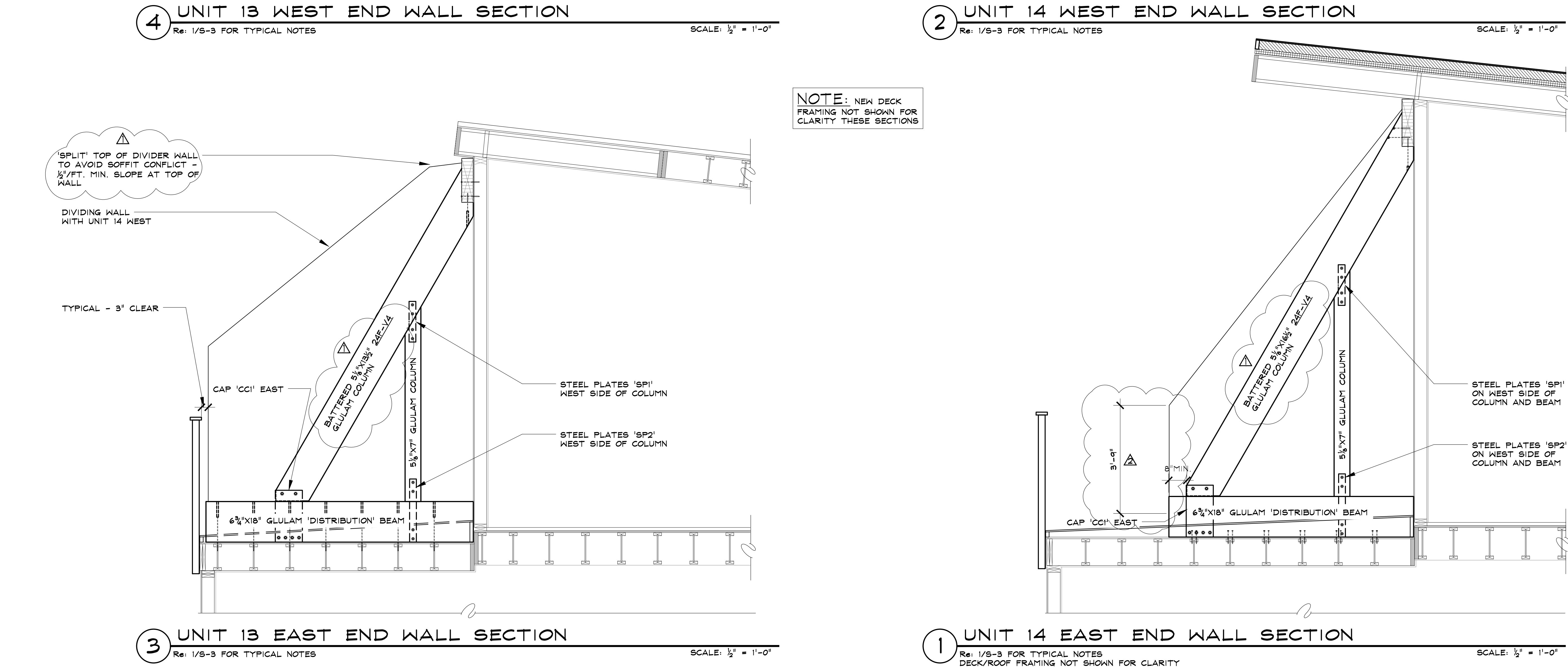
4 UNIT 13 WEST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES

SCALE: 1/2" = 1'-0"



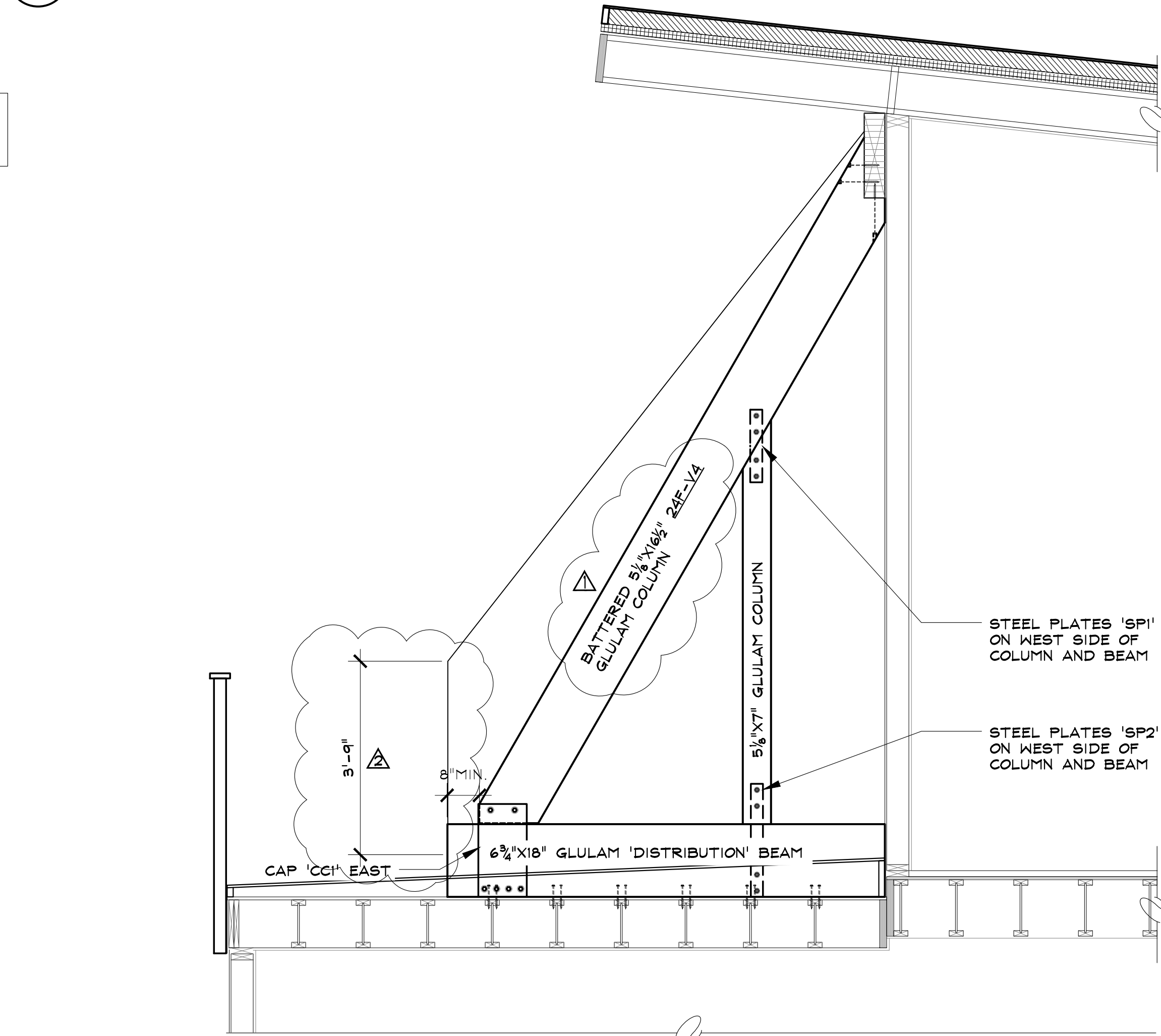
3 UNIT 13 EAST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES

SCALE: 1/2" = 1'-0"



2 UNIT 14 WEST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES

SCALE: 1/2" = 1'-0"



1 UNIT 14 EAST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
DECK/ROOF FRAMING NOT SHOWN FOR CLARITY

SCALE: 1/2" = 1'-0"



ROOF & DECK REPAIR - BUILDING 4  
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A REPAIR & RENOVATION FOR:  
RIVERFRONT PARK HOMEOWNERS ASSOCIATION

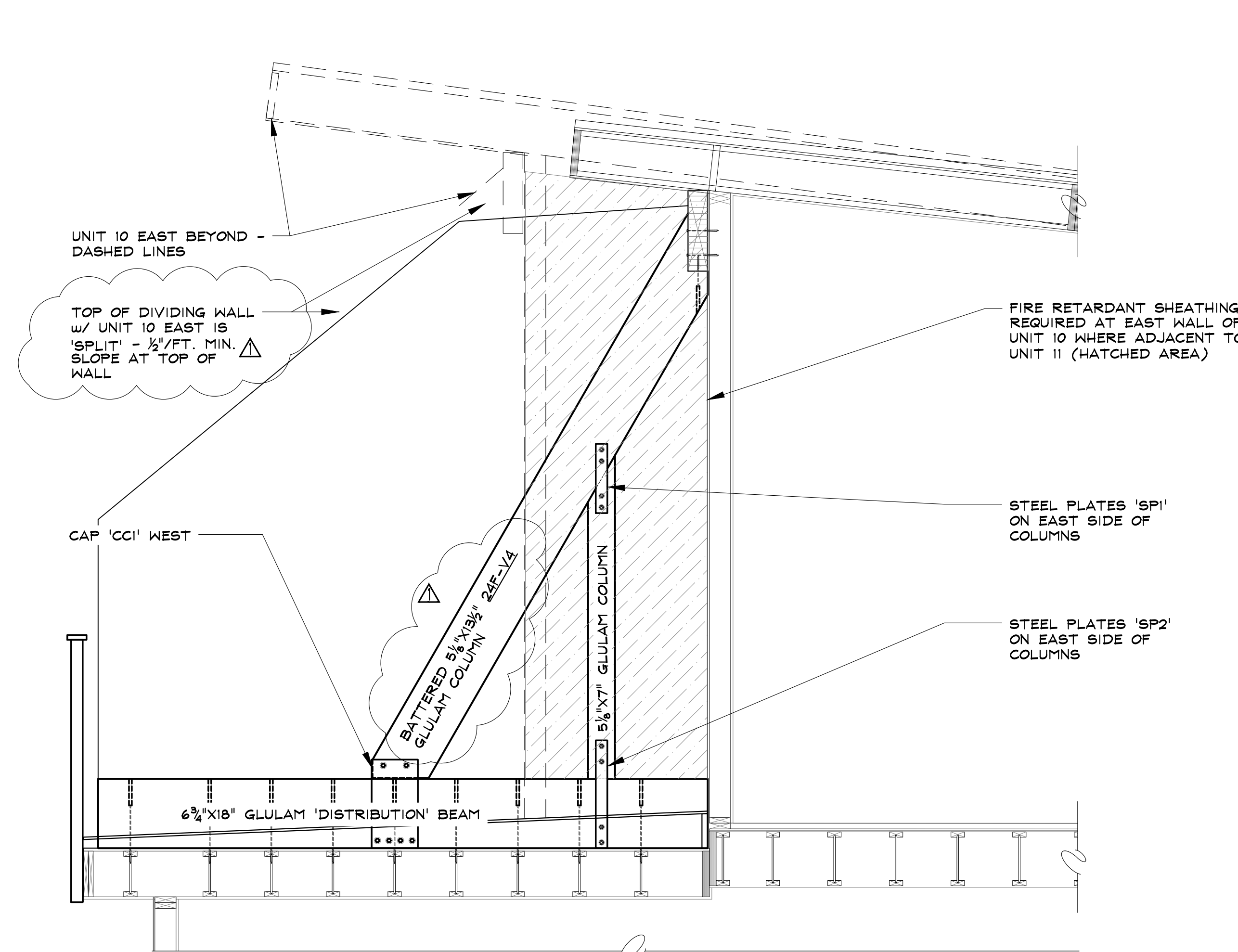
| ISSUE DATES                |          |
|----------------------------|----------|
| CONCEPTUAL                 | 05.03.18 |
| OWNER REVIEW               | 07.06.18 |
| PERMIT                     | 07.19.18 |
| REVISION 1 & ROOF ADDENDUM | 08.09.18 |
| REVISIONS                  | 08.30.18 |

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SJM/SWS  
PROJECT # 17075

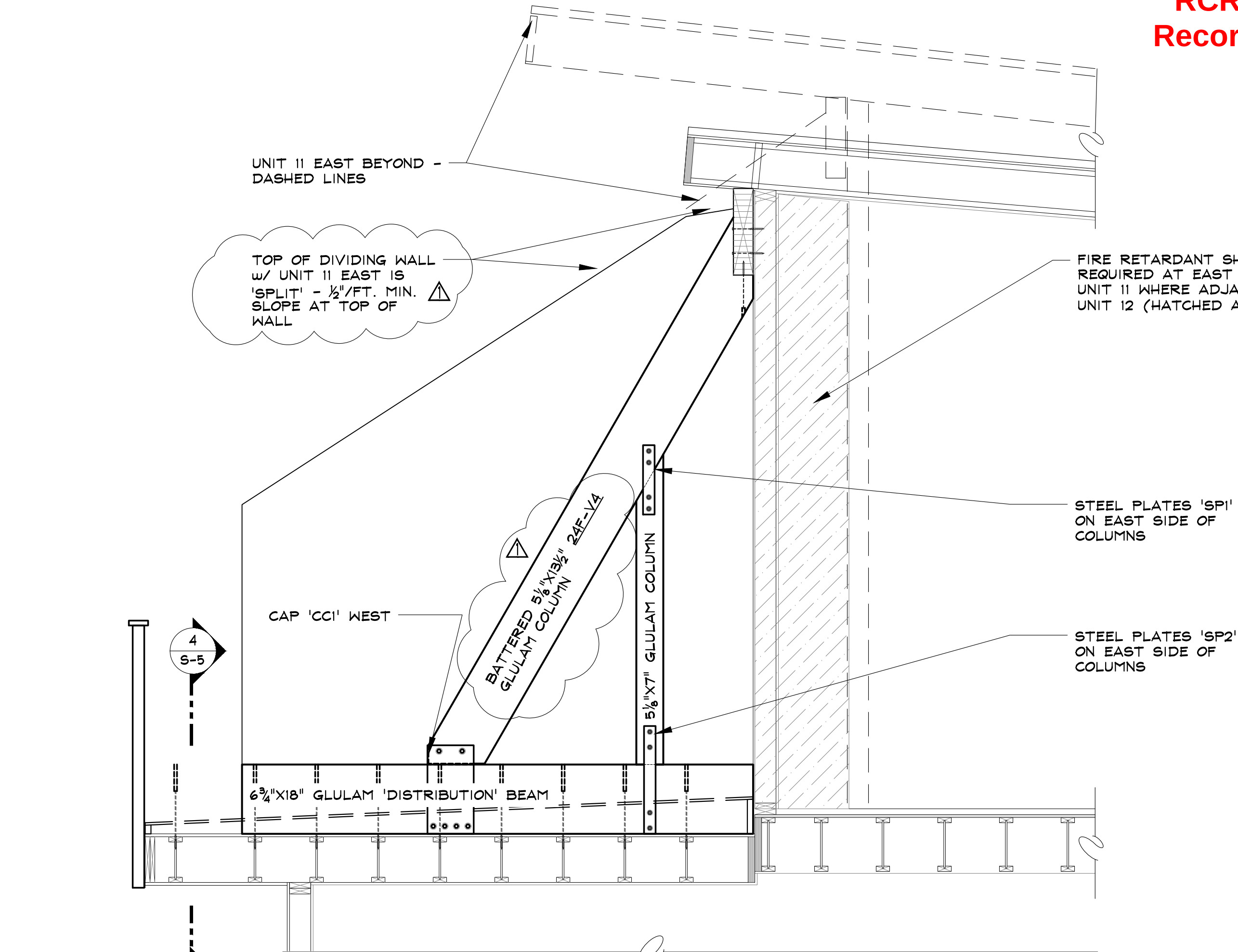
SECTIONS  
THROUGH  
PRIVACY WALL  
UNITS 12-11

S-7

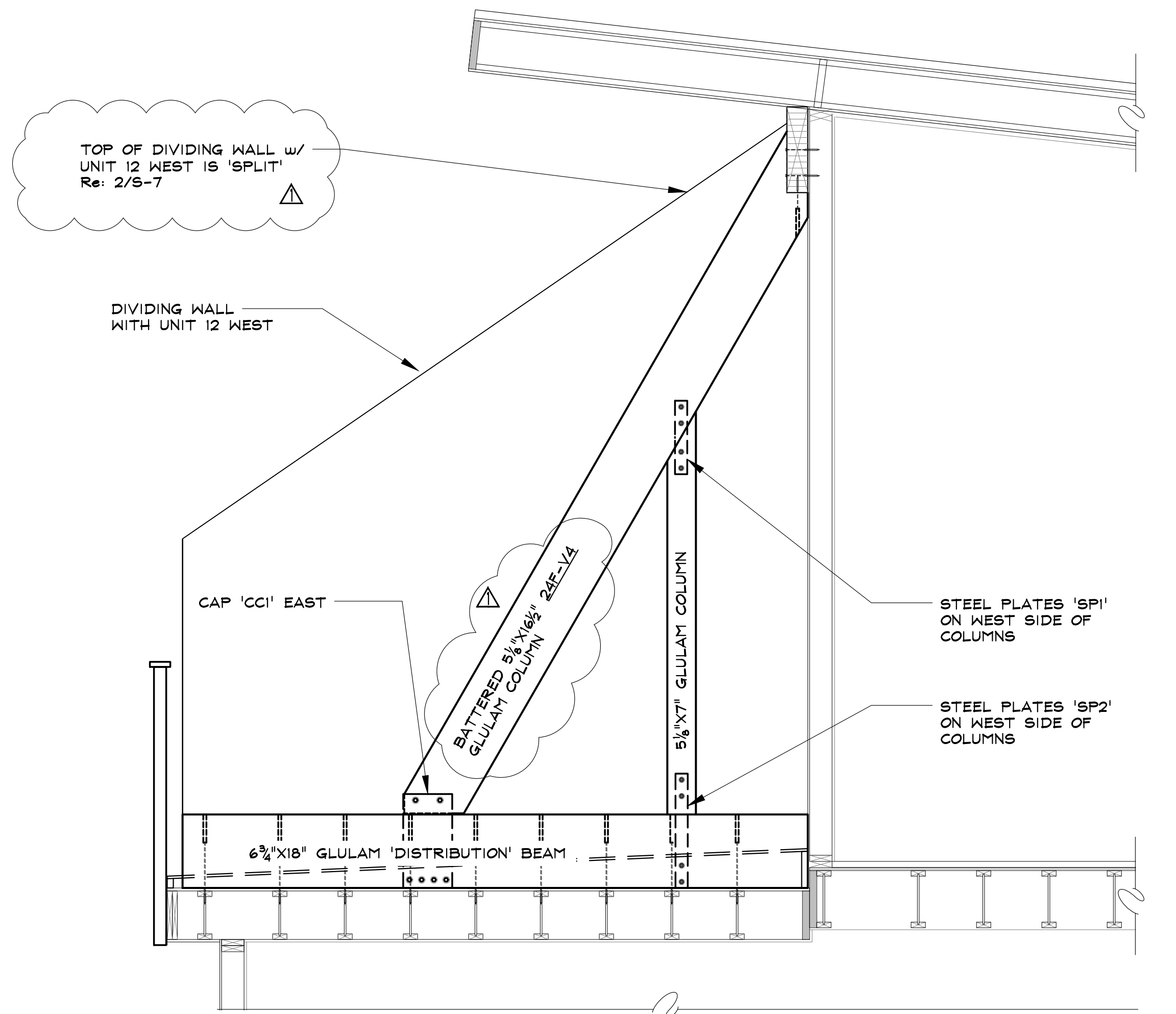
SHEET 8 of 13



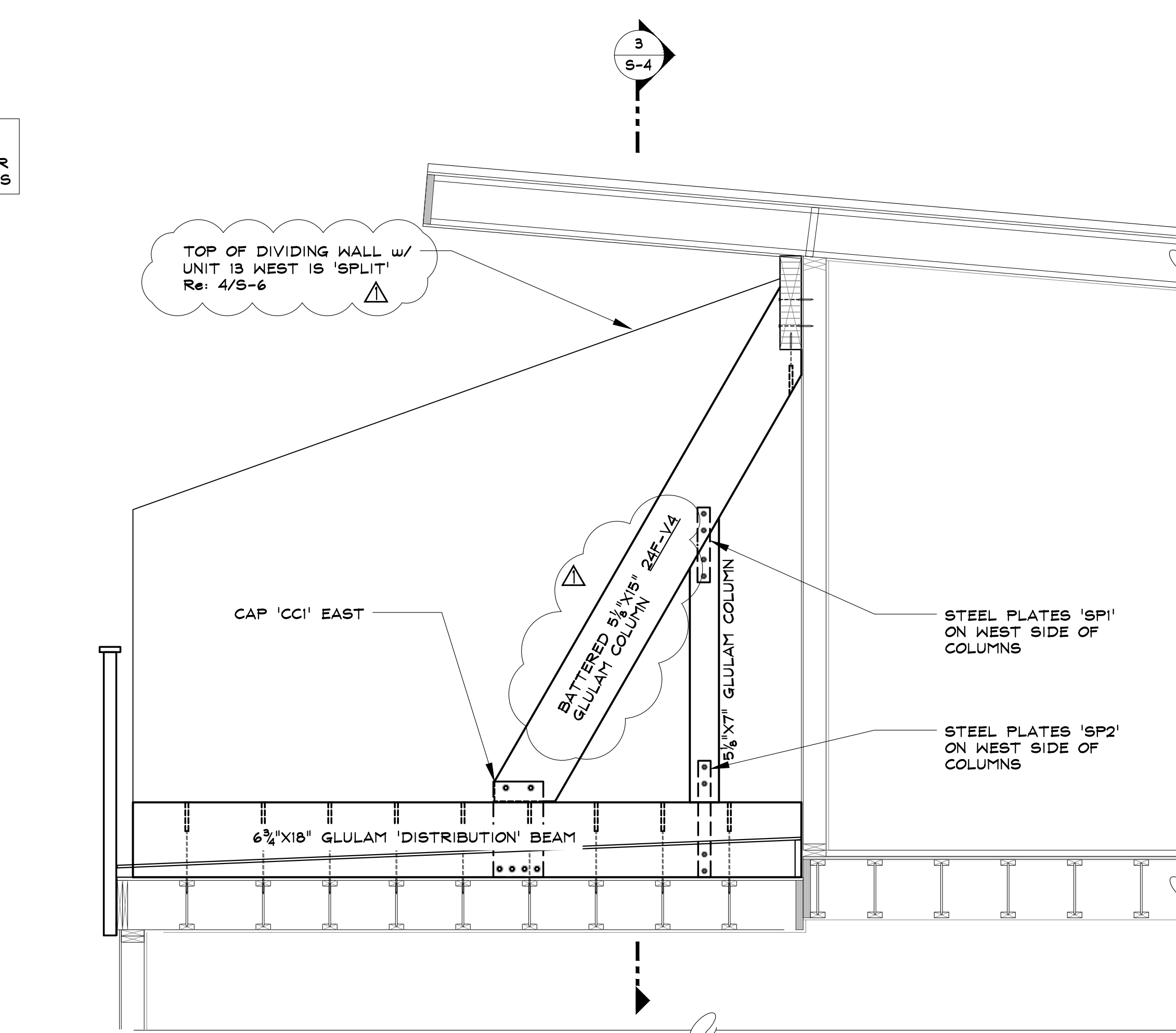
4 UNIT 11 WEST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
SCALE: 1/2" = 1'-0"



2 UNIT 12 WEST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
SCALE: 1/2" = 1'-0"



3 UNIT 11 EAST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
SCALE: 1/2" = 1'-0"



1 UNIT 12 EAST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
SCALE: 1/2" = 1'-0"

NOTE: NEW DECK  
FRAMING NOT SHOWN FOR  
CLARITY THESE SECTIONS



ROOF & DECK REPAIR - BUILDING 4  
1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO  
A REPAIR & RENOVATION FOR:  
RIVERFRONT PARK HOMEOWNERS ASSOCIATION

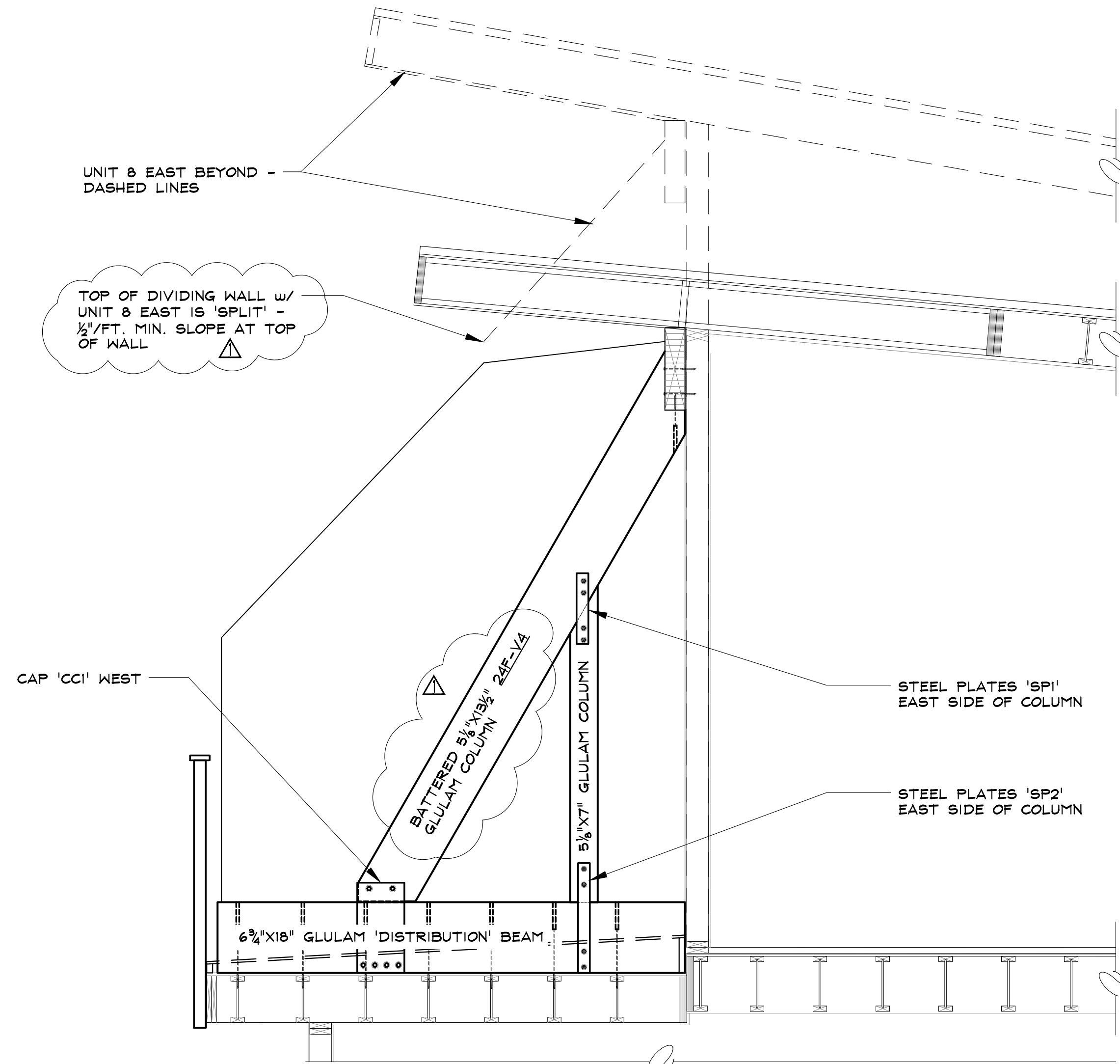
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|-------------|----------------------------|
| 05.03.18    | CONCEPTUAL                 |
| 07.06.18    | OWNER REVIEW               |
| 07.19.18    | PERMIT                     |
| 08.09.18    | REVISION 1 & ROOF ADDENDUM |
| 08.30.18    | REVISIONS                  |

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PROJECT # 17075

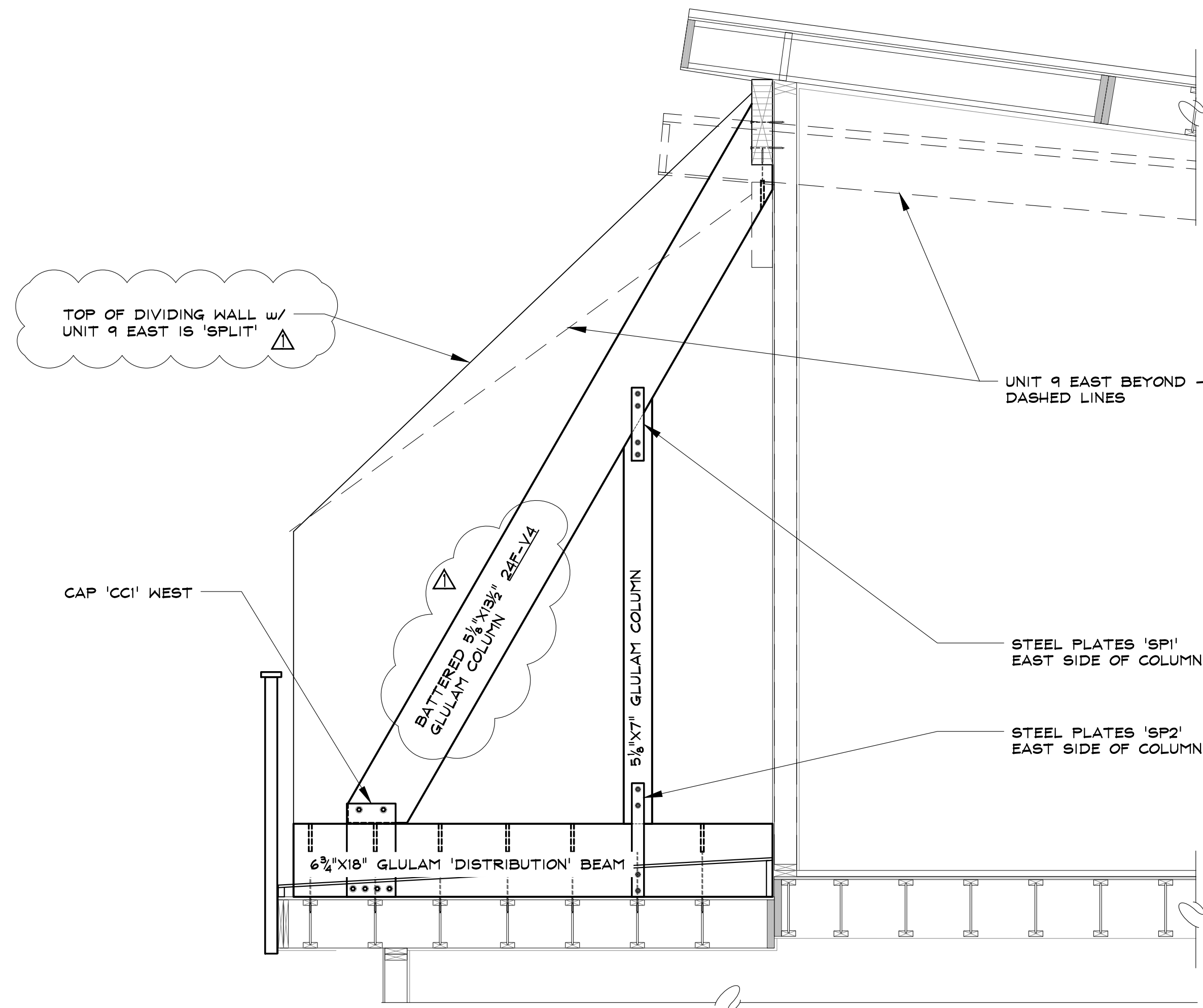
SECTIONS  
THROUGH  
PRIVACY WALL  
UNITS 10-9

S-8

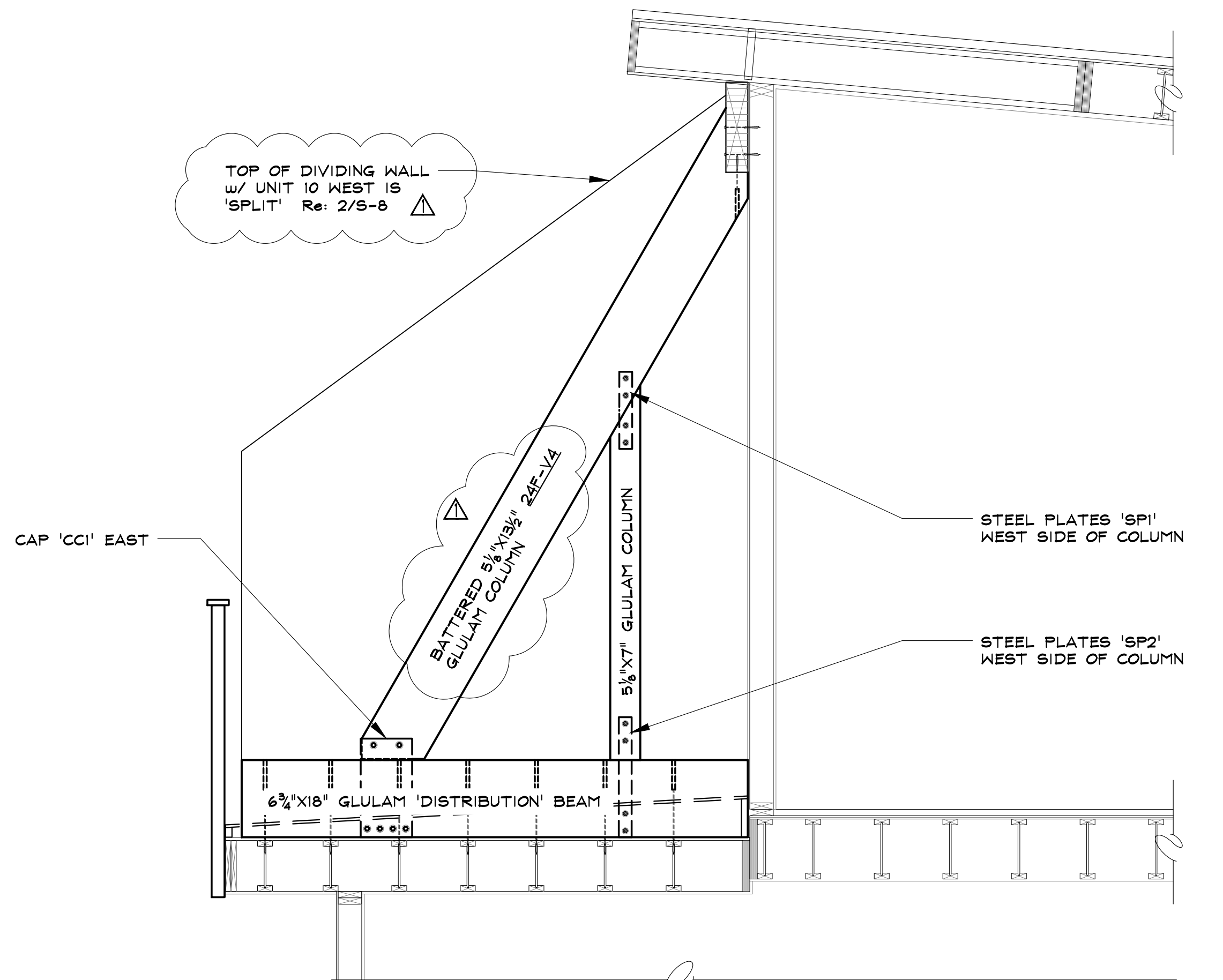
SHEET 9 of 13



4 UNIT 9 WEST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
SCALE: 1/2" = 1'-0"

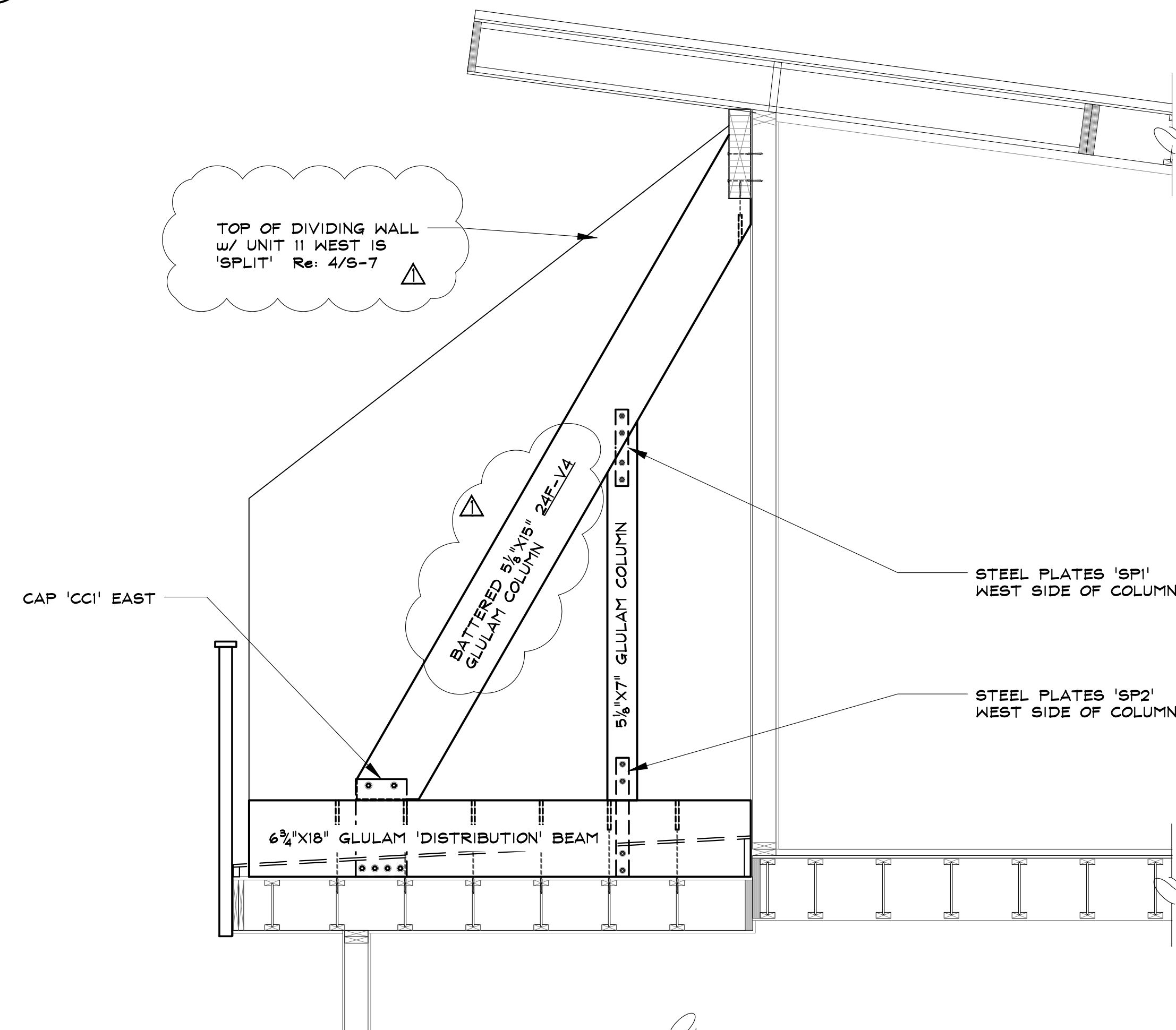


2 UNIT 10 WEST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
SCALE: 1/2" = 1'-0"



3 UNIT 9 EAST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
SCALE: 1/2" = 1'-0"

NOTE: NEW DECK  
FRAMING NOT SHOWN FOR  
CLARITY THESE SECTIONS



1 UNIT 10 EAST END WALL SECTION  
Re: 1/5-3 FOR TYPICAL NOTES  
SCALE: 1/2" = 1'-0"



ROOF & DECK REPAIR - BUILDING 4  
1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO  
A REPAIR & RENOVATION FOR:  
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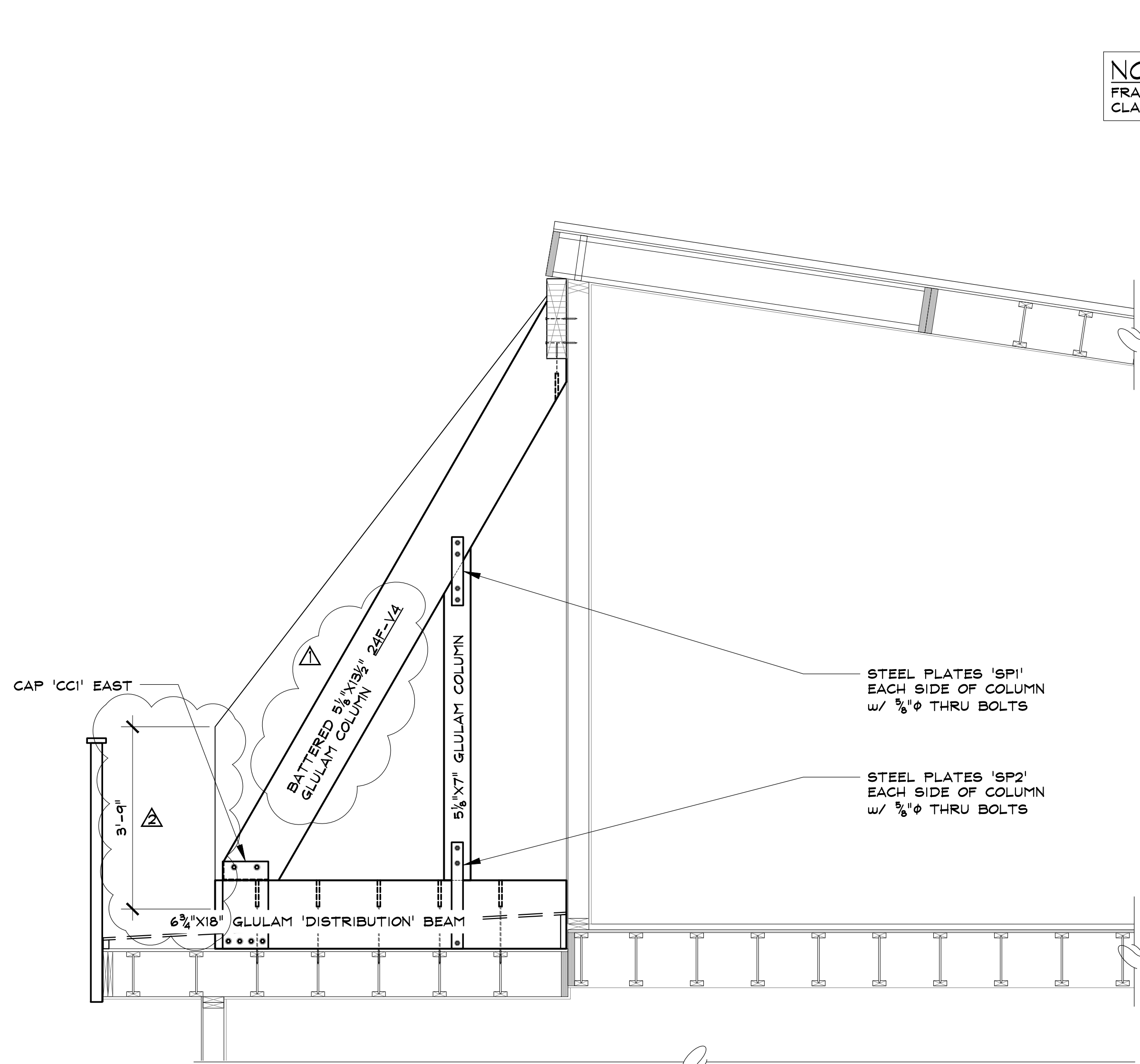
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|-------------------|--------------|
| CONCEPTUAL        | 05 . 03 . 18 |
| OWNER REVIEW      | 07 . 06 . 18 |
| PERMIT            | 07 . 19 . 18 |
| REVISION 1 & ROOF | 08 . 09 . 18 |
| ADDENDUM          | 08 . 30 . 18 |

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PROJECT # 17075

SECTIONS  
THROUGH  
PRIVACY WALL  
UNIT 8

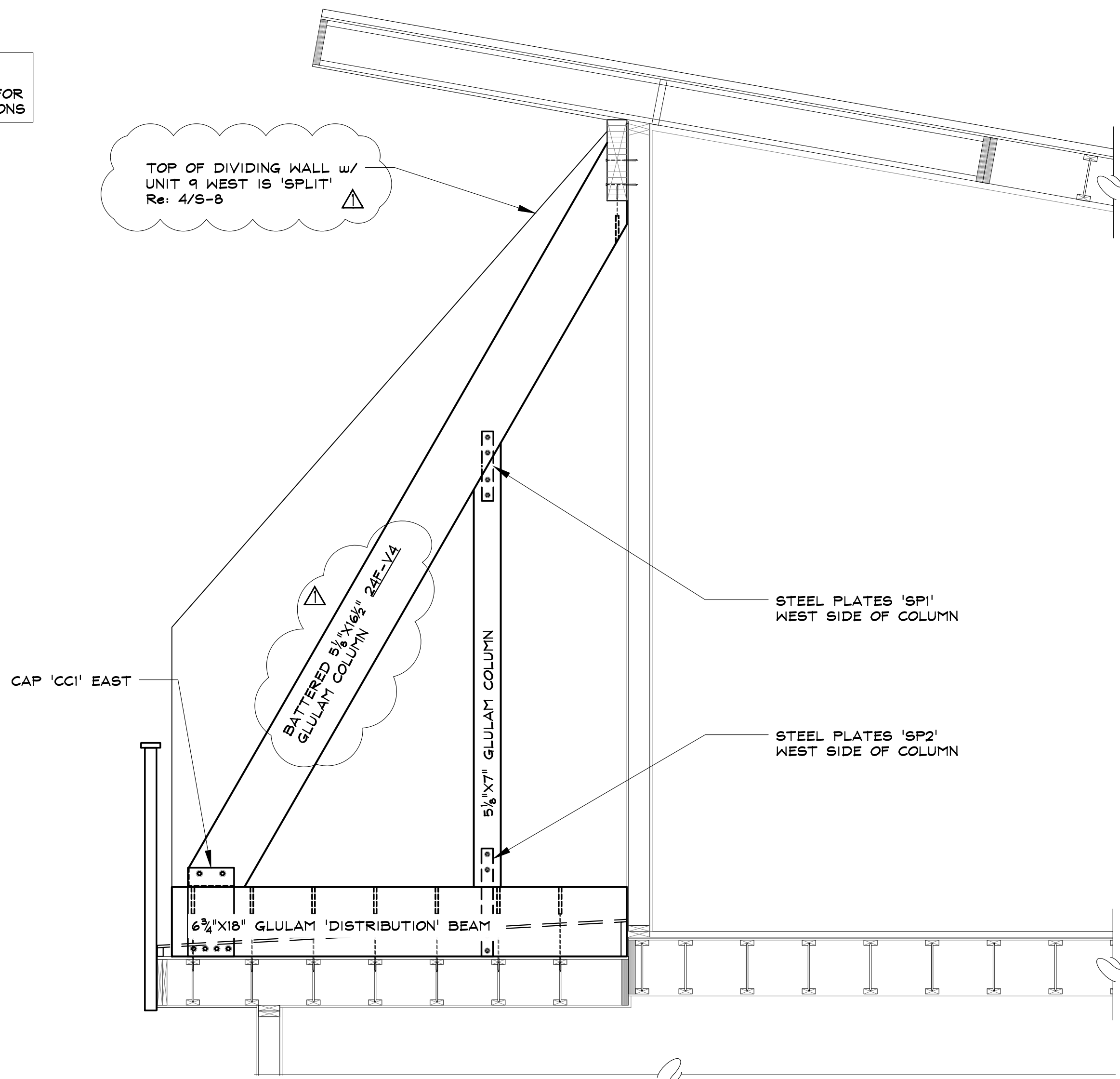
S-9

SHEET 10 of 13



2 UNIT 8 WEST END WALL SECTION  
Re: 1/S-3 FOR TYPICAL NOTES

SCALE: 1/2" = 1'-0"



1 UNIT 8 EAST END WALL SECTION  
Re: 1/S-3 FOR TYPICAL NOTES

SCALE: 1/2" = 1'-0"



ROOF & DECK REPAIR - BUILDING 4  
1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO  
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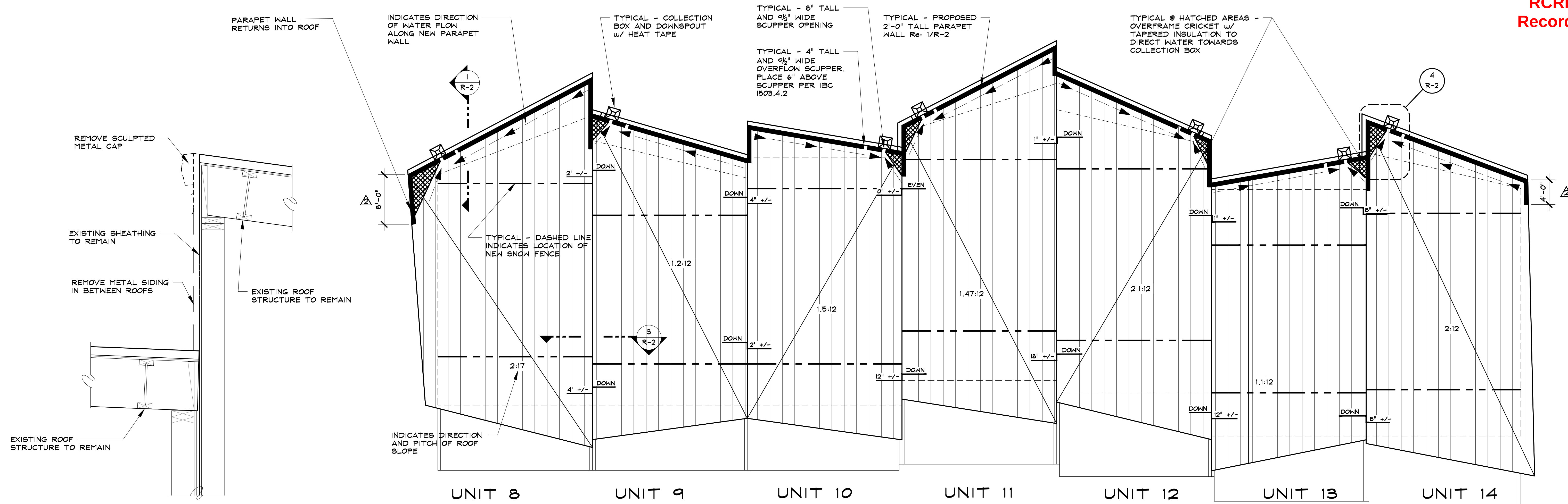
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| 07.06.18    | OWNER REVIEW               |
| 07.19.18    | PERMIT                     |
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| 08.30.18    | REVISIONS                  |

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PROJECT # 17075

ROOF DEMO PLAN,  
SECTION, AND  
PARAPET PLAN

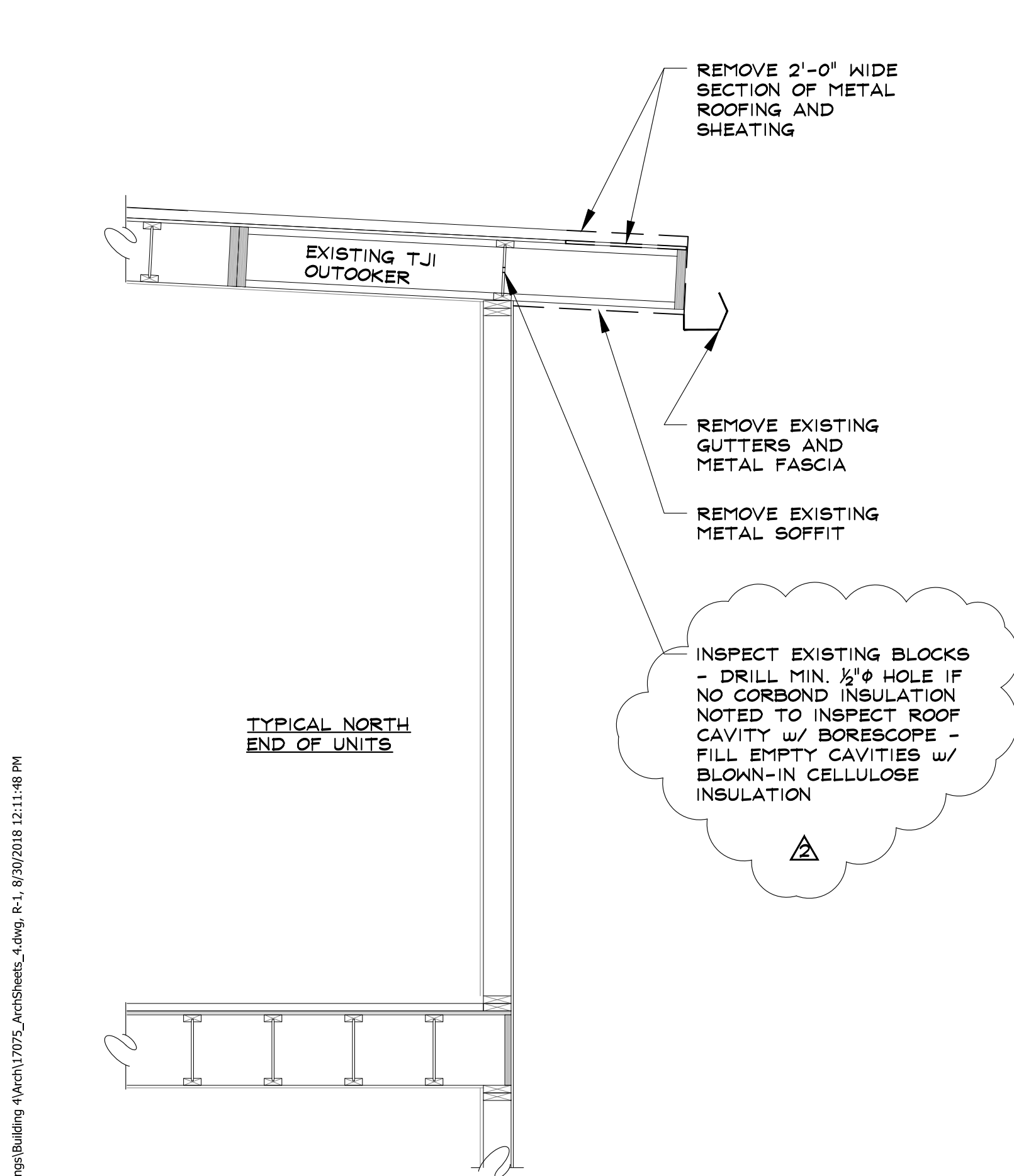
**R-1**

SHEET 11 of 13

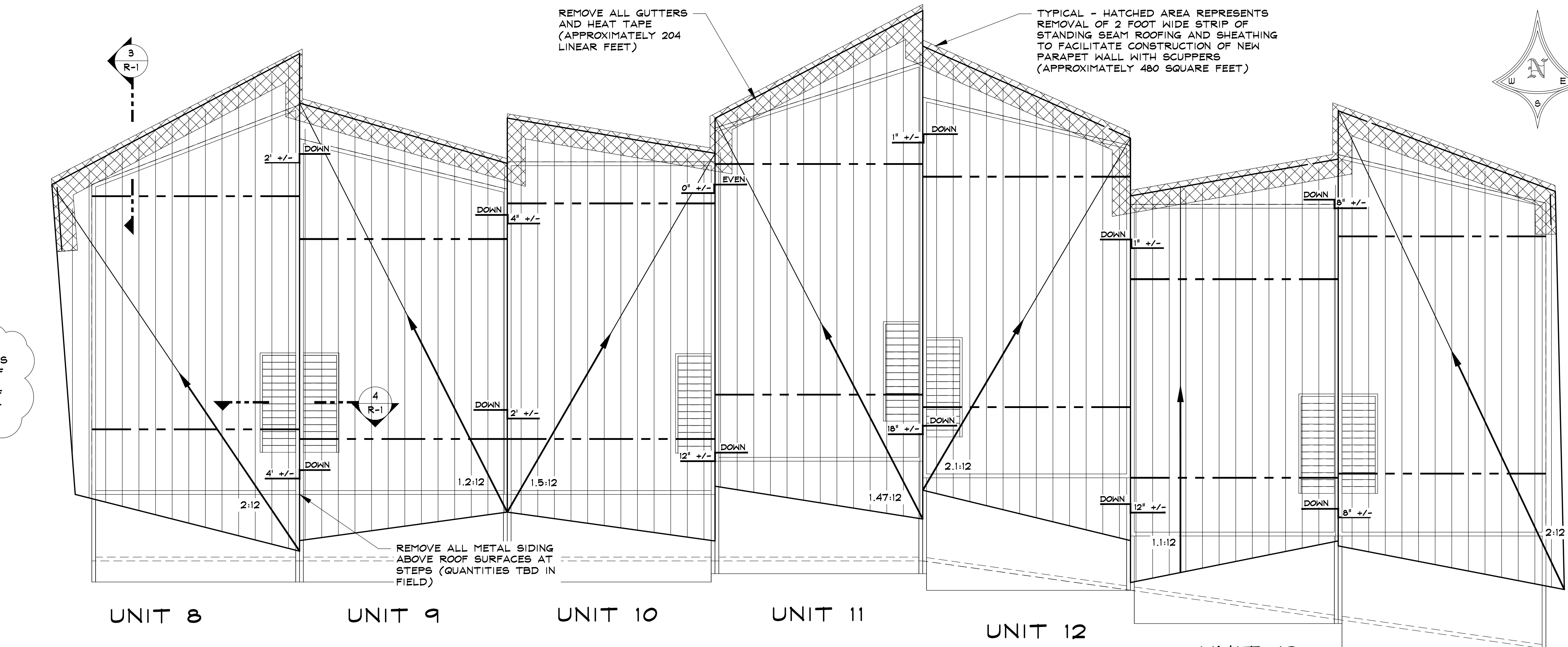


4 DEMOLITION AT ROOF STEP  
SCALE: 1" = 1'-0"

2 BUILDING 4 PROPOSED PARAPET WALL & DRAINAGE PLAN A  
SCALE: 3/8" = 1'-0"

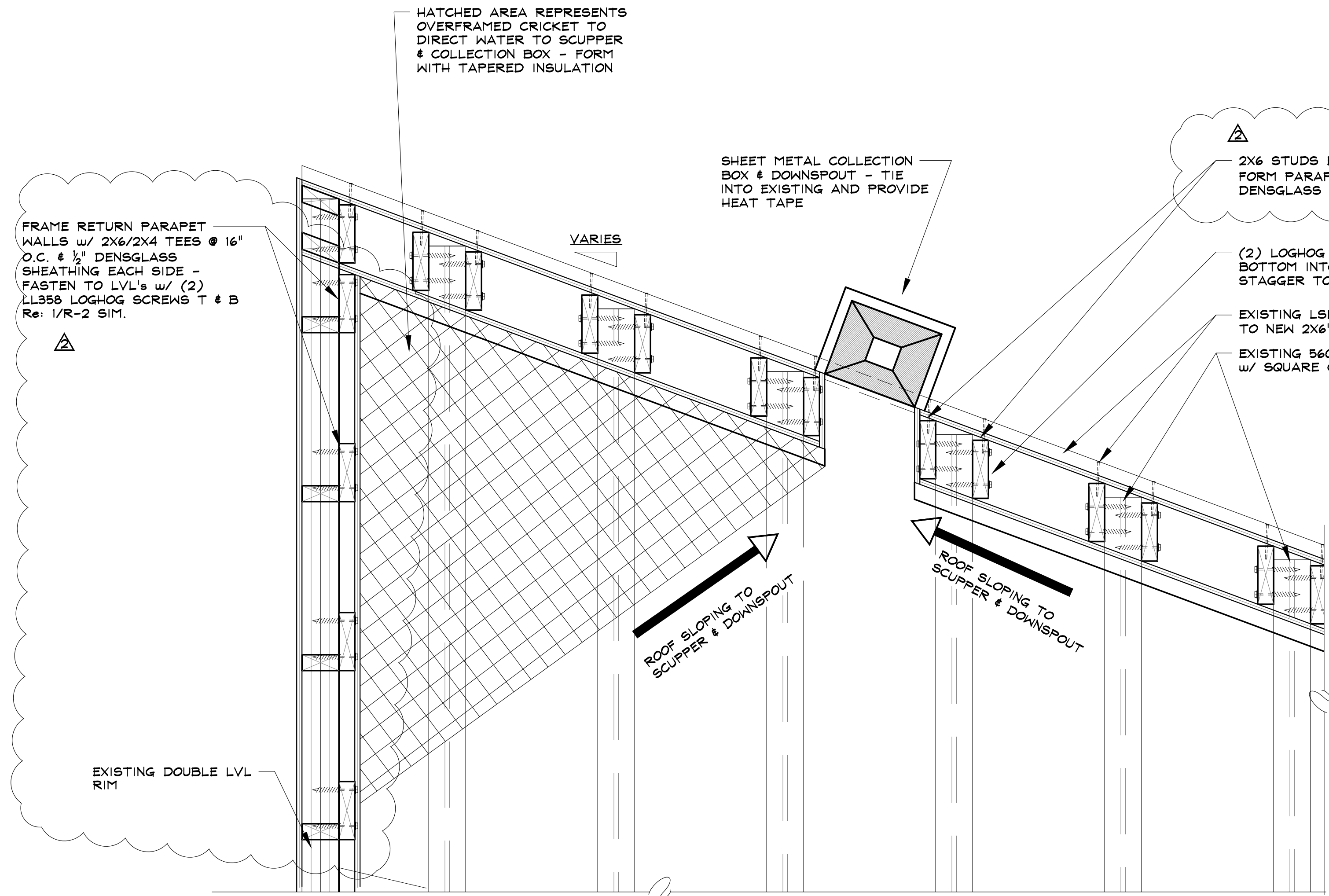


3 NORTH EAVE DEMOLITION SECTION  
APPROXIMATELY 204 LINEAR FT. OF GUTTER TO REMOVE  
SCALE: 1/2" = 1'-0"



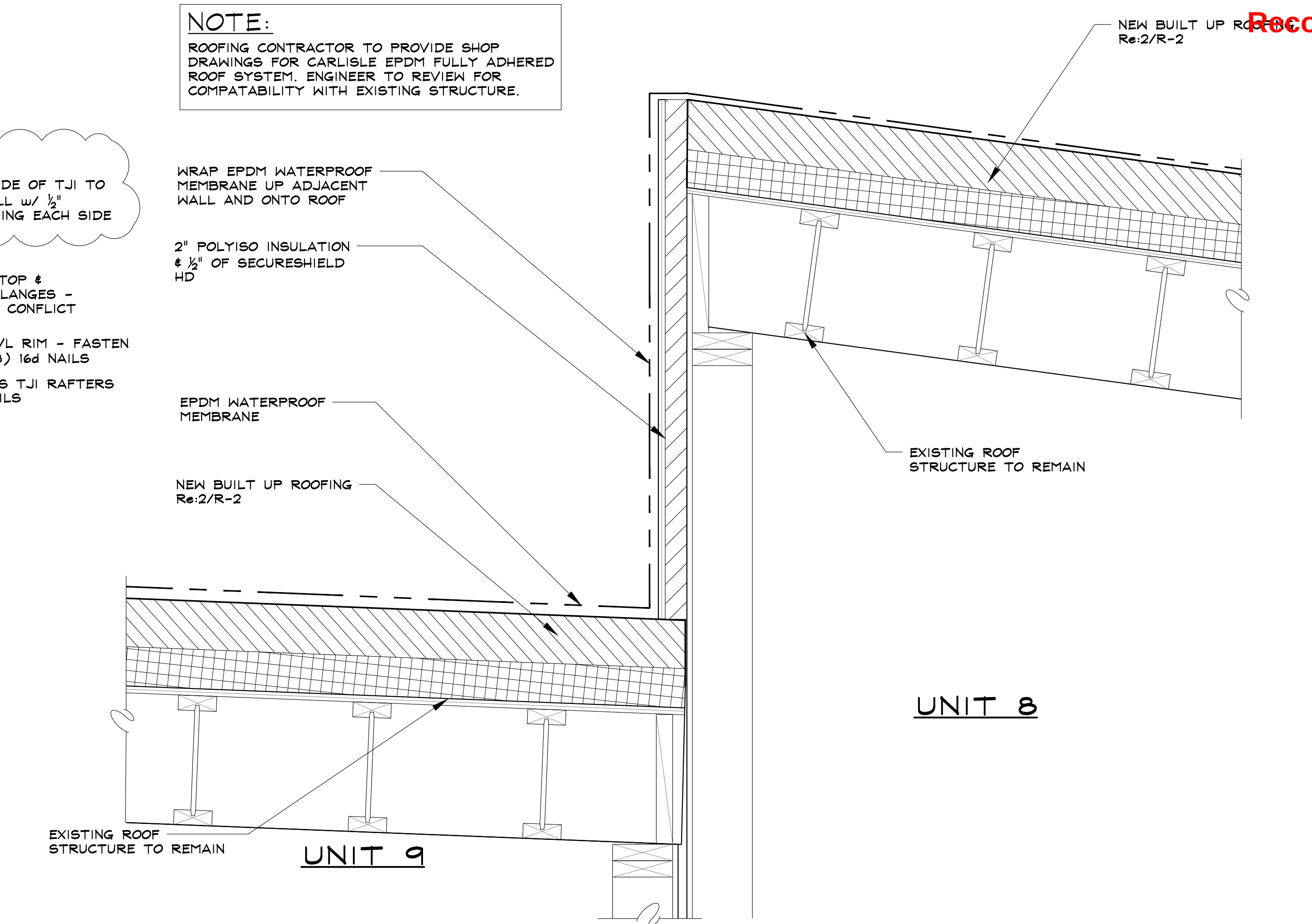
1 ROOF DEMOLITION PLAN  
APPROXIMATELY 8,822 SQ. FT. OF ROOF  
SCALE: 3/8" = 1'-0"

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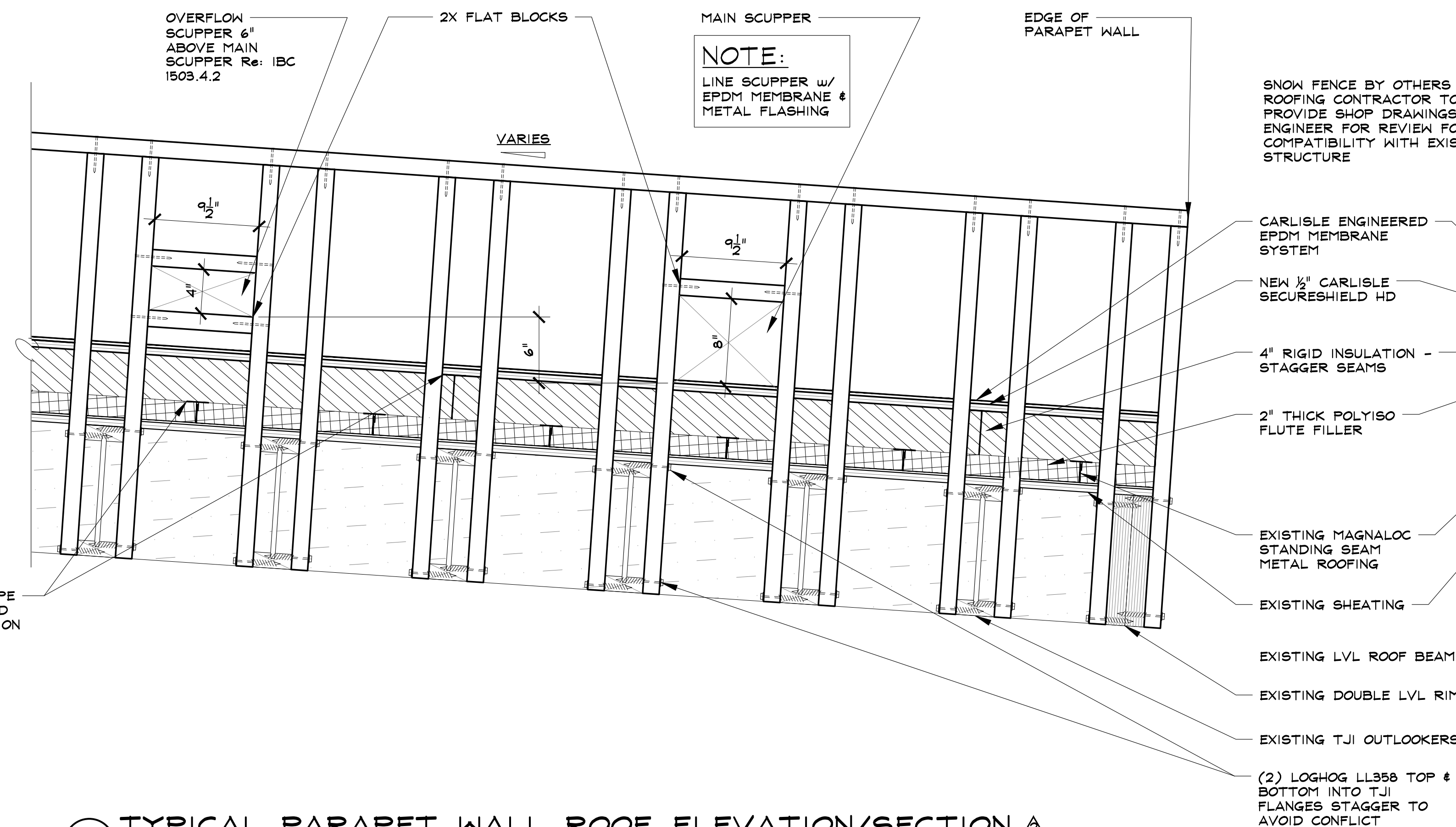
4 TYPICAL PARAPET WALL DETAIL A

SCALE: 1/2" = 1'-0"



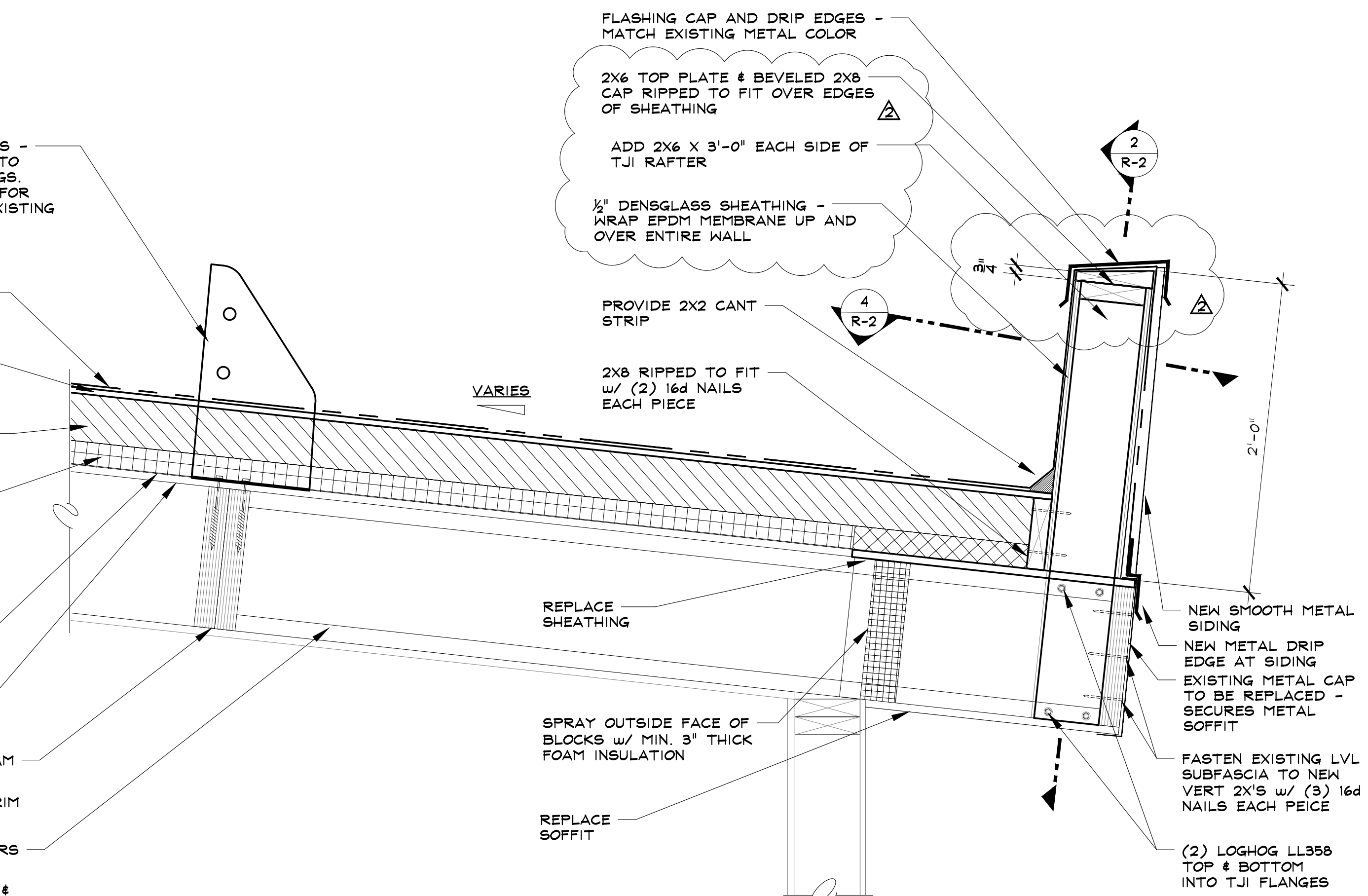
3 PROPOSED SECTION AT ROOF STEP(S)

SCALE: 1/2" = 1'-0"



2 TYPICAL PARAPET WALL ROOF ELEVATION/SECTION A

SCALE: 1/2" = 1'-0"

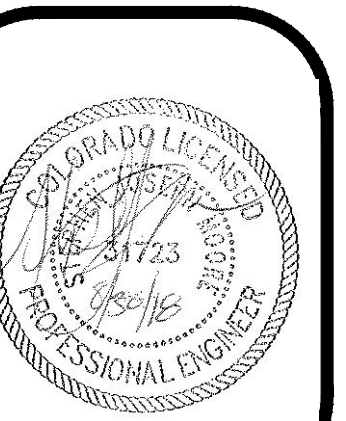


1 TYPICAL PARAPET WALL SECTION

NEW ROOF PROVIDES R-37.5 CONTINUOUS INSULATION TO SATISFY IECC TABLE C.402.1.3  
TYPICAL - NEW METAL CAPS, FLASHINGS & SIDING TO MATCH COLOR OF EXISTING METAL FLASHINGS & SOFFIT

SCALE: 1/2" = 1'-0"

RCRBD  
Record Set



**SEAD**  
Steamboat Engineering And Design, Inc.  
2740 Acree Lane Suite E, Steamboat Springs, CO 80487  
Phone: 970.871.9111, 877.1.9089  
E-mail: jake@seadinc.com

ROOF & DECK REPAIR - BUILDING 4

1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO

A REPAIR & RENOVATION FOR:  
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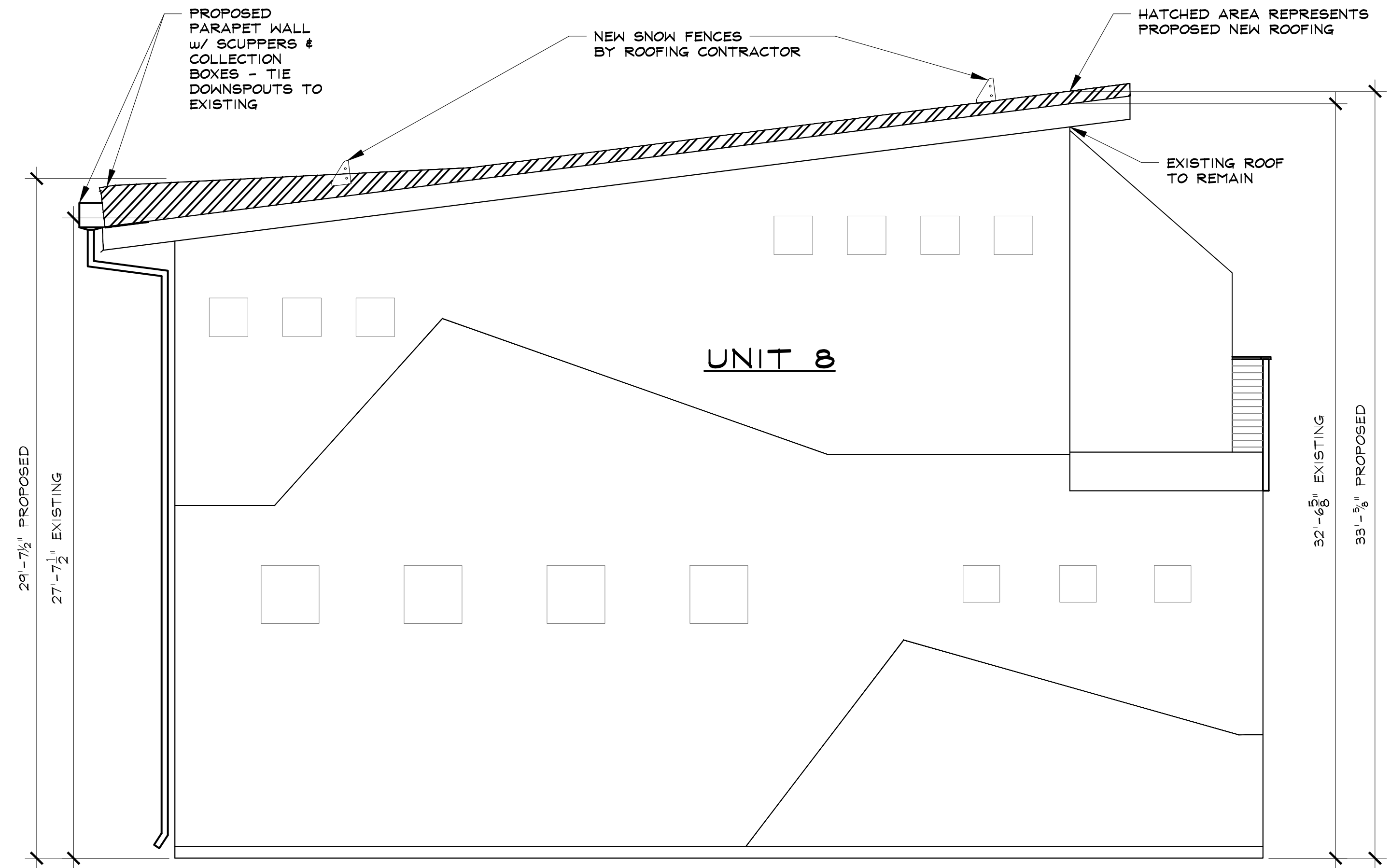
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CONCEPTUAL 05.03.18  
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PERMIT 07.19.18  
REVISION 1 & ROOF ADDENDUM  
08.09.18  
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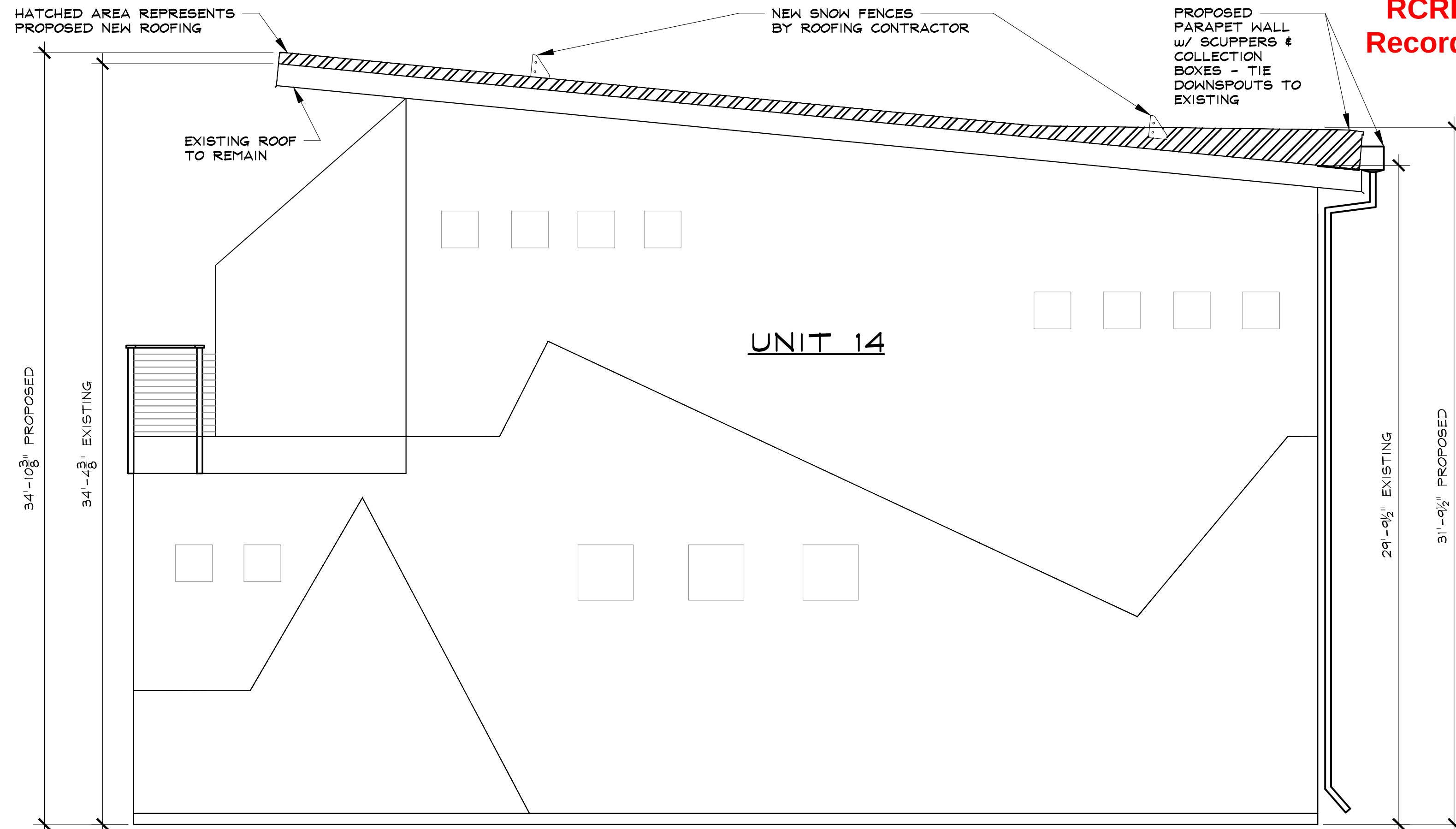
PROPOSED PARAPET AND ROOF SECTIONS

R-2

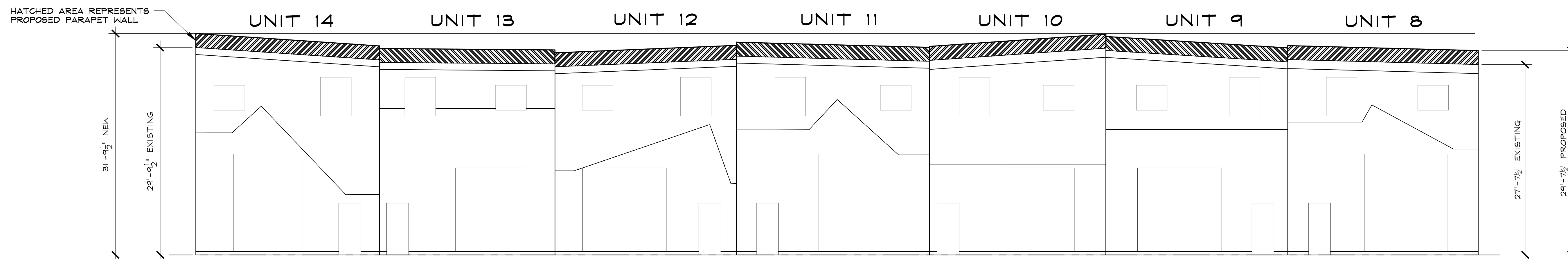
SHEET 12 OF 13



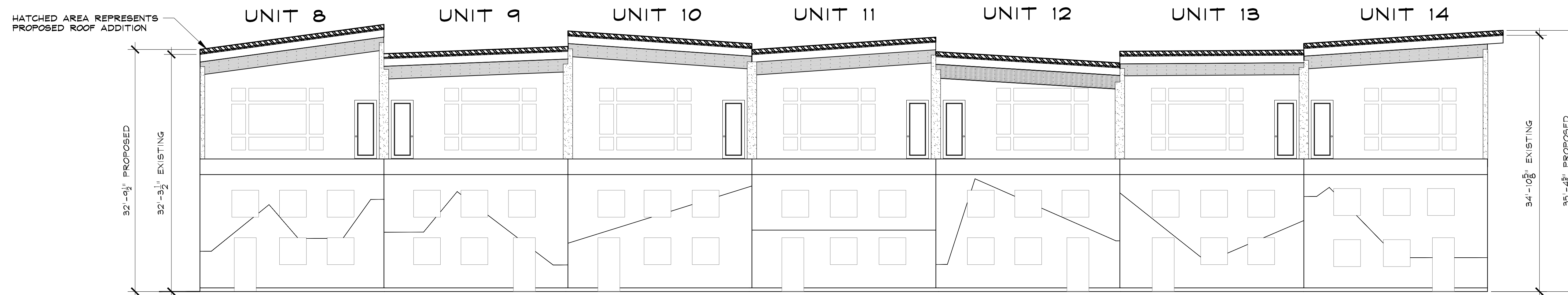
4 BUILDING 4 UNIT 8 - PROPOSED EAST ELEVATION SCALE: 1/4" = 1'-0"



3 BUILDING 4 UNIT 14 - PROPOSED WEST ELEVATION SCALE: 1/4" = 1'-0"



2 BUILDING 4 PROPOSED NORTH ELEVATION SCALE: 1/8" = 1'-0"



1 BUILDING 4 EXISTING SOUTH ELEVATION SCALE: 1/8" = 1'-0"

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BASED ON DRAWINGS BY ARCHITECTURE ONE DATED 08.22.07  
FOR RCRBD PERMIT SB-06-732

RCRBD  
Record Set



ROOF & DECK REPAIR - BUILDING 4  
1900 BRIDGE LANE  
STEAMBOAT SPRINGS, COLORADO  
A REPAIR & RENOVATION FOR:  
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| ISSUE DATES                |          |
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| REVISIONS                  | 08.30.18 |

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PROJECT # 17075

PROPOSED  
ELEVATIONS

R-3

SHEET 13 of 13