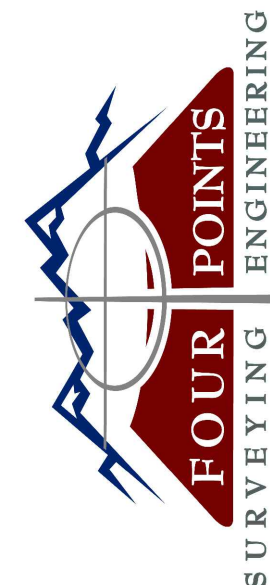


LOT 25
MOUNTAIN VIEW ESTATES,
FILING NO. 1

**REVIEWED
FOR
CODE
COMPLIANCE**
11/15/2024



**440 S. Lincoln Ave, Suite 4A
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
www.fourpointsse.com**

[illegible]

**LOT 20 MOUNTAIN VIEW ESTATES,
FILING NO.1
150 STEAMBOAT BOULEVARD
STEAMBOAT SPRINGS, CO**

Horizontal Scale



Contour Interval = 1 ft

DATE: 05-03-2024

JOB #: 1046-021

DRAWN BY: DSC

DESIGN BY: DSC

REVIEW BY: WNM

DRAWING:

SHEET #

EXISTING CONDITIONS PLAN

C2



GENERAL NOTES:

1. OWNER: MCENTEE GROUP, LLC
2. FIELD SURVEYING COMPLETED 5-11-2015 BY FOURPOINTS SURVEYING AND ENGINEERING.
3. TOPOGRAPHIC DATA GENERATED FROM FIELD SURVEY DATA.
4. PROPERTY CORNERS WERE FOUND AS INDICATED HEREON PER FIELD SURVEY.

LOT 18
MOUNTAIN VIEW ESTATES,
FILING NO. 1

LOT 17
MOUNTAIN VIEW ESTATES,
FILING NO. 1

LOT 16
MOUNTAIN VIEW ESTATES,
FILING NO. 1

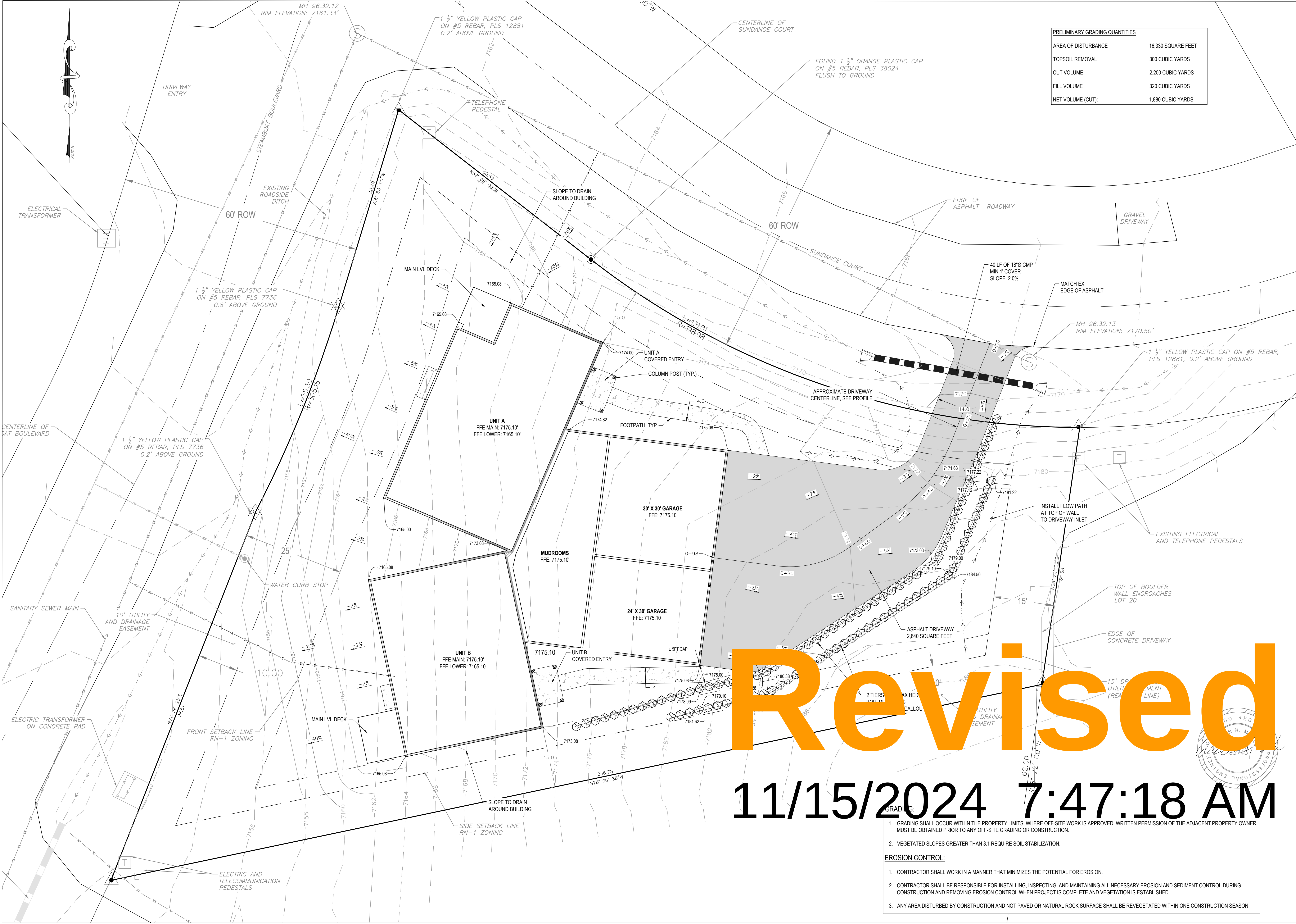
LOT 15
MOUNTAIN VIEW ESTATES,
FILING NO. 1

LOT 24
MOUNTAIN VIEW ESTATES,
FILING NO. 1

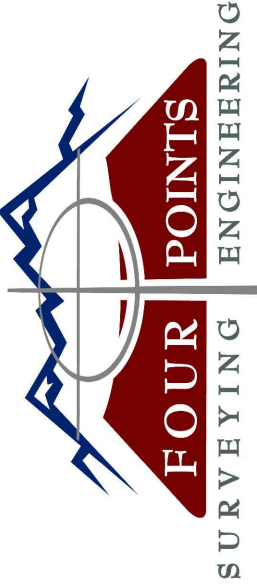
LOT 22
MOUNTAIN VIEW ESTATES,
FILING NO. 1

LOT 21
MOUNTAIN VIEW ESTATES,
FILING NO. 1

LOT 19
MOUNTAIN VIEW ESTATES,
FILING NO. 1



PRELIMINARY GRADING QUANTITIES	
AREA OF DISTURBANCE	16,330 SQUARE FEET
TOPSOIL REMOVAL	300 CUBIC YARDS
CUT VOLUME	2,200 CUBIC YARDS
FILL VOLUME	320 CUBIC YARDS
NET VOLUME (CUT):	1,880 CUBIC YARDS



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No.	DATE	REVISIONS	CORRECTIONS NOTICE	INT
1	10/16/24	10-02-24		CFB

LOT 20 MOUNTAIN VIEW ESTATES,
FILING NO. 1
200 SUNDANCE COURT
STEAMBOAT SPRINGS, CO

Horizontal Scale
0 10' 20'
SCALE: 1" = 10'

Contour Interval = 1 ft
DATE: 10-16-2024
JOB #: 1046-021
DRAWN BY: DSC/CFB
DESIGN BY: DSC/CFB
REVIEW BY: WNM

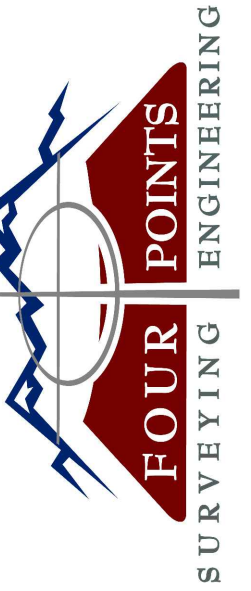
IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36", THE
GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING:
SHEET #
C3

SITE PLAN

- GRADING:
- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
 - VEGETATED SLOPES GREATER THAN 3:1 REQUIRE SOIL STABILIZATION.
- EROSION CONTROL:
- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
 - ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

**REVIEWED
FOR
CODE
COMPLIANCE**
11/15/2024



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[illegible]

**LOT 20 MOUNTAIN VIEW ESTATES,
FILING NO. 1
150 STEAMBOAT BOULEVARD
STEAMBOAT SPRINGS, CO**

DATE: 10-16-2024
JOB #: 1046-021
DRAWN BY: DSC/CFB
DESIGN BY: DSC/CFB
REVIEW BY: WNM

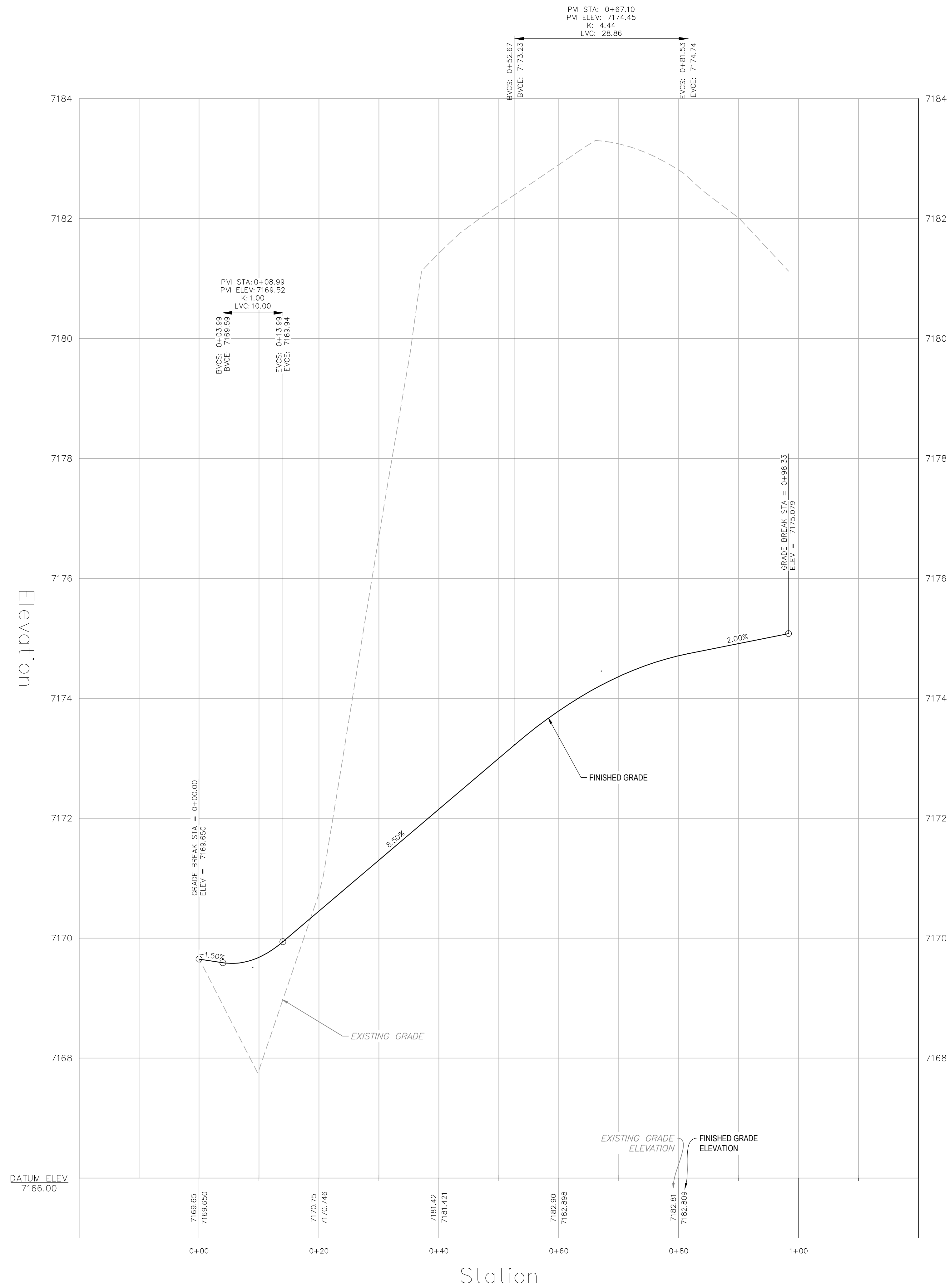
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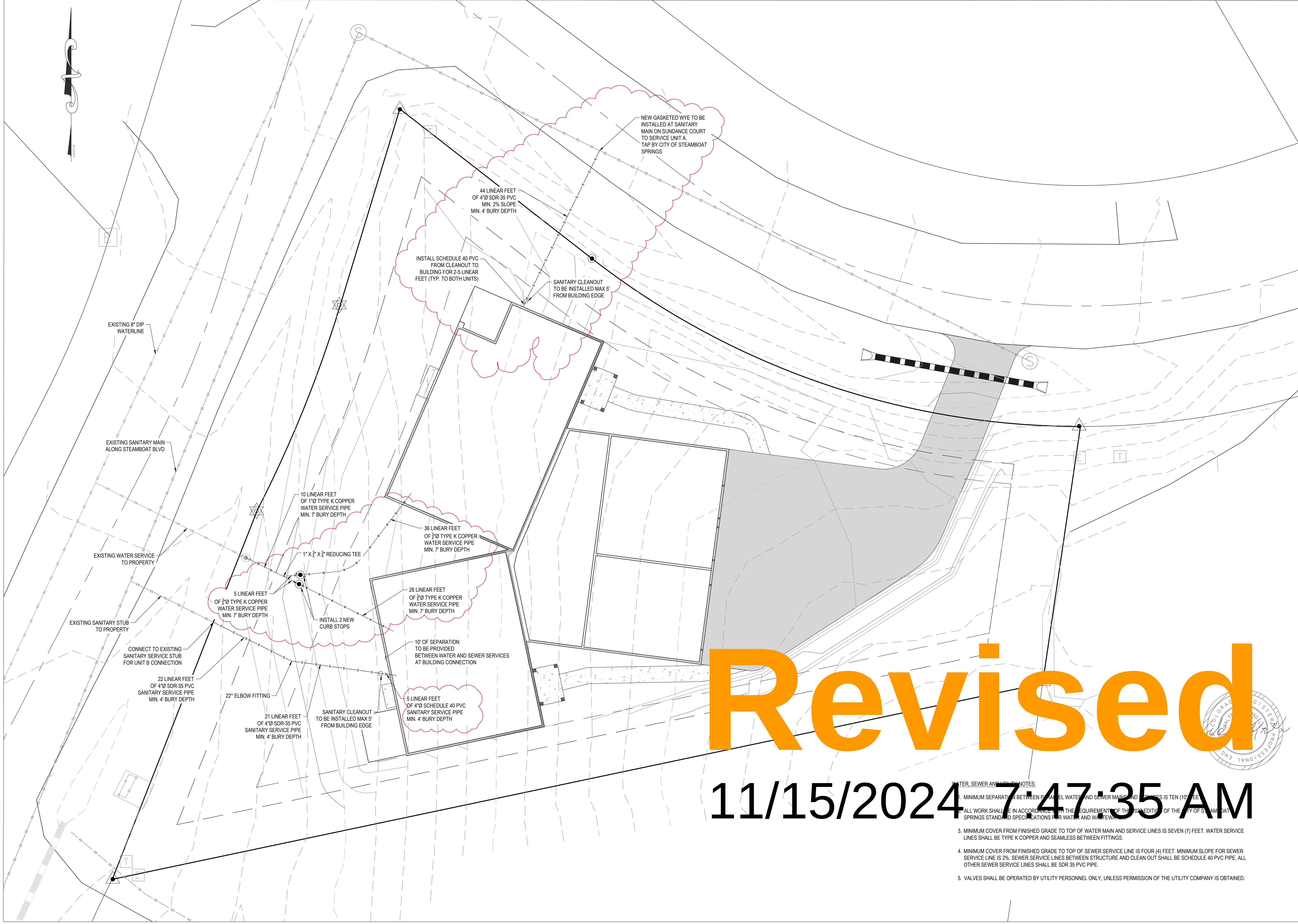
DRIVEWAY PROFILE

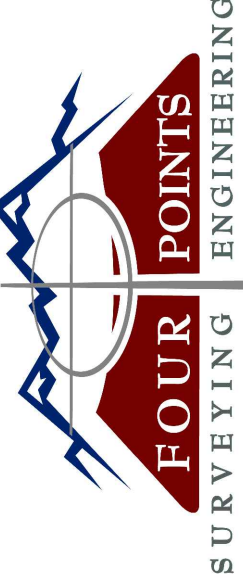
SHEET #

C4



VERTICAL DRIVEWAY PROFILE
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 1'





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No.	DATE	REVISIONS		INT
		CITY COMMENTS & NEW SSWR CONX	CFB	
1	10-1-24			

LOT 20 MOUNTAIN VIEW ESTATES,
FILING NO. 1
200 SUNDANCE COURT
STEAMBOAT SPRINGS, CO

Horizontal Scale

0 10' 20'

SCALE: 1" = 10'

Contour Interval = 1 ft

DATE: 7-17-2024
JOB #: 1046-021
DRAWN BY: DSC
DESIGN BY: DSC
REVIEW BY: WNM

IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36", THE
GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING:

UTILITY PLAN

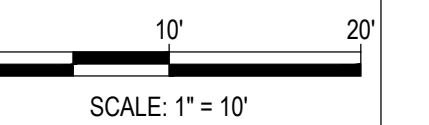
SHEET #

C5

[illegible]

**LOT 20 MOUNTAIN VIEW ESTATES,
FILING NO. 1
200 SUNDANCE COURT
STEAMBOAT SPRINGS, CO**

Horizontal Scale



Contour Interval = 1 ft

DATE: 10-16-2024

OB #: 1046-021

RAWN BY: DSC/CFB

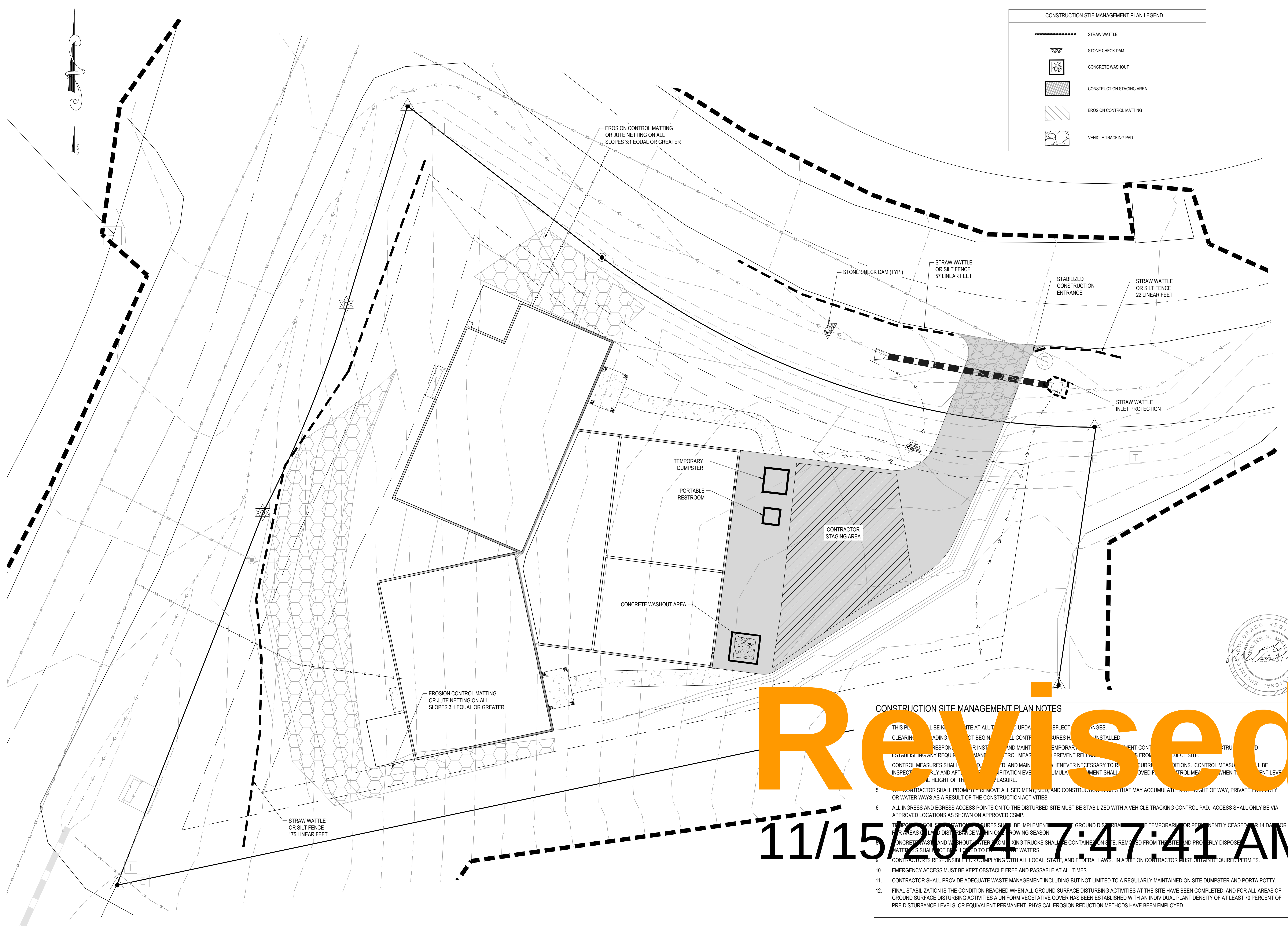
DESIGN BY: DSC/CFB
REVIEW BY: WNM

THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36", THE
GRAPHIC SCALE SHOULD BE UTILIZED.

CONSTRUCTION SITE MANAGEMENT PLAN

SHEET #

C6

[illegible]

CONSTRUCTION SITE MANAGEMENT PLAN NOTES

THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES TO BE UPDATER REFLECT CHANGES.
CLEARING AND GRADING SHALL NOT BEGIN UNTIL ALL CONTRACTOR MEASURES HAVE BEEN INSTALLED.

CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES ON ALL DISTURBED AREAS OF THE PROJECT SITE. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND MONITORED TO PREVENT RELEASE OF SEDIMENT FROM THE PROJECT SITE.

EROSION CONTROL MEASURES SHALL BE MAINTAINED, AND MAINTENANCE WHENEVER NECESSARY TO REMAIN CURRENT. WHEN NECESSARY, CONTROL MEASURES SHALL BE INSPECTED REGULARLY AND AFTER EACH RAINFALL EVENT. WHENEVER NECESSARY, CONTRACTOR SHALL REMOVE OR REPLACE EROSION CONTROL MEASURES WHEN THEY ARE NOT EFFECTIVE TO PREVENT EROSION OF THE DISTURBED AREAS.

5. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATERWAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.

6. ALL INGRESS AND EGRESS ACCESS POINTS ON TO THE DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSMF.

7. TO PREVENT SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED TO PREVENT GROUND DISTURBANCE. TEMPORARY OR PERMANENTLY CEASED FOR 14 DAYS OR FOR AREAS OF A DISTANCE WITHIN ONE GROWING SEASON.

8. CONCRETE AND WASH WITHOUT WATER. MIXING TRUCKS SHALL BE CONTAINED ON SITE, REMOVED FROM THE SITE, AND PROPERLY DISPOSED.

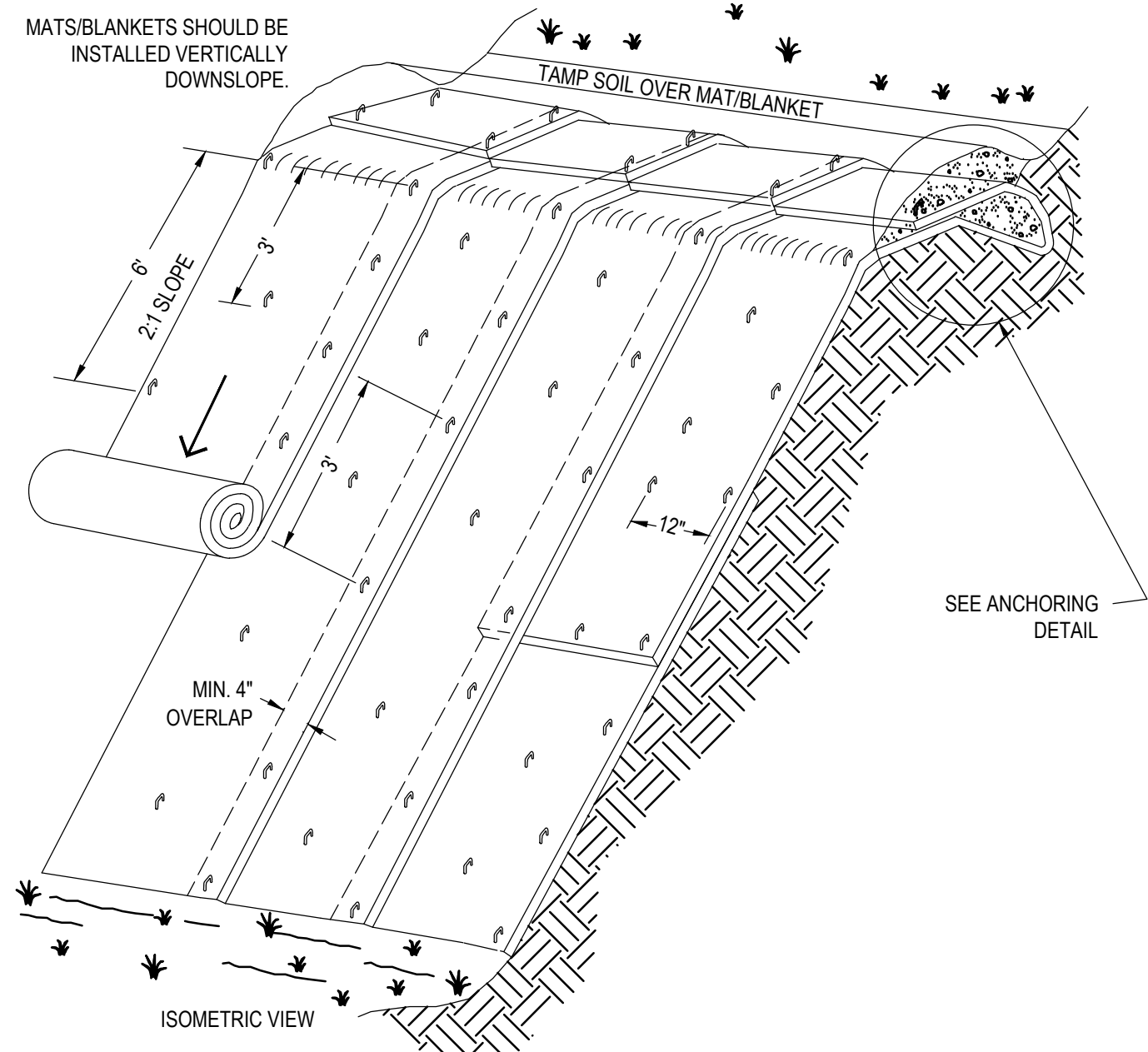
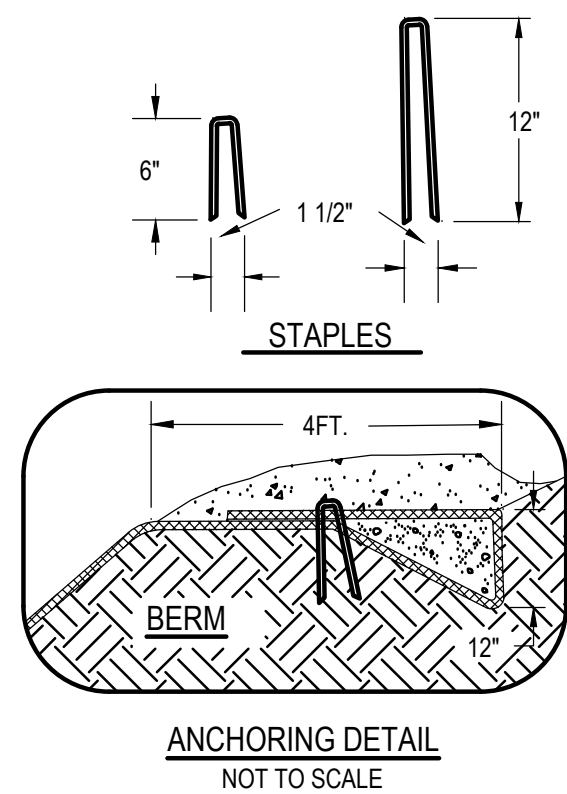
9. WATERSHEDS SHALL NOT BE ALLOWED TO ENTER THE WATERS.

10. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS. IN ADDITION CONTRACTOR MUST OBTAIN REQUIRED PERMITS.

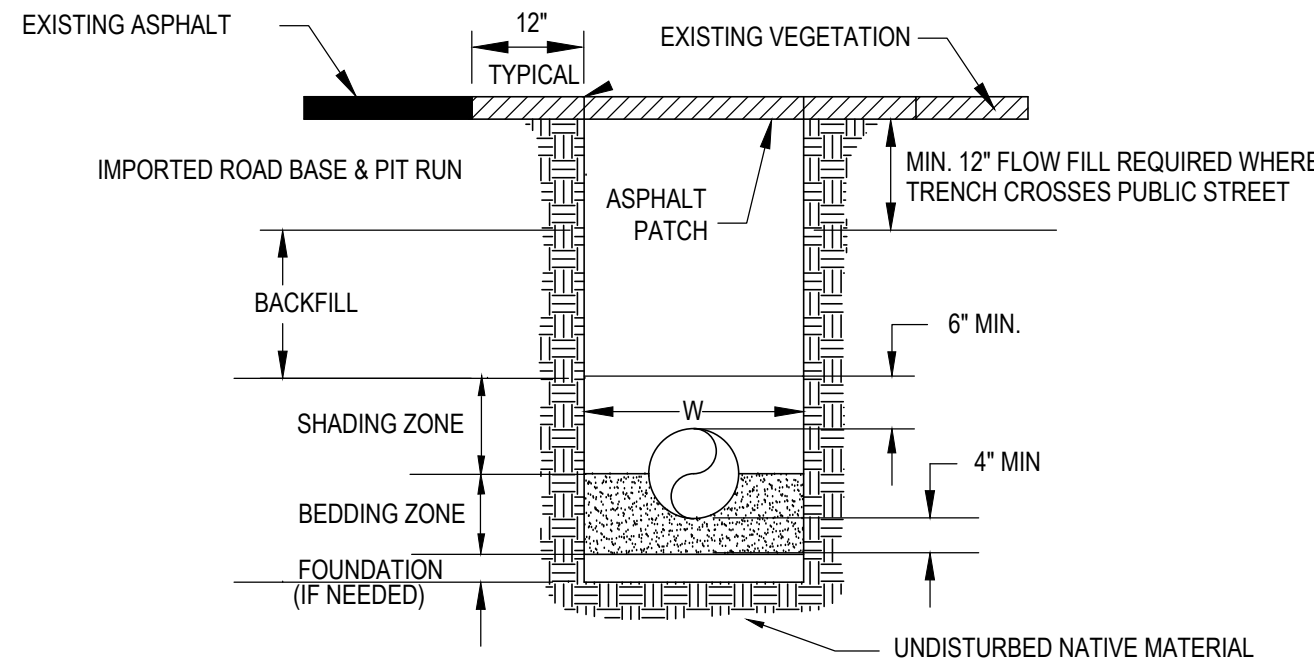
11. EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE AND PASSABLE AT ALL TIMES.

12. CONTRACTOR SHALL PROVIDE ADEQUATE WASTE MANAGEMENT INCLUDING BUT NOT LIMITED TO A REGULARLY MAINTAINED ON SITE DUMPSTER AND PORTA-POTTY.

13. FINAL STABILIZATION IS THE CONDITION REACHED WHEN ALL GROUND SURFACE DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND FOR ALL AREAS OF GROUND SURFACE DISTURBING ACTIVITIES A UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST 70 PERCENT OF PRE-DISTURBANCE LEVELS, OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED.



EROSION CONTROL BLANKET TYPICAL DETAILS
NOT TO SCALE



TRENCH CROSS SECTION
NOT TO SCALE

NOTES:

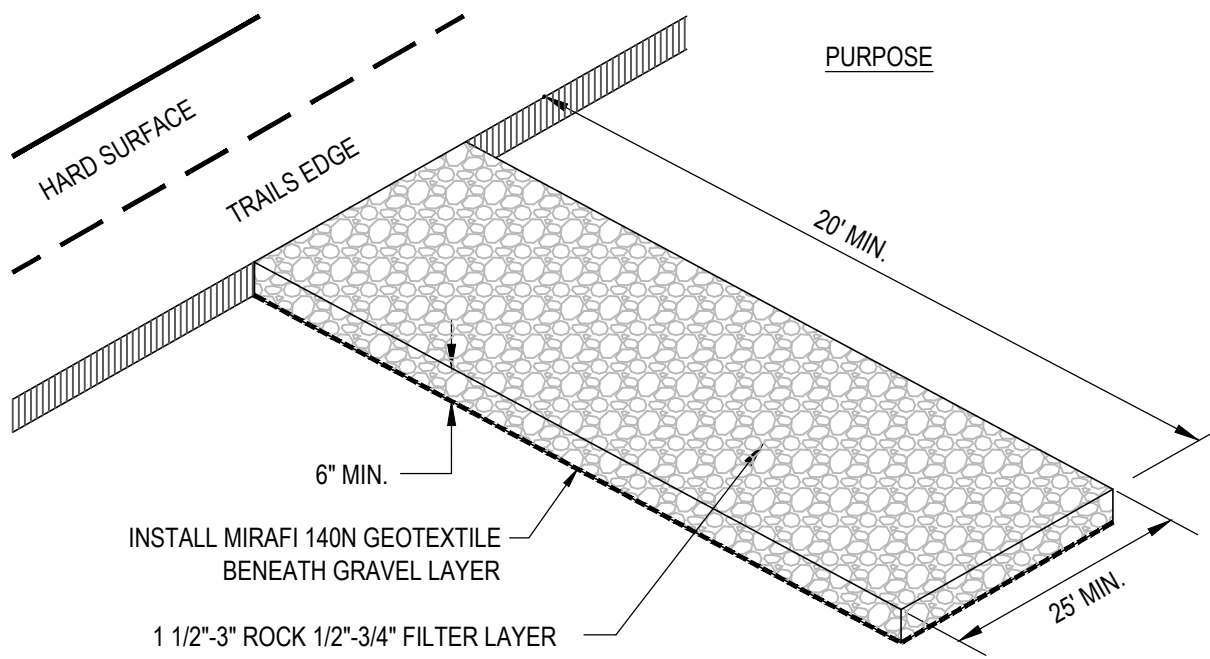
A GUIDE FOR DESIRABLE TRENCH WIDTH (W) AT THE TOP OF THE PIPE SHALL BE THE NOMINAL DIAMETER OF THE PIPE PLUS 12-INCHES ON EACH SIDE OF THE PIPE.

A SECOND PAVEMENT CUT SHALL BE REQUIRED PRIOR TO PLACING THE ASPHALT PATCH. REMOVE ALL IRREGULAR ASPHALT EDGES A MINIMUM OF 12-INCHES BEYOND ANY DAMAGED SURFACE TO A CLEAN VERTICAL EDGE. APPLY A BITUMINOUS TACK COAT PRIOR TO PLACING THE ASPHALT PATCH.

THE ASPHALT PATCH SHALL BE PLACED IN TWO 2-INCH LIFTS AND ROLLER COMPACTED TO MATCH THE ADJACENT ASPHALT EDGES.

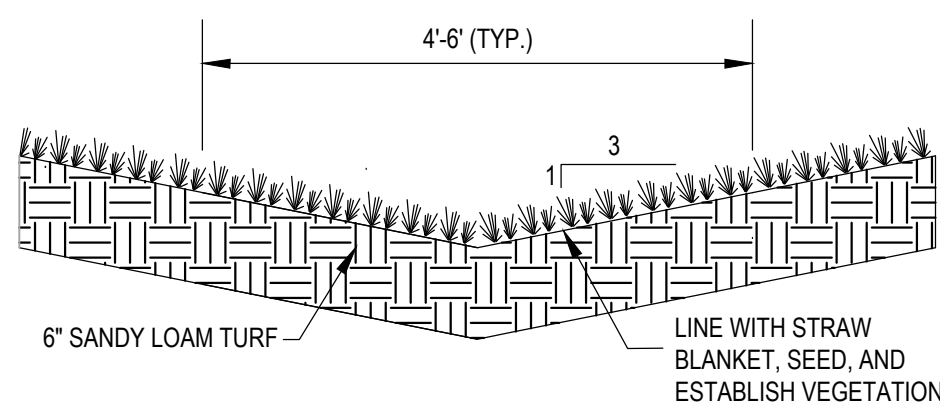
SUB-BASE MATERIALS SHALL CONSIST OF 4-INCHES OF ROAD BASE ON 8-INCHES OF PIT-RUN. COMPACTION REQUIREMENTS SHALL EXCEED 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 TEST PROCEDURES.

SHARED DRIVE PAVEMENT SHALL NOT BE DISTURBED DURING TRENCHING ACTIVITIES.

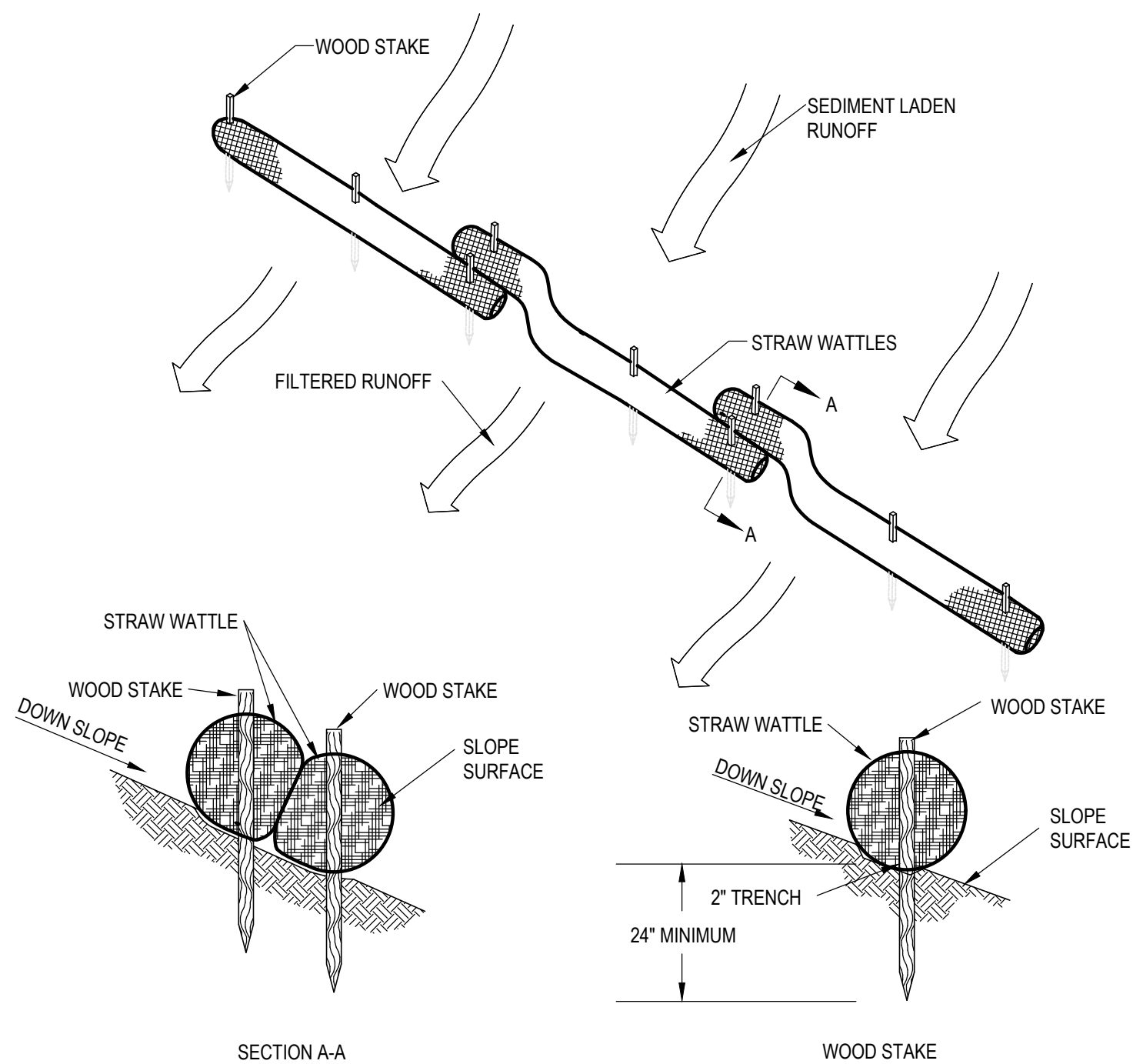


STABILIZED CONSTRUCTION ENTRANCE TYPICAL DETAIL
NOT TO SCALE

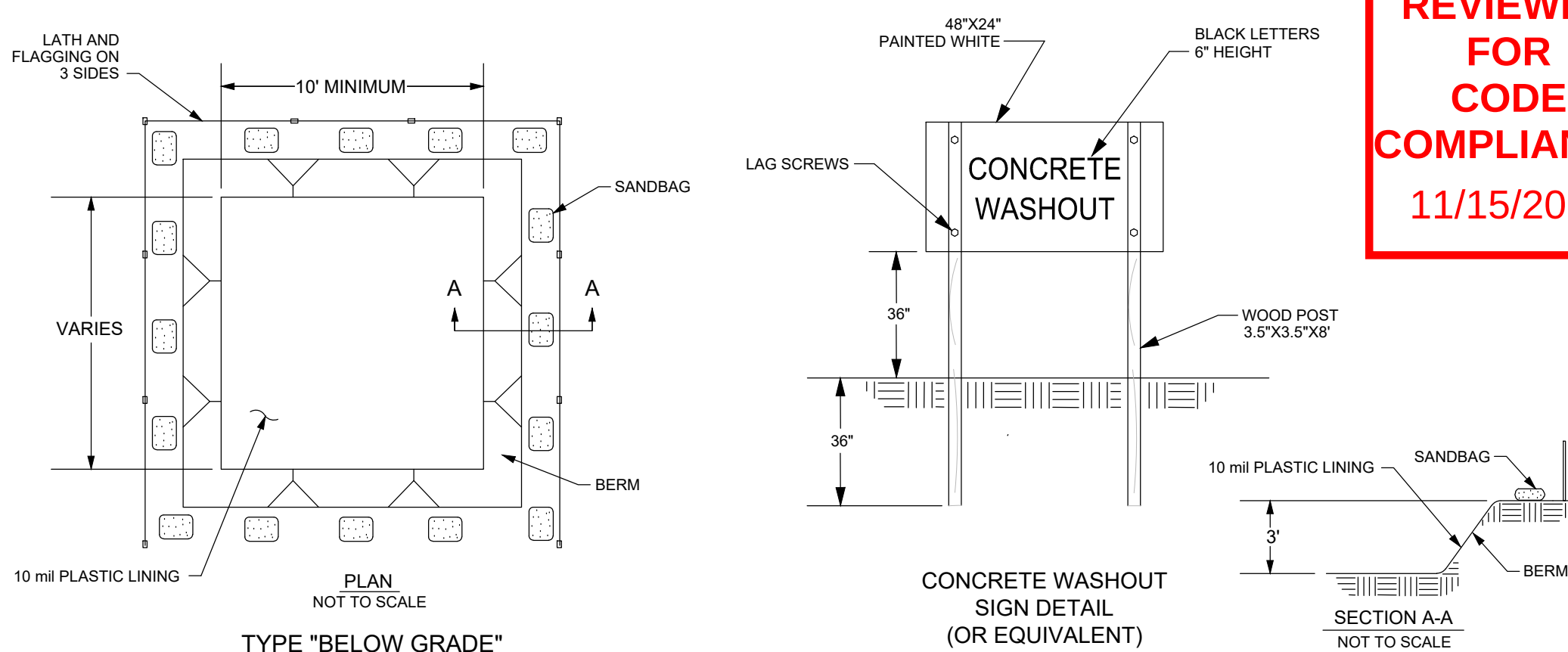
PURPOSE: TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.



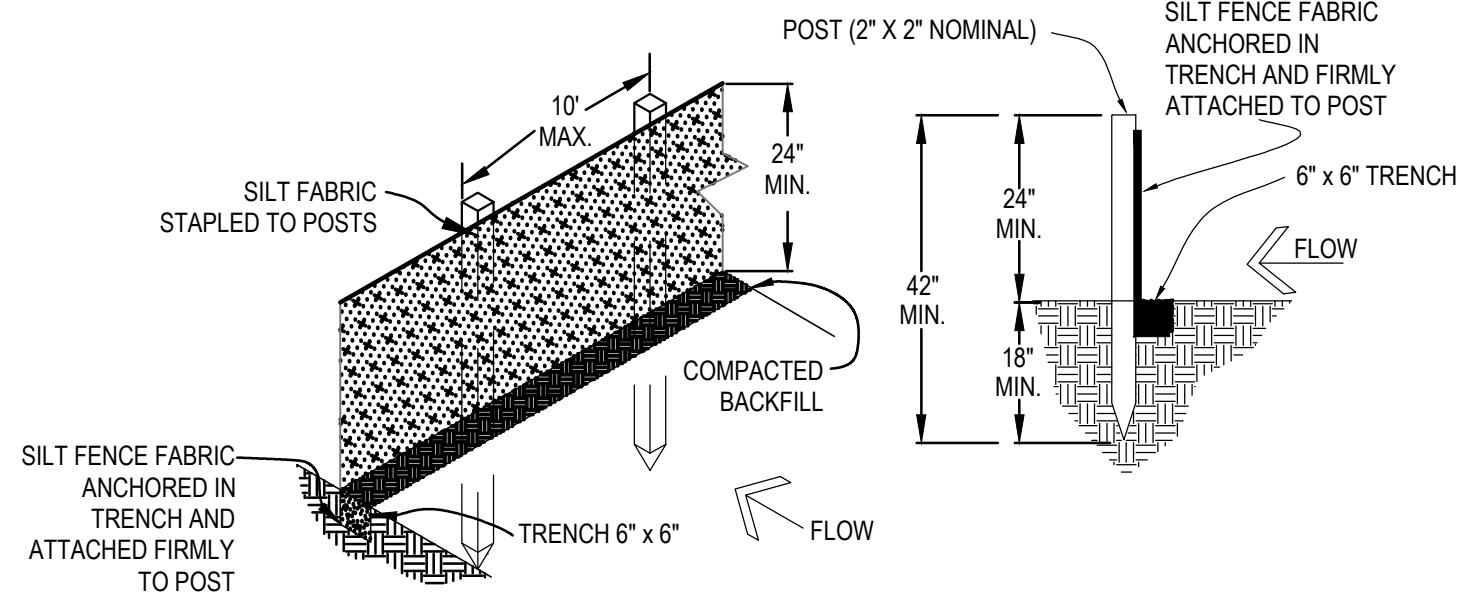
TYPICAL VEGETATED DRAINAGE SWALE DETAIL
NOT TO SCALE



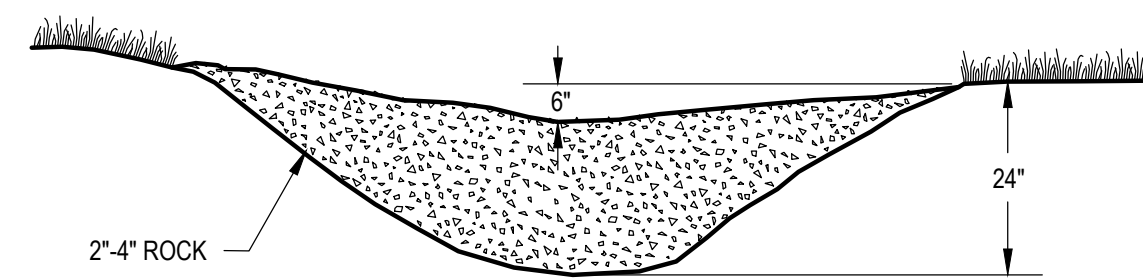
STRAW WATTLE DETAILS
NOT TO SCALE



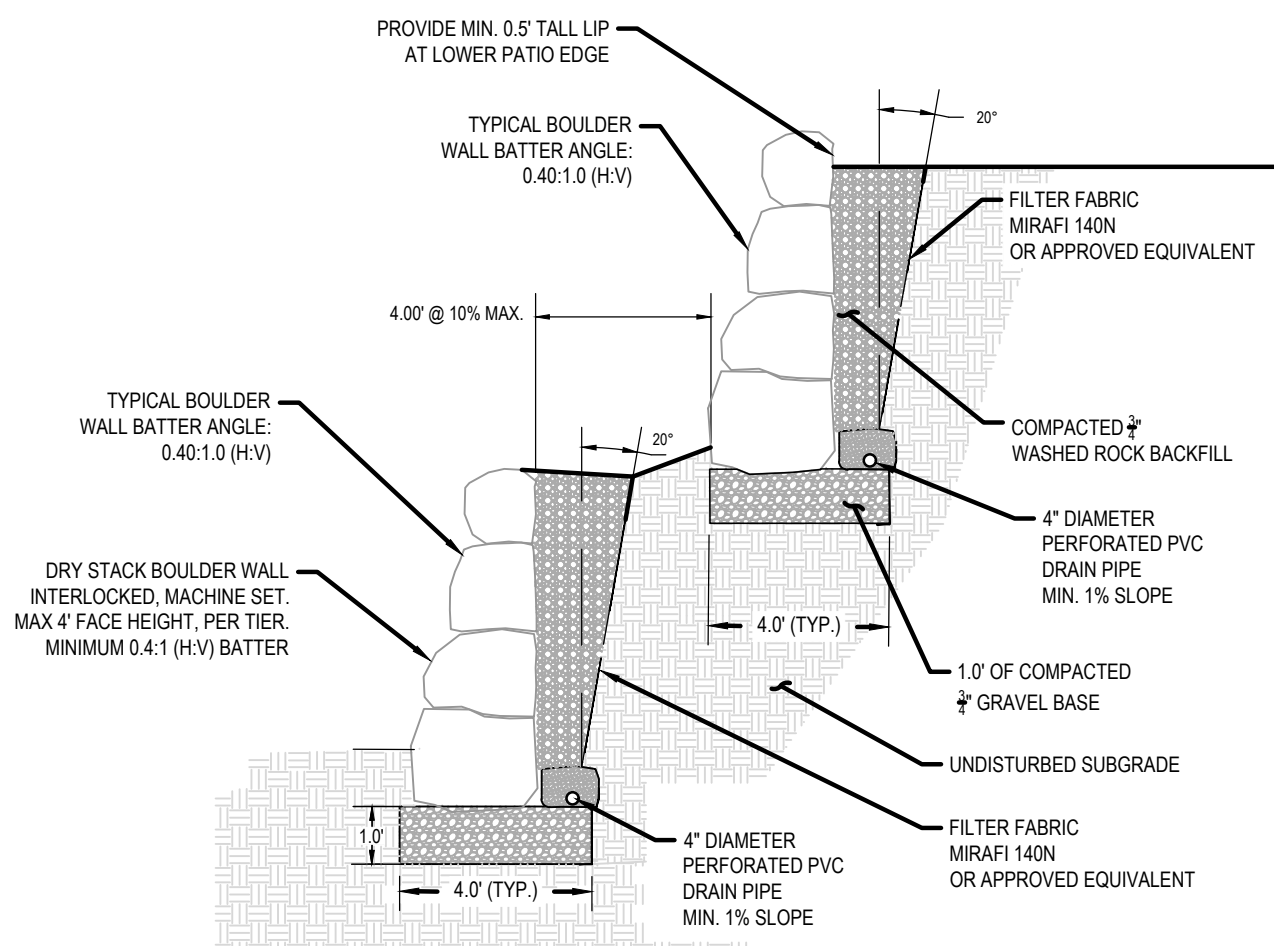
CONCRETE WASHOUT DETAILS
NOT TO SCALE



SILT FENCE TYPICAL DETAIL
NOT TO SCALE



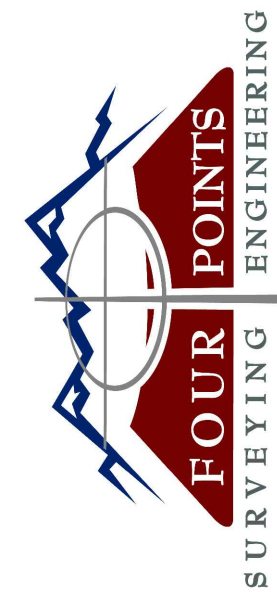
ROCK CHECK DAM DETAIL
NOT TO SCALE



TIERED RETAINING WALL TYPICAL DETAIL
NOT TO SCALE

BOULDER WALL NOTES:

1. A LICENSED GEOTECHNICAL ENGINEER, REGISTERED IN THE STATE OF COLORADO, SHALL BE APPOINTED TO REVIEW THE FEASIBILITY OF THE DRY STACK BOULDER WALL ALTERNATIVE PRESENTED ON THIS PLAN SHEET.
2. COMPACT SUB-GRADE SOILS TO 95% OF THE MAXIMUM MODIFIED PROCTOR.
3. BACKFILL MATERIALS SHALL BE CAREFULLY PLACED IN UNIFORM LIFTS AT A MAXIMUM 8\"/>



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INT	REVISIONS	DATE	No.

LOT 20 MOUNTAIN VIEW ESTATES,
FILING NO. 1
150 STEAMBOAT BOULEVARD
STEAMBOAT SPRINGS, CO

DATE: 07-17-2024
JOB #: 1046-021
DRAWN BY: DSC
DESIGN BY: DSC
REVIEW BY: WNM

IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24\"/>

CIVIL DETAILS

DRAWING:

SHEET #

C7