

PROPOSED ROOF/DECK REPAIR SCOPE of WORK

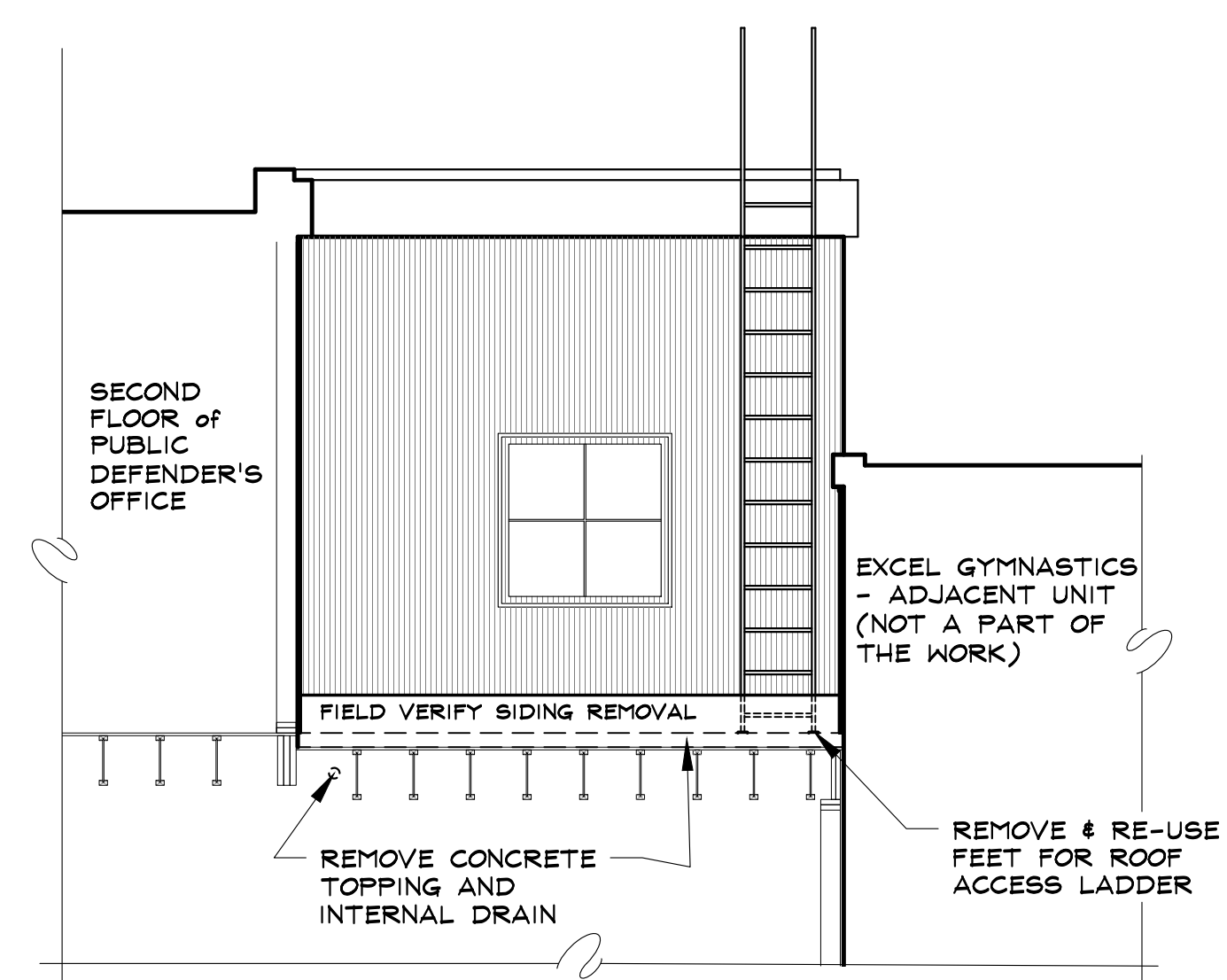
1. REMOVE EXISTING CONCRETE TOPPING SLAB & INTERNAL DRAIN - LEAVE WATERPROOF MEMBRANE & STRUCTURE INTACT
2. REMOVE & SAVE EXISTING GUARDRAIL ATTACHED TO TOP OF SLAB FOR RE-INSTALLATION
3. REMOVE & SAVE EXISTING DOOR TO DECK TO BE RE-SET AT NEW DECK HEIGHT
4. FIELD VERIFY EXISTING SIDING AND DETERMINE FLASHING DETAILS AFTER DEMOLITION COMPLETED
5. CONSTRUCT NEW SLOPED ROOF OVER EXISTING ROOF/DECK STRUCTURE WITH DECK ON REVERSE TAPER SLEEPERS - REQUIRES RAISING EXISTING EXTERIOR DOOR - WILL REQUIRE ADDING A 4 FT. BY 4 FT. LANDING WITH TWO RISERS (MAX 7") AND ONE 11" TREAD - HEIGHT OF RISERS TO BE DETERMINED AFTER DEMOLITION IS COMPLETED
6. SHORTEN EXISTING ROOF ACCESS LADDER & RE-USE EXISTING FEET FASTENED TO NEW DECKING
7. RE-INSTALL EXISTING GUARDRAIL

CODE STUDY

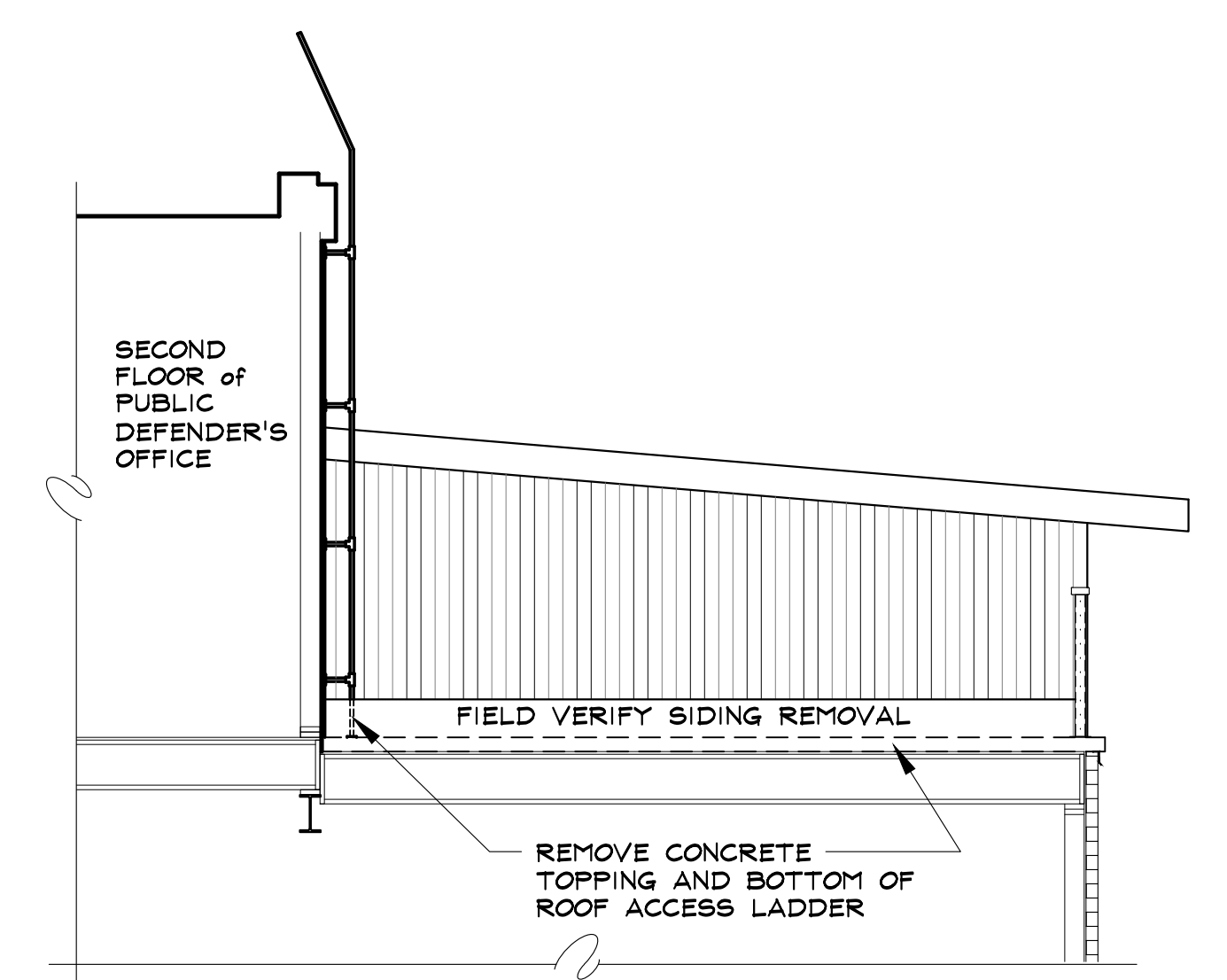
RFP BUILDING 1 SHELL COMPLETED UNDER RCRBD PERMIT No. SB-06-286 & TENANT FINISH FOR PUBLIC DEFENDER'S OFFICE COMPLETED UNDER RCRBD PERMIT No. SB-08-668
 BUILDING TYPE: V- 1 HOUR
 'B' OCCUPANCY
 NO CHANGE TO BUILDING USE, OCCUPANCY OR EGRESS WITH PROPOSED ROOF/DECK REPAIR



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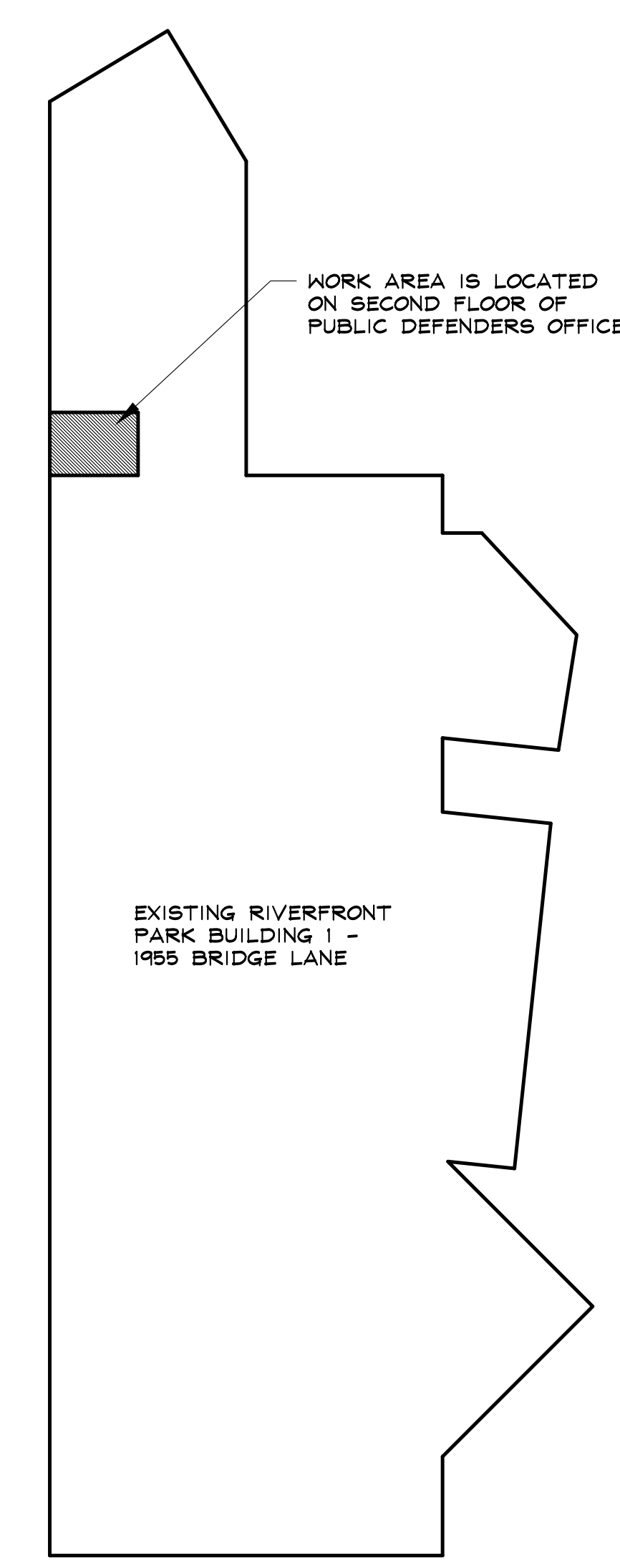


4 ROOF DECK DEMO SECTION - WEST ELEVATION SCALE: 1/4" = 1'-0"

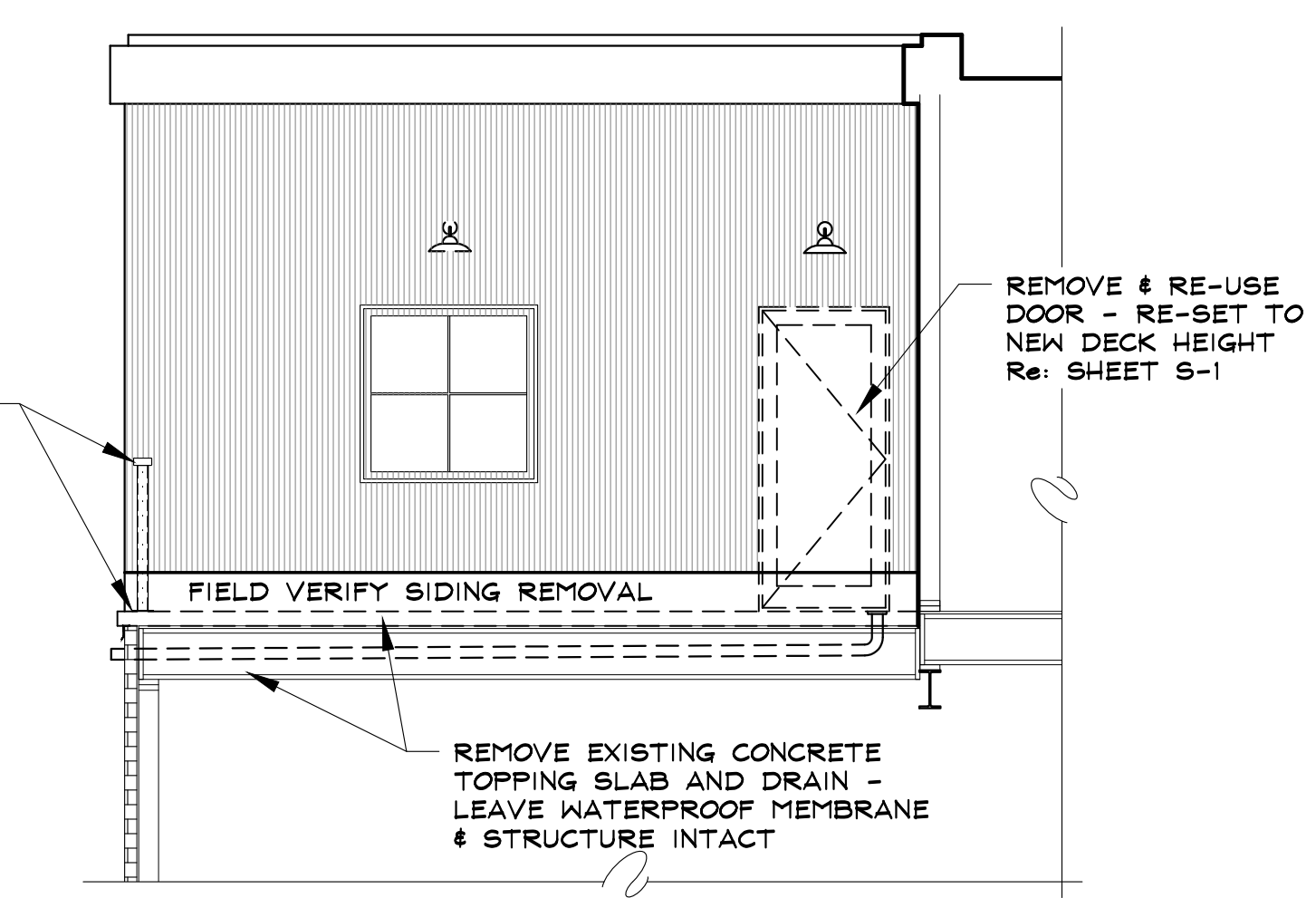


5 ROOF DECK DEMO SECTION - NORTH ELEVATION SCALE: 1/4" = 1'-0"

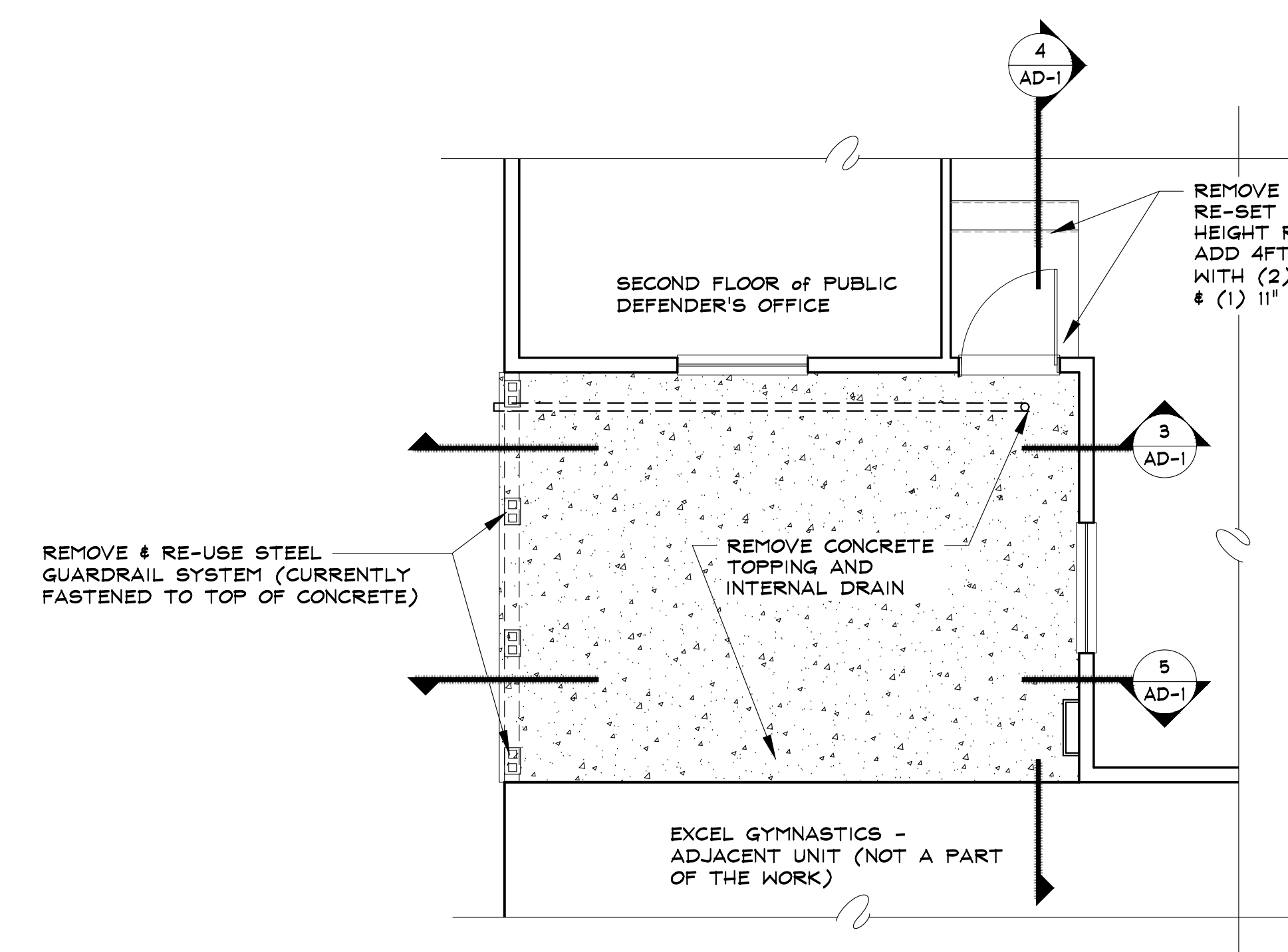
NOTE: THIS SCOPE OF WORK IS LIMITED TO REPAIRING THE EXISTING ROOF/DECK & DOES NOT AFFECT THE BUILDING HEIGHT, THERMAL ENVELOPE, USE, OCCUPANCY OR EGRESS. ALL PROPOSED WORK IS WITHIN THE EXISTING BUILDING FOOTPRINT.



1 SITE PLAN N.T.S.



3 ROOF DECK DEMO SECTION - SOUTH ELEVATION SCALE: 1/4" = 1'-0"



2 ROOF DECK DEMO PLAN APPROX. 233 SQUARE FEET SCALE: 1/4" = 1'-0"

REMOVE & RE-USE DOOR - RE-SET TO NEW DECK HEIGHT Re: SHEET S-1 - ADD 4FT. X 4FT. LANDING WITH (2) RISERS (MAX. 7") & (1) 11" TREAD

NOTE: THERE ARE NO EGRESS OBSTRUCTIONS, HALLWAY WIDTH THIS LOCATION IS 12'-11" (E-W) & 16'-8" (N-S)

RIVERFRONT PARK HOA
 1955 BRIDGE LANE, SUITE 2100
 STEAMBOAT SPRINGS, COLORADO
 A DECK REPAIR FOR:
 BUILDING 1 - COLORADO PUBLIC DEFENDER'S OFFICE

ISSUE DATES
 FINAL REVIEW:
 05 . 17 . 18
 PERMIT:
 05 . 23 . 18

DRAWN BY: SJM
 PROJECT # 17075
 DEMOLITION
 PLAN &
 ELEVATIONS

AD-1
 SHEET 1 of 2

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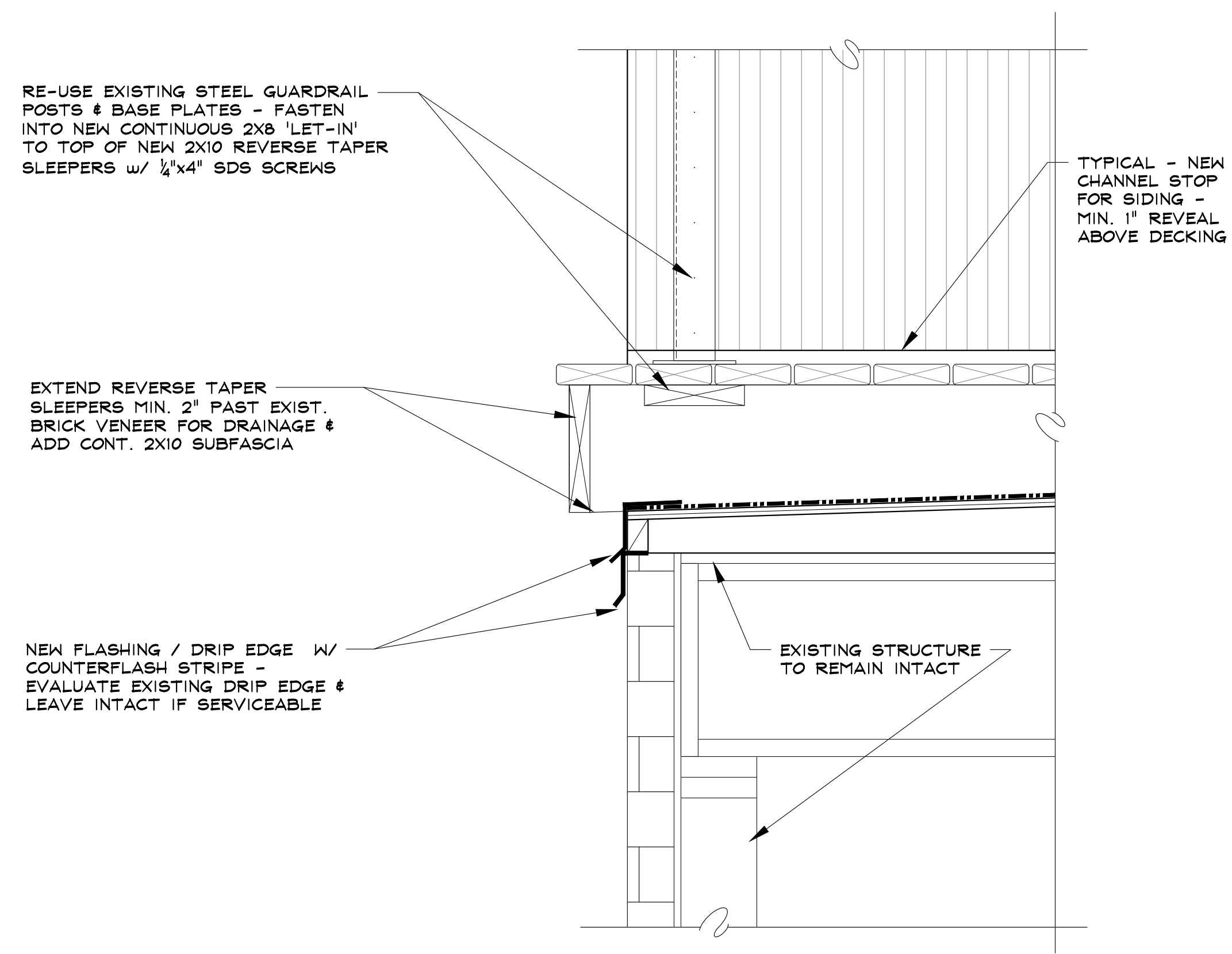


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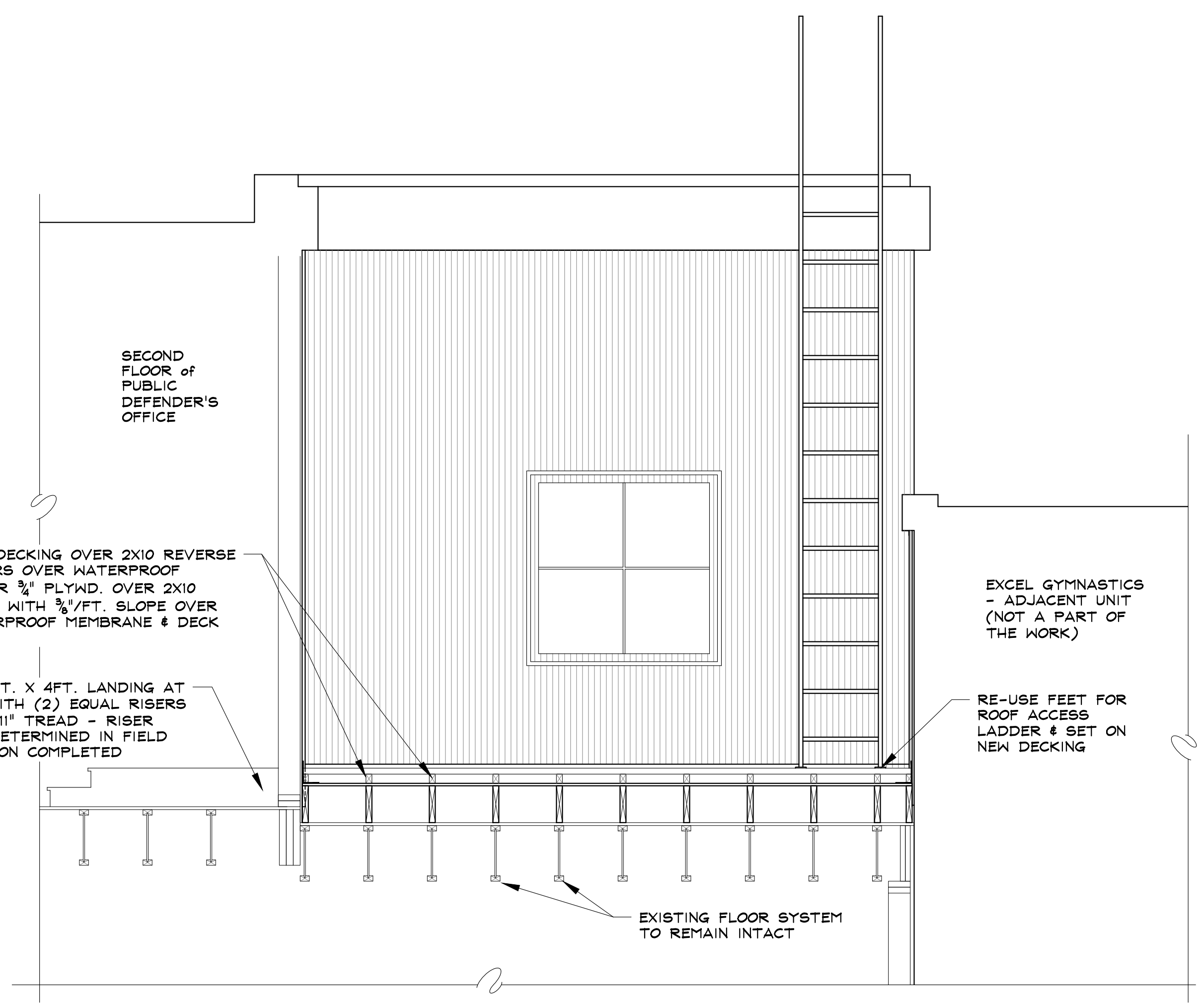
RIVERFRONT PARK HOA
 1955 BRIDGE LANE, SUITE 2100
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 A DECK REPAIR FOR:
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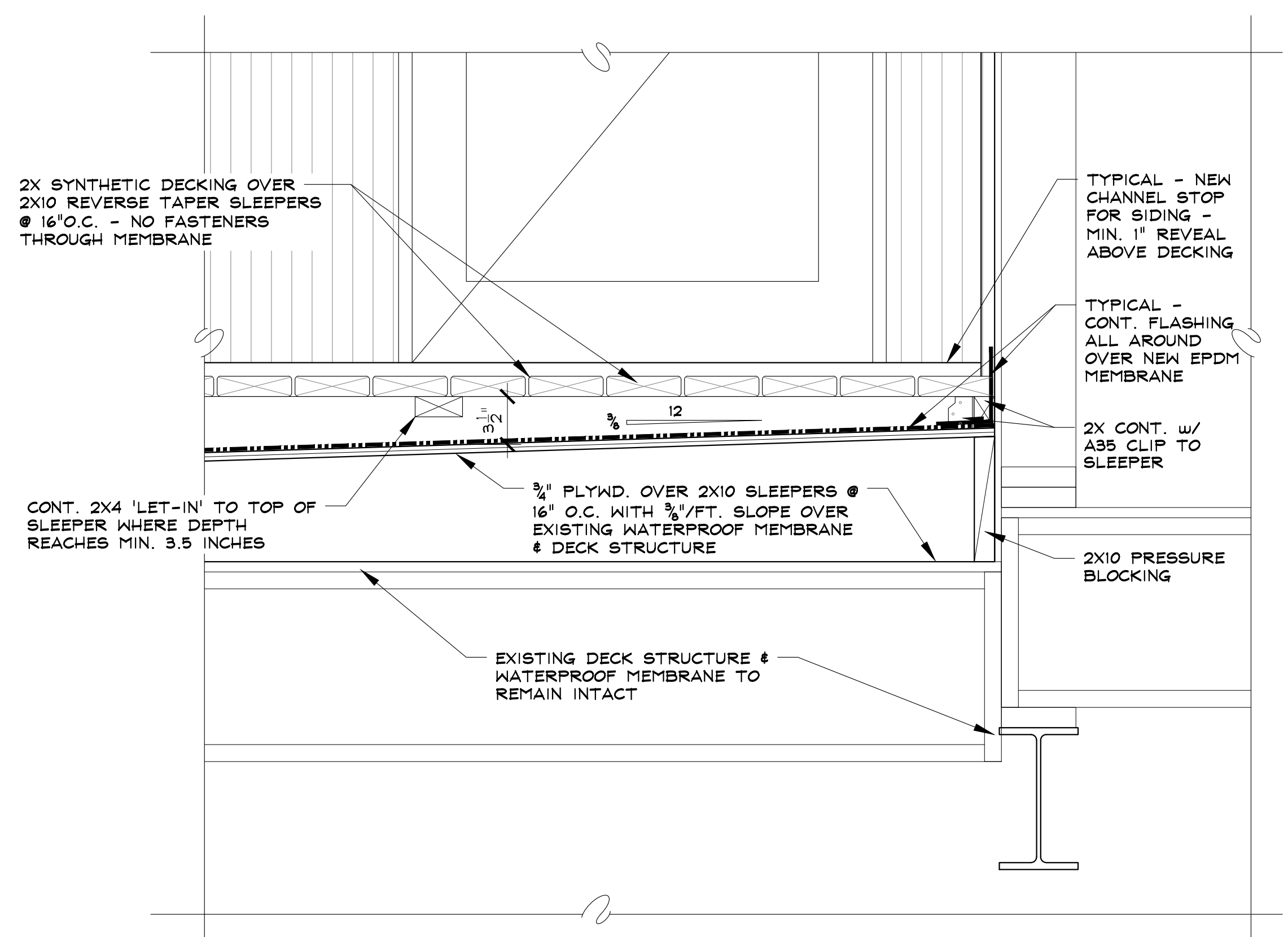
DRAWN BY: SJM
 PROJECT # 17075
 REPAIR SECTIONS
S - 1
 SHEET 2 of 2



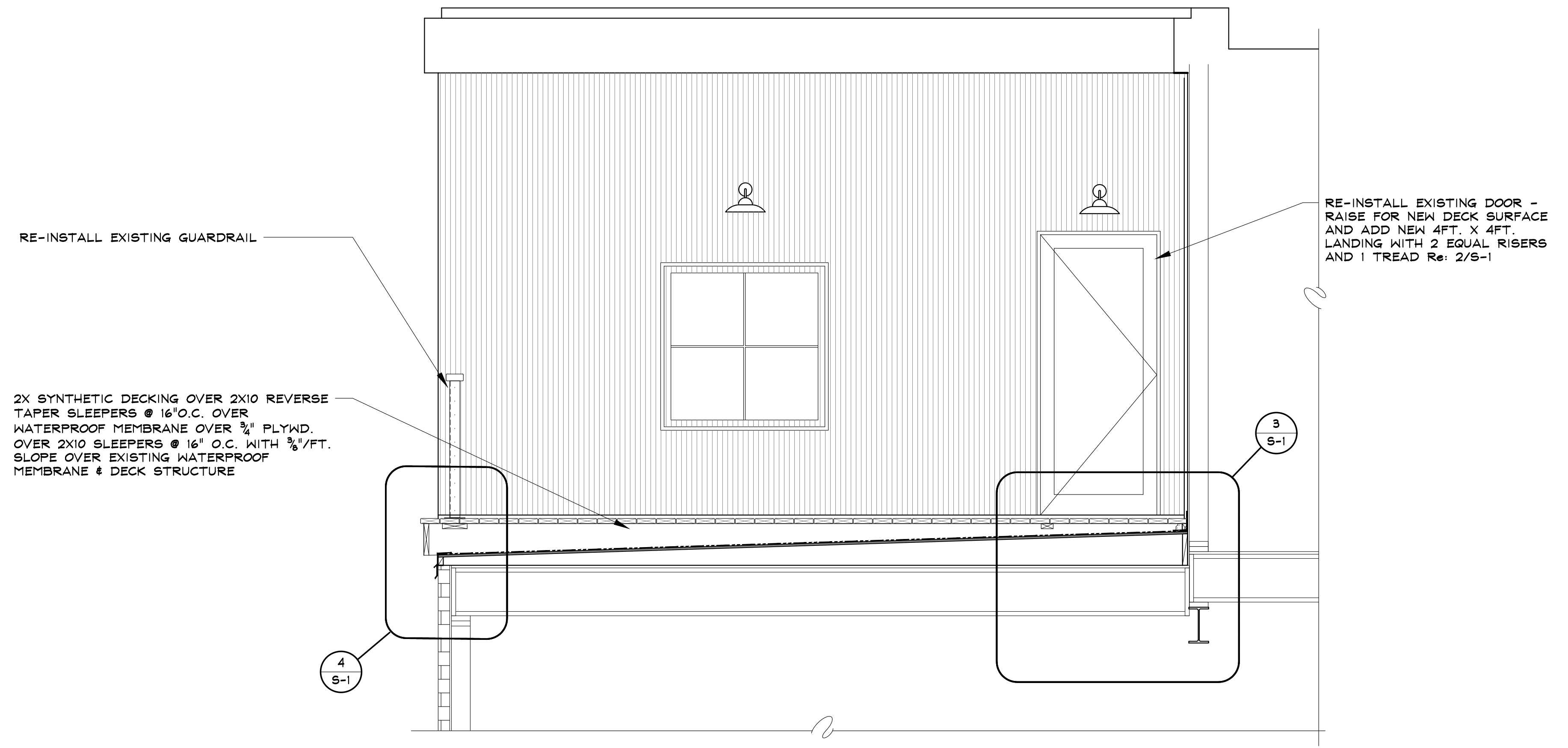
4 ROOF/DECK SECTION - ENLARGED DETAIL SCALE: 1 1/2" = 1'-0"



2 PROPOSED ROOF/DECK SECTION - WEST ELEVATION SCALE: 1/2" = 1'-0"



3 ROOF/DECK SECTION - ENLARGED DETAIL SCALE: 1 1/2" = 1'-0"



1 PROPOSED ROOF/DECK SECTION - SOUTH ELEVATION SCALE: 1/2" = 1'-0"

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