



RCRBD
Record Set

remove and replace
landscaping as
needed to perform
scope of work,
typical

perform private
locates to
determine
utilities prior to
excavation

Protect existing pool deck
that remains during
excavation. Keep clean at
completion

pipe from pool
equipment
room in this
approximate
area, once
excavated at
new location
verify suitability
of all piping
(pressure test)

Balance of pool deck is snowmelted, do not cut or core

3' x 3' pad to
install handrail,
color and finish
to match existing

Concrete for lighting and
controls, protect and
rework to suit new spa

Existing hose bibb,
relocate outside of
spa location, chase
pipe upstream)

remove fence
posts and panels
as needed to make
excavation and
regrading and
provide for access
for equipment

Spread
excavation
spoils along
bench and down
slope outside
fence line -
existing fence to
remain at
existing
elevation

Grade drops on this edge - provide
formwork as necessary to form spa shell,
provide landscaping rocks or blocks at
exposed shell for finish

Extend coping
and surround
skimmer, color
and finish to
match existing

Demo concrete



2410 Ski Trail Lane -
Edgemont

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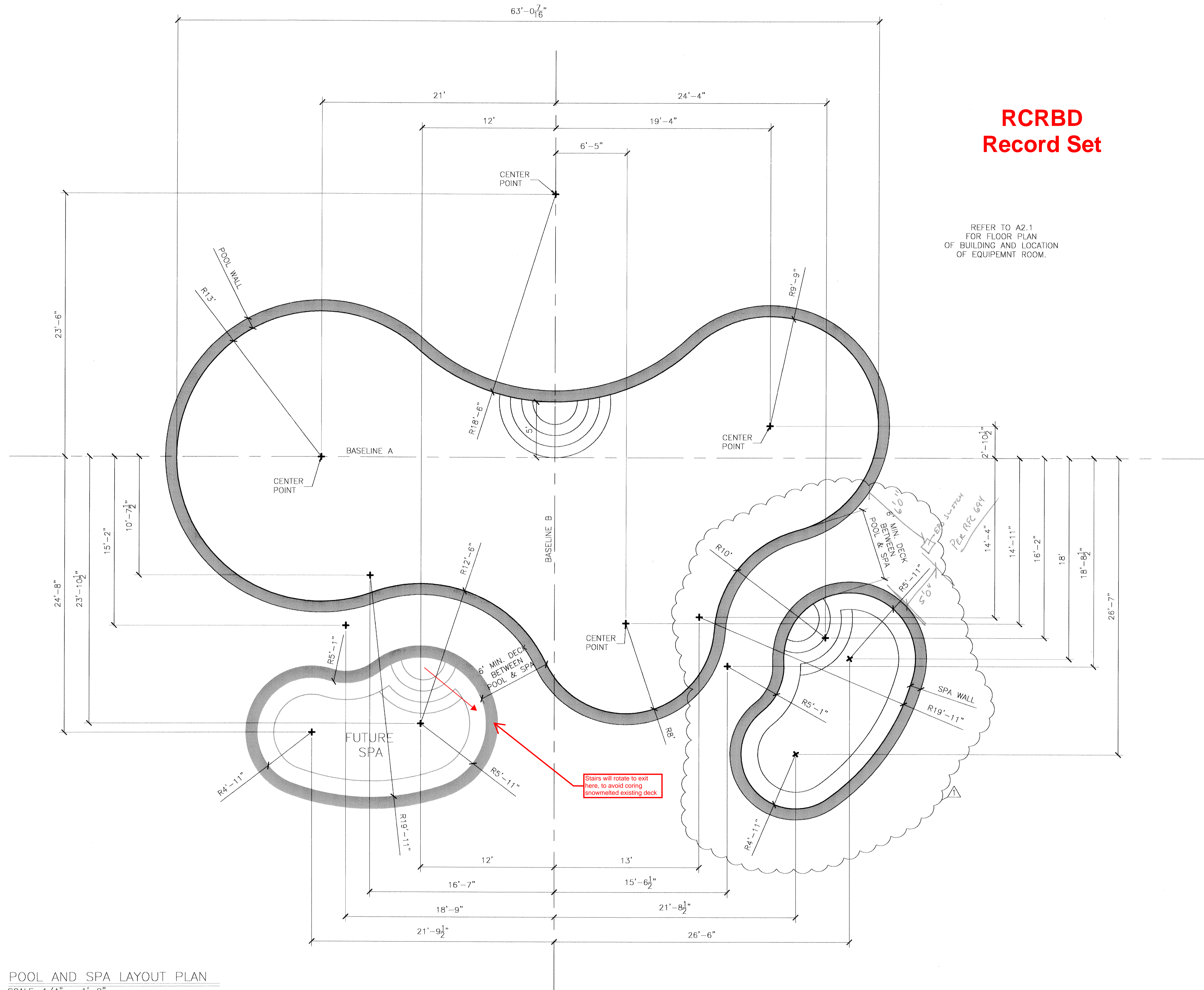
Protect curb and
pavement during
excavation and
gunite operations

Access to excavation
and path for gunite
operations, limit travel to
the greatest extent
possible to minimize
damage to ground

Spoils
deposit
area

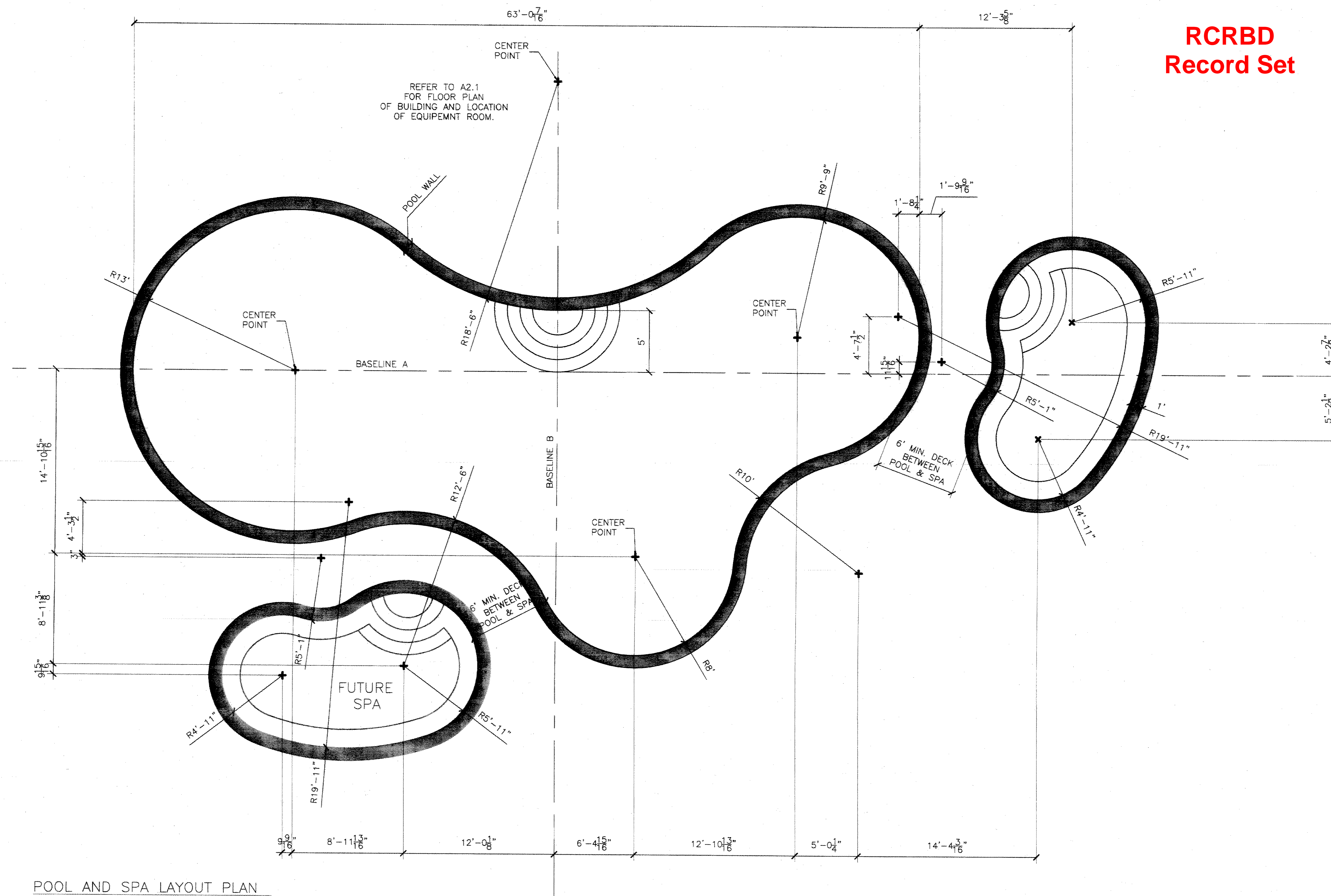
RCRBD Record Set

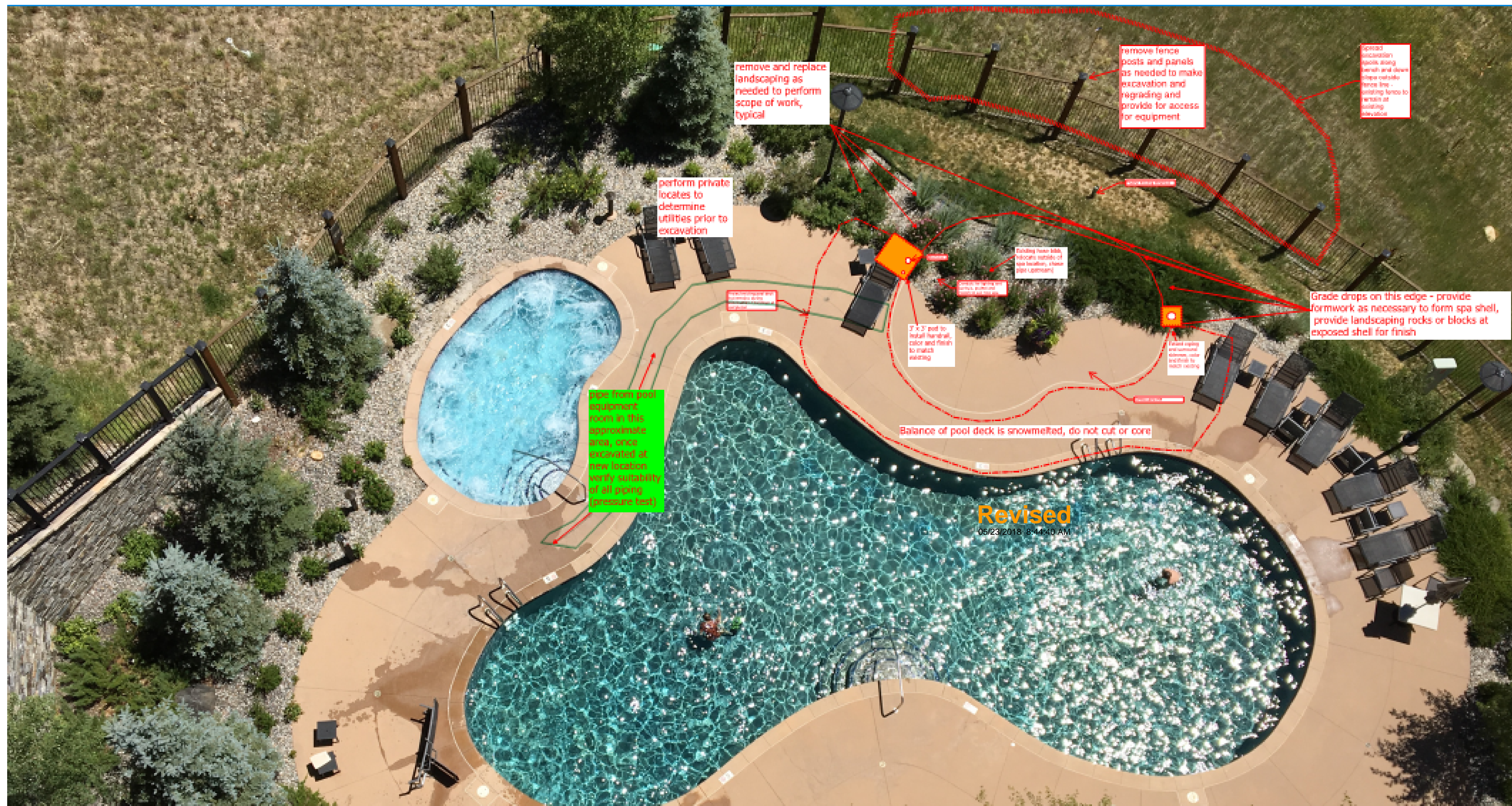
REFER TO A2.1
FOR FLOOR PLAN
OF BUILDING AND LOCATION
OF EQUIPMENT ROOM.



POOL AND SPA LAYOUT PLAN
SCALE: 1/4" = 1'-0"

RCRBD
Record Set





remove and replace landscaping as needed to perform scope of work, typical

remove fence posts and panels as needed to make excavation and regrading and provide for access for equipment

spread excavation spoils along fence and down slope outside fence line - existing fence to remain at existing elevation

perform private locates to determine utilities prior to excavation

Existing fence line, relocate outside of spa location, please also upstream

Locate existing and remove, color and finish to match existing

7' x 3' pad to install handrail, color and finish to match existing

Grade drops on this edge - provide formwork as necessary to form spa shell, provide landscaping rocks or blocks at exposed shell for finish

Locate existing and remove, color and finish to match existing

Balance of pool deck is snowmelted, do not cut or core

pipe from pool equipment room in this approximate area, once excavated at new location verify suitability of all piping (pressure test)

excavation and concrete pour location

Revised
05/23/2018 8:44:40 AM

CALCULATIONS

METHODOLOGY:

γ = EQUIVALENT FLUID PRESSURE

CASE I

OTM = $1/6 \gamma H^3$ WHERE $\gamma = 60$ pcf
NET MOM = OTM - RESISTING MOMENT

CASE II

OTM = $1/6 \gamma H^3$ WHERE $\gamma = 62.4$ pcf
NET MOM = OTM + RESISTING MOMENT

$$f_s = \frac{M(12 \text{ in/ft})}{A_s j d} = \frac{M_t (12)}{A_s (0.887) d}$$

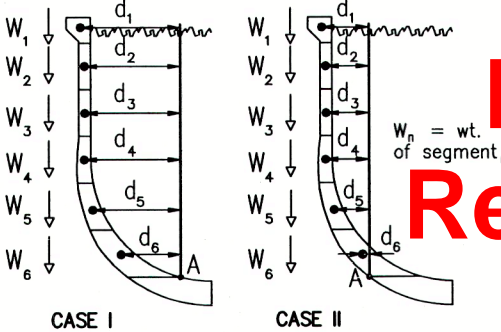
$$f_c = \frac{M(2) 12 \text{ in/ft}}{j k b d^2} = \frac{M_t (2)(12)}{(0.887)(0.339)(12) d^2} < 1125 \text{ psi}$$

$$\nu_c = \frac{(1/2) \gamma H^2}{(12 \text{ in/ft}) j d} = \frac{\gamma H^2}{(2)(12)(0.887) d} < 55 \text{ psi}$$

$f'_c = 2,500 \text{ psi}$
 $F_s = 20,000 \text{ psi}$
 $f_c = 0.45 f'_c = 1125 \text{ psi}$
 $\nu_c = 1.1 \sqrt{f'_c} = 55 \text{ psi}$

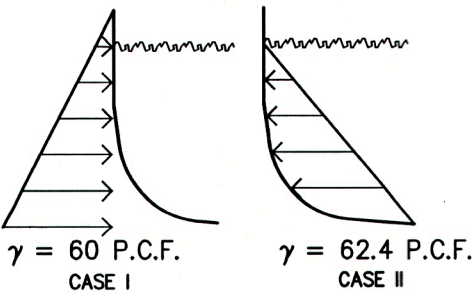
RESISTING MOMENT:

RESISTING MOMENT ABOUT POINT A
 $RM = W_1 d_1 + W_2 d_2 + \dots W_n d_n$



LOADING DIAGRAM:

THIS DETAIL IS DESIGNED FOR EACH OF THE LOAD CASES DEFINED BELOW.



CALCULATION RESULTS:

FREESTANDING WALL
EQUIVALENT FLUID PRESSURE = 60 P.C.F.
RESULTS FOR NO RAISED BOND BEAM

DEPTH 'D'	SOIL OTM ft-#	WATER OTM ft-#	SOIL RM ft-#	WATER RM ft-#	NET Mom	CASE I d1 SOIL	CASE II d2 WATER	VERTICAL STEEL	f_s p.s.i.	f_c p.s.i.	ν_c p.s.i.
3'-6"	429	446	106	-53	393	3"	3"	#3 @ 12"	15354	427	10.6
4'-0"	640	666	124	-55	611	3"	3"	#3 @ 6"	12275	508	13.9
5'-0"	1250	1300	230	-57	1020	3 1/2"	4 1/2"	"	17454	660	17.9
6'-0"	2160	2246	497	-2	1663	4"	5 1/2"	add 3 #4	8283	580	22.5
7'-0"	3430	3567	1046	315	3882	4"	5 1/2"	"	13807	832	30.6
8'-0"	5120	5325	2259	971	6296	4"	6 1/2"	"	18781	998	40.0
8'-6"	6141	6387	4820	888	7275	4"	7 1/2"	"	18671	889	45.2

RESULTS FOR 2'-6" MAX. RAISED BOND BEAM

HEIGHT 'H'	SOIL OTM ft-#	WATER OTM ft-#	SOIL RM ft-#	WATER RM ft-#	NET Mom	CASE I d1 SOIL	CASE II d2 WATER	VERTICAL STEEL	f_s p.s.i.	f_c p.s.i.	ν_c p.s.i.
3'-6"	429	10	106	-53	323	3"	3"	#3 @ 12"	12607	351	10.2
4'-0"	640	35	116	-63	524	3"	3"	#3 @ 6"	10537	436	13.3
5'-0"	1250	163	135	-99	1115	3 1/2"	3"	"	19071	722	17.9
6'-0"	2160	446	163	-165	1997	4 1/2"	3"	#3 @ 3"	13563	666	20.0
7'-0"	3430	948	251	-163	3179	5"	3"	"	19325	891	24.5
8'-0"	5120	1730	508	-82	4612	6"	3"	add 3 #4	14965	938	26.7
9'-0"	7290	2856	1031	195	6259	6 1/2"	4"	"	18669	1064	31.2
10'-0"	10000	4388	2082	611	7918	8"	5 1/2"	"	18993	1021	31.3
11'-0"	13310	6387	6678	291	6678	8 1/2"	6 1/2"	"	19921	1034	35.6

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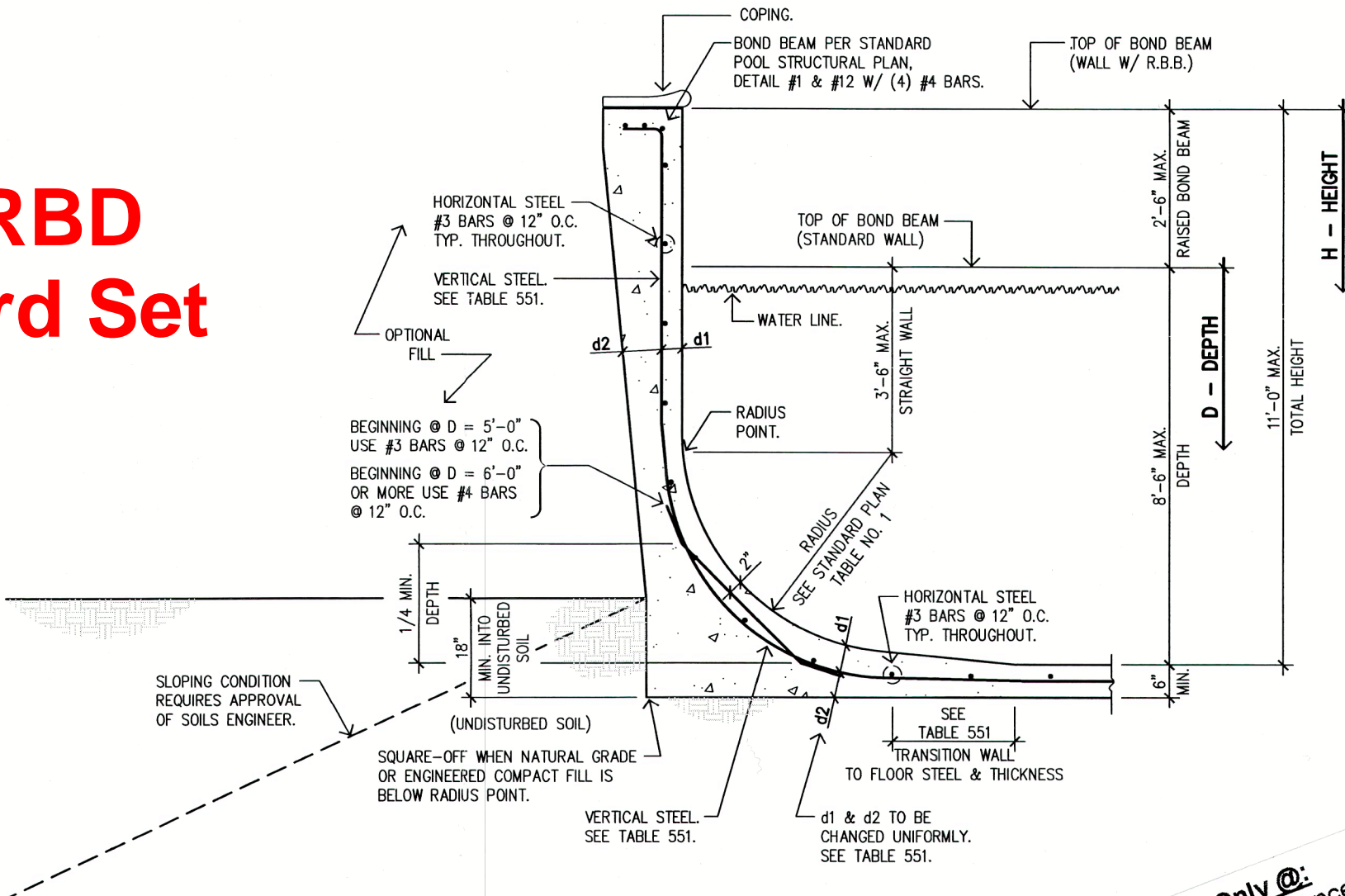


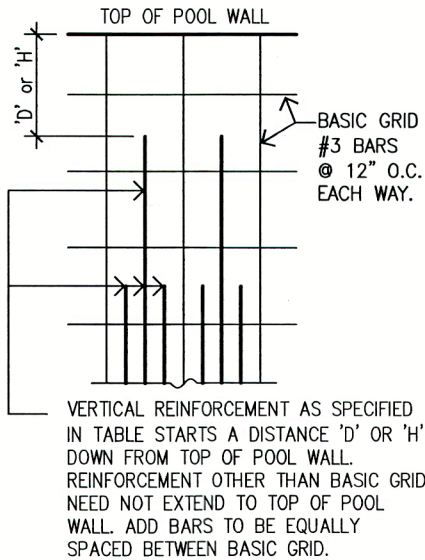
TABLE 551

'D' OR 'H' IS DISTANCE FROM TOP OF POOL WALL DOWNWARD.
BEGIN SPECIFIED STEEL & GUNITE THICKNESS AT INDICATED 'D' OR 'H' DEPTH.
(SEE STANDARD STRUCTURAL PLAN, DETAIL #2)

POOL DEPTH	NO RAISED BOND BEAM			REQ'D TRANS.
	D	d1	d2	
0 to 3'6"	3"	3"	#3 @ 12"	2'-0"
4'-0"	3"	3"	#3 @ 6"	2'-0"
4'-6"	3"	3 1/2"	"	2'-0"
5'-0"	3 1/2"	4 1/2"	"	2'-0"
5'-6"	4"	5 1/2"	"	2'-0"
6'-0"	4"	5 1/2"	add 3 #4	2'-0"
6'-6"	4"	5 1/2"	"	2'-0"
7'-0"	4"	5 1/2"	"	2'-0"
7'-6"	4"	5 1/2"	"	2'-0"
8'-0"	4"	6 1/2"	"	2'-0"
8'-6"	4"	7 1/2"	"	2'-0"

TOTAL HEIGHT	2'-6" MAX. RAISED BOND BEAM			REQ'D TRANS.
	H	d1	d2	
0 to 3'6"	3"	3"	#3 @ 12"	2'-0"
4'-0"	3"	3"	#3 @ 6"	2'-0"
4'-6"	3"	3"	"	2'-0"
5'-0"	3 1/2"	3"	"	2'-0"
5'-6"	4 1/2"	3"	"	2'-0"
6'-0"	4 1/2"	3"	#3 @ 3"	2'-0"
6'-6"	4 1/2"	3"	"	2'-0"
7'-0"	5"	3"	"	2'-8"
7'-6"	6"	3"	"	2'-8"
8'-0"	6"	3"	add 3 #4	2'-10"
8'-6"	6"	3 1/2"	"	2'-11"
9'-0"	6 1/2"	4"	"	3'-0"
9'-6"	7"	5"	"	3'-2"
10'-0"	8"	5 1/2"	"	3'-2"
10'-6"	8 1/2"	6 1/2"	"	3'-2"
11'-0"	8 1/2"	6 1/2"	"	3'-2"

TYPICAL REBAR REINFORCING DIAGRAM



For Use Only @:
Skitrail Ln Residence
2410 Skitrail Ln.
Steamboat CO

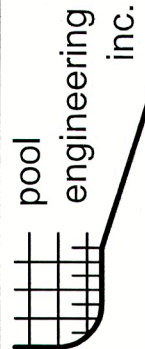


DATE: 12/13/16
CALCS BY: T.L.L.
CHECKED BY: R.L.L.

FREESTANDING WALL
EQUIVALENT FLUID PRESSURE = 60 P.C.F.

DETAIL #551

Ron Lacher, R.C.E.
1201 N. Tustin Ave.
Anaheim, California 92807
Fax: (714) 630-6114
Phone: (714) 630-6100



PLAN VALID ONLY WITH ENGINEER'S
SIGNATURE IN RED INK ON PLAN.
THIS DETAIL TO BE USED IN CONJUNCTION
WITH STANDARD POOL STRUCTURAL PLAN

1. UNDISTURBED EARTH MAY BE LEFT IN PLACE TO FORM THE STEPS OR BENCHES. REINFORCING STEEL SHOULD BE PLACED AROUND THE STEP OR BENCH SHAPED EARTH (3" CLEAR FROM EARTH).
2. THE EARTH MAY BE REMOVED AND BENCHES AND STEPS MAY BE FORMED OF SHOTCRETE (GUNITE) WITHIN THE STRUCTURAL POOL SHELL. REINFORCING AT THE SURFACE OF THE BENCHES AND STEPS IS OPTIONAL.



N.T.S.

N.T.S.

INDICATES TYPICAL RADIUS (ACTUAL RADIUS
MAY VARY, SEE STRUCTURAL NOTE #11)
'D' IS DISTANCE DOWN
FROM TOP OF POOL WALL.

NON-EXPANSIVE			EXPANSIVE		NO LEAK/HIGH EXP.	
E			F		G	
30 P.C.F.			45 P.C.F.		62.4 P.C.F.	
E.F.P.		VERTICAL STEEL	C	VERTICAL STEEL	C	VERTICAL STEEL
3/6"	3"	#3 @ 12"	3"	#3 @ 12"	3"	#3 @ 12"
4/0"	3"	↓	3"	↓	4"	↓
4/6"	3"	↓	3 1/2"	↓	5"	↓
5/0"	3"	#3 @ 6"	3 1/2"	#3 @ 6"	5"	#3 @ 6"
5/6"	3"	↓	4"	↓	6"	↓
6/0"	3 1/2"	↓	5"	↓	7"	↓
6/6"	4"	↓	6"	↓	8"	↓
7/0"	5"	↓	6"	#3 @ 4"	8"	#3 @ 3"
7/6"	5 1/2"	↓	6"	↓	8"	↓
8/0"	6 1/2"	↓	7"	↓	8 1/2"	↓
8/6"	7 1/2"	↓	8"	↓	9 1/2"	↓
9/0"	8"	↓	9"	↓	10 1/2"	↓
9/6"	9"	↓	10"	↓	11 1/2"	↓
10/0"	9"	↓	11"	↓	12"	↓
11/0"	9"	↓	11"	↓	12 1/2"	↓

N.T.S.

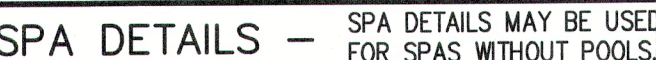


MAINTAIN 18" MIN. EMBEDMENT INTO
UNDISTURBED OR 90% COMPACTED SOIL

N.T.S.

N.T.S.

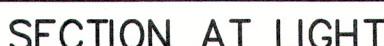
6



NTS



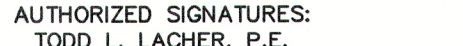
NTS



NTS



11



N.T.S.

100-C

COPYRIGHT 2017. POOL ENGINEERING INC.

RCRBD Record Set

After Recording, Return to:
Jill A. Brabec, Esq.
The Law Office of Jill A. Brabec, P.C.
PO Box 881374
721 Oak St. Suite 202
Steamboat Springs, CO 80488

2

IMPROVEMENTS EASEMENT AGREEMENT

THIS IMPROVEMENTS EASEMENT AGREEMENT (the "Agreement") is made and entered into this 25th day of April, 2016 by and between DB BEAR PAW, LLC, a Delaware limited liability company ("Grantor"), and EDMONT CONDOMINIUM ASSOCIATION, INC., a Colorado non-profit corporation ("Grantee").

WHEREAS, Grantee is the condominium association for the Edgemont Condominium created pursuant to that certain Condominium Declaration of Edgemont Condominium recorded on December 16, 2009 at Reception No. 694321 ("Condominium"); and

WHEREAS, certain improvements of the Condominium, including without limitation, portions of the pool area, patio, landscaping and fence ("Improvements") are situated on real property owned by Grantor as more particularly described on EXHIBIT A attached hereto and incorporated herein ("Easement Property"); and

WHEREAS, the parties desire to provide for an easement on, over and across the Easement Property for the Improvements and for maintenance, repair and replacement thereof.

NOW THEREFORE, for good and valuable consideration, the adequacy and sufficiency of which are hereby mutually acknowledged, the parties hereto agree as follows:

1. Grant of Easement. Grantor hereby grants to Grantee, for the use and benefit of Grantee and its members, agents, tenants, guests and invitees, an exclusive, irrevocable, perpetual easement on, over and across the Easement Property for the purposes set forth herein ("Improvements Easement").

2. Permitted Uses. The parties hereby agree and acknowledge that the Improvements Easement shall be used for the purposes of maintaining, repairing, replacing, improving and using the Improvements and using, repairing, replacing, maintaining, improving and/or constructing additional improvements related to pool, hot tub, patio, landscaping, fence and recreational uses of the Grantee.

3. Construction, Maintenance and Repair of Improvements Easement. Grantee shall, at Grantee's sole expense, be responsible for construction, maintenance and repair of the any and all improvements within the Improvements Easement. Grantee shall pay all expenses related to gas, electricity and any and all other utility or maintenance charges in or about the Improvements Easement.

4. Mechanic's Liens. Grantee shall keep the Easement Property free and clear of all mechanics', materialman's and other liens arising out of any work performed or materials delivered on account of the Grantee. If such a lien is filed, Grantee shall cause the lien to be removed of record within thirty (30) days thereafter, or, if any foreclosure action to enforce the lien actually commences, within five (5) days after commencement of such foreclosure action.

5. **Insurance.** Upon request, Grantee shall furnish to Grantor certificates of insurance (in form reasonably acceptable to Grantor), certifying that it maintains commercial general liability insurance with limits of not less than \$1,000,000 per occurrence, naming Grantor as an additional insured on such policy.

6. **Indemnification.** Grantee shall indemnify, defend and hold Grantor harmless from and against any liability or expense, including reasonable attorneys' fees, incurred by Grantor in connection with, or arising out of, or relating to the acts or omissions of the Grantee, its employees, tenants, agents and contractors, with respect to the use, operation, maintenance or repair of the Improvements Easement granted hereunder, except to the extent the same are attributable to the negligence or willful misconduct of the Grantor.

7. **Default.** A party shall be in default under this Agreement if it fails to perform any of its covenants or agreements hereunder. In the event of any such default, the non-defaulting party hereunder shall have all rights and remedies available at law or equity arising therefrom, including without limitation damages and specific performance, provided however in no event shall Grantor have a right to terminate, rescind or cancel this Easement Agreement or prohibit or otherwise restrict the use of the easement granted hereunder.

8. **Miscellaneous.**

a. **Amendment.** This Agreement may not be amended, modified, revoked, supplemented, waived or otherwise changed except by a written instrument duly executed by Grantor and Grantee.

b. **Authority.** Each party executing and delivering this Agreement represents and warrants to the other party that such party is in good standing, that it has all requisite authority and power to execute and deliver this Agreement, and that the individual executing and delivering this Agreement on behalf of such party has been duly authorized and empowered to make such execution and delivery.

c. **Binding Effect.** This Agreement and the Improvements Easement shall run with the land and shall be appurtenant to and shall benefit the Condominium and shall burden the Easement Property, and shall be binding upon and inure to the benefit of the parties and their successors and permitted assigns. Each owner, by accepting title to any part of the Condominium or the Easement Property and each mortgage holder by accepting a mortgage or deed of trust encumbering the Condominium or the Easement Property, accepts and agrees to all of the terms and conditions of this Easement Agreement. The parties agree and acknowledge that all of the rights and obligations of Association shall be exercisable by the Association without the necessity of the consent of any owners of a unit or any party holding a security interest in a unit.

d. **Costs of Legal Proceedings.** To the extent any legal action or proceeding between the parties arising from or based on this Agreement or the interpretation or enforcement of any provisions hereof is undertaken, then the substantially prevailing party or parties shall recover from the substantially non-prevailing party or parties all costs and expenses, including reasonable attorneys' fees, incurred by such substantially prevailing party or parties in such action or proceeding and in any appeal in connection therewith. If such substantially prevailing party or parties recovers a judgment in any such action, proceeding or appeal, then such costs, expenses and attorneys' fees shall be included in and as a part of such judgment.

e. **Governing Law, Jurisdiction and Venue.** This Agreement shall be construed in accordance with and governed by the laws of the State of Colorado, with exclusive jurisdiction and venue in Routt County.

f. **Notices.** Any notice to be given to any party pursuant to any provision of this Agreement shall be in writing and shall be (i) hand delivered to such party, or (ii) sent by FedEx or other nationally-recognized overnight courier service to the address of such party listed with the Secretary of State for such entity or if none, then to the address listed with the Routt County Assessor for the mailing of tax notices (fee prepaid and marked for next business day delivery), and, if hand delivered, shall be deemed received when delivered, and if sent by FedEx or other nationally-recognized overnight courier service, shall be deemed received one business day after having been deposited with FedEx or other nationally-recognized overnight courier service if designated for next day delivery addressed to the party at the address as provided above. Any party may, by notice given as provided above, change its address for future notices.

If to Grantee: Edgemont Condominium Association
2420 Ski Trail Lane,
Steamboat Springs, CO 80487

If to Grantor: DB Bear Paw, LLC
5221 N. O'Connor Boulevard, Suite 700
Irving, Texas 75039

g. **Third Parties.** Nothing herein expressed or implied is intended or shall be construed to confer upon or give to any person or corporation other than parties hereto and their successors or permitted assigns, any rights or remedies under or by reason of this Agreement.

h. **Waiver of Compliance.** Any failure of either party hereto to comply with any obligation, covenant, agreement or condition herein may be expressly waived in writing by the respective party, but such waiver or failure to insist upon strict compliance with such obligation, covenant, agreement or condition shall not operate as a waiver of, or estoppel with respect to, any subsequent or other failure.

i. **Counterparts.** This Agreement may be executed simultaneously in counterparts, all of which shall be deemed an original and together shall constitute one and the same instrument.

j. **Severability.** If any part, term or provision of this Agreement is judicially determined to be illegal or in conflict with any applicable law, the validity of the remaining portions or provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if this Agreement did not contain the particular part, term or provision held to be invalid or illegal.

k. **Entire Agreement.** This Agreement, including all exhibits hereto, is intended as the complete integration of all understandings between the parties related to those matters set forth herein.

Signatures to follow on next pages

IN WITNESS WHEREOF, the parties have executed this Agreement on the day and year first above written.

EDGEMONT CONDOMINIUM ASSOCIATION, INC.,
a Colorado non profit corporation

By: _____

Fred Auch, President

STATE OF Washington)

COUNTY OF King)

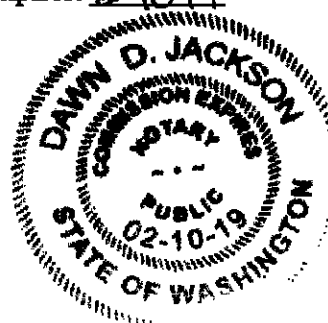
ss.

The foregoing document was acknowledged before me this 18th day of April, 2016, by Fred Auch, as President of Edgemont Condominium Association, Inc., a Colorado non profit corporation.

Witness my hand and official seal.

My Commission Expires: 2-10-19

Dawn D. Jackson
NOTARY PUBLIC




DB BEAR PAW, LLC,
A DELAWARE LIMITED LIABILITY COMPANY

BY: WESTROCK MANAGEMENT LLC,
A COLORADO LIMITED LIABILITY COMPANY,
ITS MANAGER

BY: ATIRA STEAMBOAT LLC,
A DELAWARE LIMITED LIABILITY COMPANY,
ITS MANAGER

BY: GE HOLDINGS II LLC,
A COLORADO LIMITED LIABILITY COMPANY,
ITS MANAGER

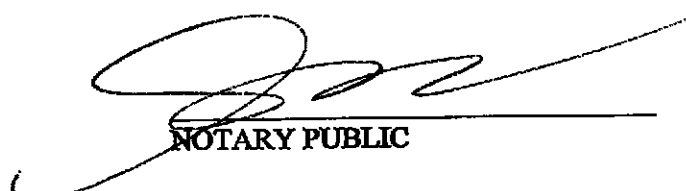
BY: 
NAME: Garrett Simon
ITS: Authorized Person

STATE OF Colorado)
COUNTY OF Boulder) ss

The foregoing instrument was acknowledged before me this 19th day of April, 2016 by Garrett Simon as authorized person on behalf of GE Holdings II LLC, a Colorado limited liability company, manager of Atira Steamboat LLC, a Delaware limited liability company, manager of Westrock Management LLC, a Colorado limited liability company, Manager of DB Bear Paw LLC, a Delaware limited liability company

Witness my hand and official seal.

My Commission Expires: 6-11-17


NOTARY PUBLIC

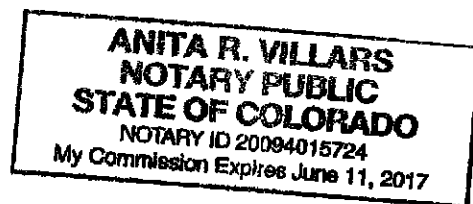


EXHIBIT A

Legal Description of Easement Property



D & D INC.

A PROFESSIONAL LAND SURVEYING AND PLANNING CO.
2145 RESORT DR., SUITE 108, STEAMBOAT SPRINGS, CO 80487
(970) 679-2715 • FAX (970) 679-3028

March 7th, 2016.

Description of an easement for existing improvements located within the Expansion Property as shown on the plat of Edgemont Condominium-Building A as filed with the Routt County Clerk and Recorder appearing at File No. 13966 of the 5th P.M., City of Steamboat Springs, Routt County, Colorado.

Beginning at the point of intersection of curve 4 (C4) and line 2 (L2) as shown on the above said plat;

Thence N 65°34'48" E 16.24 feet along said line 2;
Thence S 24°17'12" E 7.37 feet;
Thence S 09°42'19" W 20.38 feet;
Thence S 57°05'37" W 0.82 feet;
Thence S 09°30'52" W 14.44 feet;
Thence S 14°05'45" W 7.62 feet;
Thence S 21°35'20" W 7.51 feet;
Thence S 35°02'44" W 7.94 feet;
Thence S 48°00'23" W 7.78 feet;
Thence S 58°04'32" W 7.64 feet;
Thence S 65°52'28" W 7.90 feet;
Thence S 74°47'15" W 14.89 feet;
Thence S 83°10'49" W 8.00 feet;
Thence N 88°58'11" W 7.71 feet;
Thence N 81°48'45" W 8.00 feet;
Thence N 73°23'19" W 14.21 feet;
Thence N 67°35'29" W 7.96 feet;
Thence N 58°04'51" W 7.49 feet;
Thence N 50°43'31" W 7.91 feet;
Thence N 41°02'55" W 8.41 feet;
Thence N 26°45'29" W 8.75 feet;
Thence N 16°55'34" W 7.97 feet;
Thence N 06°41'42" W 7.67 feet;
Thence N 04°56'31" E 8.03 feet;
Thence N 14°11'52" E 7.57 feet;
Thence N 75°11'31" W 3.75 feet;
Thence N 29°34'19" W 6.00 feet;
Thence N 12°59'35" W 8.88 feet;
Thence N 32°44'14" W 15.94 feet;
Thence N 29°14'55" W 12.03 feet;
Thence N 46°30'04" W 7.69 feet;

Thence N 57°52'45" W 9.91 feet;
Thence N 20°59'58" W 13.62 feet to the northerly boundary
line of the above said Expansion Property;
Thence N 57°09'47" E 6.35 feet along said northerly boundary
line to the common boundary line between said Expansion
property line and the Edgemont Condominium-Building A
parcel;
Thence along said common boundary line the following
seventeen (17) calls;
1. Thence S 24°25'12" E 20.51 feet;
2. Thence N 65°34'48" E 6.00 feet;
3. Thence S 24°25'12" E 6.00 feet;
4. Thence N 65°34'48" E 6.00 feet;
5. Thence S 24°25'12" E 40.33 feet to a point of curvature
from which the radius point bears N 65°34'48" E 54.00
feet;
6. Thence along said curve to the left a distance of
25.07 feet, with a central angle of 26°36'11", and whose
chord bears S 37°43'17" E 24.85 feet to a point of
curvature from which the radius point bears S 38°58'37" W
5.00 feet;
7. Thence along said curve to the right a distance of
4.49 feet, with a central angle of 51°29'04", and whose
chord bears S 25°16'51" E 4.34 feet to a point of
curvature from which the radius point bears S 89°32'19" E
24.50 feet;
8. Thence along said curve to the left a distance of
36.01 feet, with a central angle of 84°13'02", and whose
chord bears S 41°38'50" E 32.86 feet to a point of
curvature from which the radius point bears N 06°14'39" E
20.00 feet;
9. Thence along said curve to the left a distance of
17.89 feet, with a central angle of 51°15'40", and whose
chord bears N 70°36'49" E 17.30 feet to a point of
curvature from which the radius point bears S 45°01'01" E
5.50 feet;
10. Thence along said curve to the right a distance of
8.10 feet, with a central angle of 84°20'24", and whose
chord bears N 87°09'11" E 7.38 feet to a point of
curvature from which the radius point bears N 39°19'23" E
15.00 feet;
11. Thence along said curve to the left a distance of
15.14 feet, with a central angle of 57°49'53", and whose
chord bears S 79°35'34" E 14.51 feet to a point of
curvature from which the radius point bears S 18°30'30" E

- 11.00 feet;
12. Thence along said curve to the right a distance of 5.91 feet, with a central angle of $30^{\circ}47'54''$, and whose chord bears N $86^{\circ}53'27''$ E 5.84 feet to a point of curvature from which the radius point bears N $12^{\circ}17'24''$ E 7.00 feet;
13. Thence along said curve to the left a distance of 8.06 feet, with a central angle of $65^{\circ}55'57''$, and whose chord bears N $69^{\circ}19'26''$ E 7.62 feet to a point of curvature from which the radius point bears N $09^{\circ}08'44''$ E 6.92 feet;
14. Thence along said curve to the left a distance of 8.36 feet, with a central angle of $69^{\circ}10'41''$, and whose chord bears N $64^{\circ}33'23''$ E 7.86 feet to a point of curvature from which the radius point bears N $60^{\circ}01'57''$ W 21.92 feet;
15. Thence along said curve to the left a distance of 15.09 feet, with a central angle of $39^{\circ}26'20''$, and whose chord bears N $10^{\circ}14'53''$ E 14.79 feet to a point of curvature from which the radius point bears S $80^{\circ}31'43''$ W 7.92 feet;
16. Thence along said curve to the left a distance of 5.44 feet, with a central angle of $39^{\circ}23'14''$, and whose chord bears N $29^{\circ}09'54''$ W 5.34 feet to a point of curvature from which the radius point bears N $63^{\circ}25'45''$ W 22.75 feet;
17. Thence along said curve to the left a distance of 21.16 feet, with a central angle of $53^{\circ}17'24''$, and whose chord bears N $00^{\circ}04'27''$ W 20.40 feet to the Point of Beginning.

Bearings are based upon those shown on the plat of Edgemont Condominium-Building A as filed with the Routt County Clerk and Recorder appearing at File No. 13966

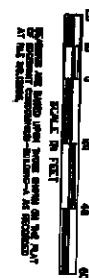
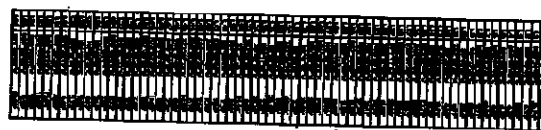
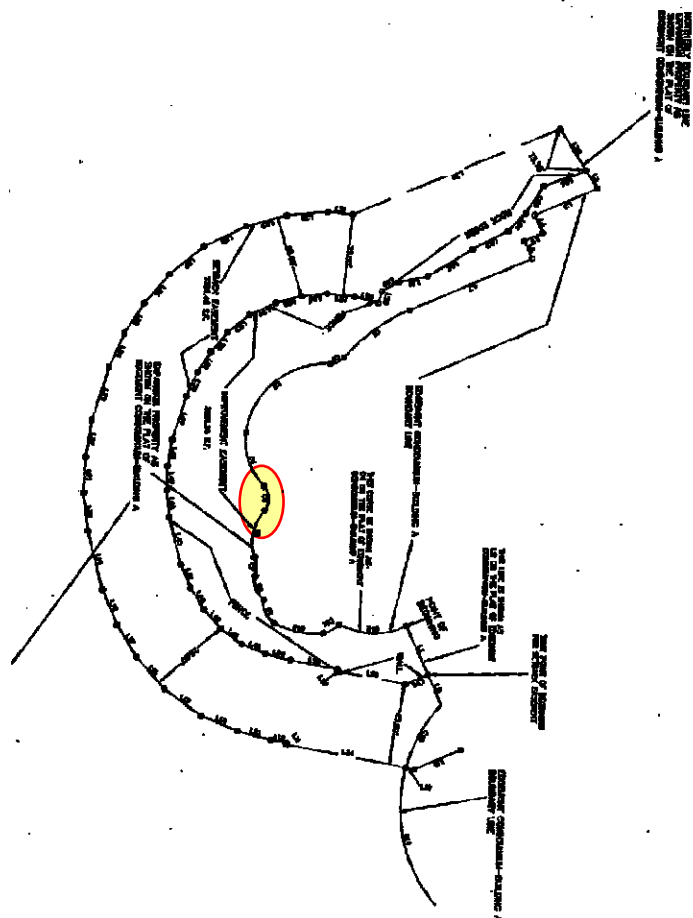
This legal description was prepared by R.C. Moon, Colorado Registration No. 13221, at D&D Inc., a Professional Land Surveying and Planning Co., 2145 Resort Drive, Suite 105 Steamboat Springs, CO. 80487-8807 970-879-2715

Easement for Condominium improvements-fence wall and landscaping,

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Page 3 of 3
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9.

ROUTT COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH

Public and Semi-Public Swimming Pool, Hot Tub, and/or Spa

Specification and Plan Review Form

Record Set

Prior to the construction, extension, enlarging, remodeling, or modification of any public or semi-public swimming pool, wading pool, hot tub or spa, the owner or his authorized representative is required to submit the following information to the Routt County Environmental Health Department. Routt County Environmental Health reserves the right to request any additional information considered necessary for review completion.

The criteria used in evaluating plans and specifications for swimming pools and spas are based on the State of Colorado Swimming Pool and Mineral Bath Regulations. Copies of these regulations are available from the Routt County Environmental Health Department. Should you have any questions regarding this form, visit us at 427 Oak Street in Steamboat Springs, Colorado or call us at (970) 879-0185.

	Name	Address	Phone
Pool	Edgemont Future Spa	2410 Ski Trail Lane	
Owner	Edgemont HOA	2420 Ski Trail Lane, Steamboat	970-879-6100
Architect			
Engineer	Todd Lee Lacher	1201 N. Tustin Ave, Anaheim, CA 92807	714-630-6100
Installer	Precision Pools	1555 Meadow Ln, SS, CO	870-0921

Brief description of improvements proposed: Installation of the 'Future' in-ground spa at the Edgemont Condominiums. The space and services where installed in 2008 to receive this spa, this permit it requested to now install the spa and equipment

Fill in all of the following blanks or use N/A if the item is inapplicable:

I. Site Plan

List the following and show details on a scaled site plan.

A. Location and shape of the swimming pool, wading pool, hot tub or spa including:

	Length (ft.)	Width (ft.)	Depth (ft.) min/max	Capacity (gallons)	Surface Area (ft.)
Pool	<u> </u>	<u> </u>	<u> </u>	<u> </u>	<u> </u>
Wading Pool	<u> </u>	<u> </u>	<u> </u>	<u> </u>	<u> </u>
Spa/Hot Tub	<u>kidney</u>	<u> </u>	<u>3'6"</u>	<u>3840</u>	<u>200 sq ft.</u>

- Maximum bottom slope in/ft., Shape
- User loads: Pool , Wading Pool , Hot Tub 20 persons
- Interior finishes (fiberglass, plaster, etc.) Plaster
- Location of stairs, handrails, and ladders Per Drawings
- Step height 9 1/2 (10" maximum), width 12" (12" minimum)
- Location of diving boards and distance from water
- Location and wattage of underwater lighting Per Drawings

B. The deck area surrounding the swimming pool or hot tub including:

1. Deck dimensions Installation of the surrounding deck occurred in 2008, see attached pictures
2. Deck material _____
3. Minimum deck slope _____ in/ft
4. Location and wattage of deck lights _____
5. Location of electrical switches and outlets (15 ft. from edge of hot tub) _____
6. Location of deck drains _____
7. Location of hose bibbs _____ (back flow prevention required)
8. Minimum distance between deck and overhead obstacles _____
9. Fencing around facilities (minimum 60") _____

C. Location and schematic of the mechanical room and recirculation equipment (Attach a separate document). See Attached Drawings.

D. Location of dressing rooms, toilet and shower facilities including:

1. Fixtures: Toilets _____, Showers _____, Dressing Rooms Existing
(Differentiate between male and female facilities)
2. Material and finishes, floor _____, walls _____, ceiling _____
3. Minimum slope of floor to drains _____ in/ft.

E. Complete plumbing diagram from mechanical room to pool or hot tub including:

1. Scale layout of recirculation equipment and location of flow meter (on 3 ft straight section of return to pool) See Attached Drawings
2. Min. slope of mechanical room floor (min 1/4 in/ft. toward drains) _____
3. Location of inlets and outlets including skimmers See Attached Drawings
(One skimmer/400 sq. ft. surface area with a minimum of two skimmers on opposite ends of the pool)
4. Method of refilling Auto Fill Via Domestic Water
(No submerged or direct connections to potable water)
5. Description of makeup water supply Domestic Water
(Must meet state drinking water standards)
6. Method of wastewater (i.e. backwash) disposal Sanitary Sewer
(No direct connections from sewer that may surcharge to mechanical room, air-gap backwash as necessary)

II. Mechanical Specifications

Provide name, model number, and other required information. Include manufacturer's specification sheets.

A. Filter

1. Type Sand - 2-TR100C
2. Filter area 4.98 sq. ft.
3. Filtration rate 98 gpm/sq. ft.

4. Turnover rate 30 min
(Pool volume must be turned over in 6 hours or less, wading pools in 1 hour or less, hot tubs/spas in 30 minutes or less)

B. Pumps

1. Horsepower 3
2. Enclose pump curve from manufacturer

C. Heater (BTU) Heat exchanger -

D. Automatic disinfection

1. Solid chlorine/bromine Salt system - Chlorine Generation
2. Chlorine gas Meets safety requirements?
3. UV/peroxide ---
4. Other ---

III. Equipment and Safety Requirements

Check the following items, assuring they will be provided.

- A. Plumbing color-coded and labeled ✓
- B. Equipment operation and maintenance guidelines posted ✓
- C. Chemical test and adjustments, records posted ✓
- D. Water quality test kit ✓
- E. Vacuum system for pools ✓
- F. Life ring and reach pole for pools ✓
- G. Precautionary signs, user guidelines ✓
- H. Depth markers ✓

I certify that the above information is true and I understand that any changes in the above described equipment or design must be approved in advance by the Routt County Department of Environmental Health. I also understand that Environmental Health must conduct a final inspection prior to the opening of the facility.

Owner _____ Date _____ Ta Re 5/16/18
Architect or Installer _____ Date _____

Submittal complete ☐ Environmental Health Approval ☐ Date _____

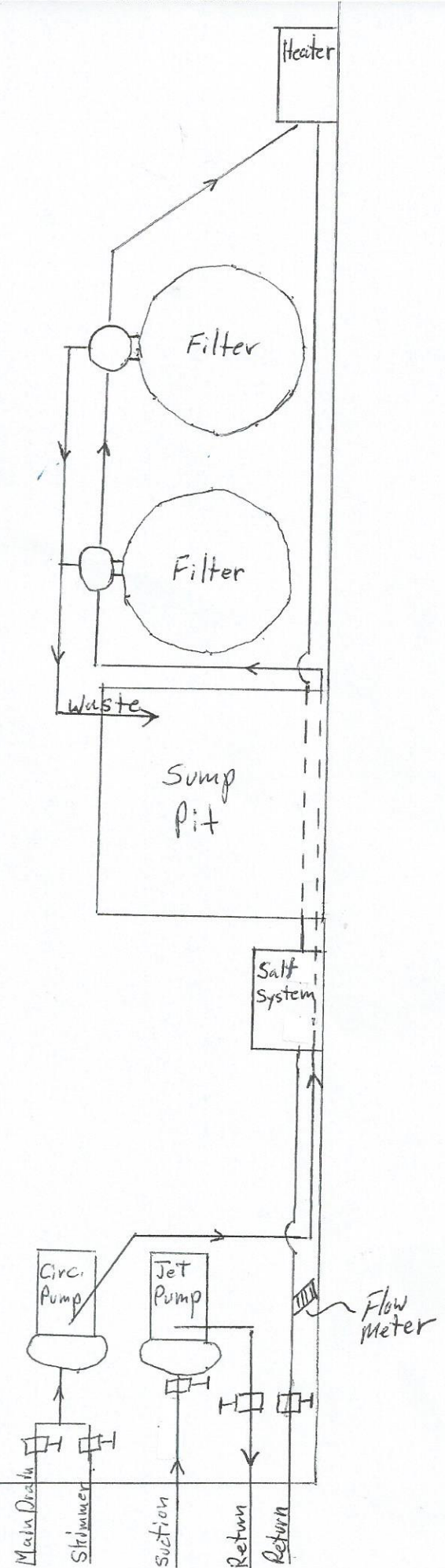
□ - Valve
 All PVC - 2 1/2" Schedule 40
 Edgemont Spa.

All above ground piping shall be clearly labeled and identified per State Code, and drawings of underground piping locations and layout shall be kept on-site in the mechanical room.

Raw Water: Yellow
 Filtered Water: Green
 Wastewater: Black
 Heated Water: Red
 Vacuum Cleaning Lines: Blue

RCRBD Record Set

3/8" = 1 Foot



RCRBD

Record Set



For Pool Pros

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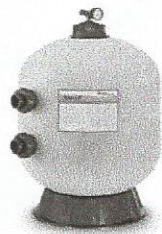
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TRITON® II

Side Mount Filters

Fiberglass Sand Filter without Valves

The original and still the industry standard. Our unique process creates a one-piece, fiberglass reinforced tank with UV-resistant surface finish for years of unequaled strength and durability. This unique method locks in fiberglass, preventing fibers from "blooming" under harsh conditions.

Features

Heavy-duty closure provides easy inspection, and features an easy-to-read pressure gauge with air relief valve

Swing-away diffuser allows instant access to sand and all internal parts

All internal parts are threaded for ease of service

Internal air bleed

Bulkhead connectors are threaded for easy installation and service

Combination sand and water drain makes servicing and winterizing fast and easy

Maximum Operating Pressure 50 psi

[Manuals](#)[Brochures](#)[Specs](#)[More](#)

Product Specifications

		TRITON II SAND FILTERS											
				Turnover Capacity (Gallons)									
Product	Model	Effective Filtration Area (Sq Ft)	Flow Rate (GPM)	Flow Rate (GPM Comm)	8 Hour	10 Hour	12 Hour	Filter Media Pea Gravel Required (Lbs)	Filter Media Sand Required (Lbs)	All Sand Required (Lbs)	Carton Qty	Carton Wt (Lbs)	
140236	TR 40	1.92	38	38	18240	22800	27360	50	125	175	1	25	
140249	TR 50	2.46	49	49	23520	29400	35280	50	175	225	1	34	
140264	TR 60	3.14	63	63	30240	37800	45360	75	250	325	1	40	
140210	TR 100	4.91	98	74	47040	58800	70560	150	450	600	1	65	
140243	TR 140	7.06	141	106	67680	84600	101520	275	650	925	1	75	

TRITON II VALVE OPTIONS¹

Product	Description	Carton Qty	Carton Wt (Lbs)
261173	1-1/2 in. MPV, for sand filters (SM 10-3)	1	6
261049	2 in. HiFlow valve, no plumbing	1	7
261050	2 in. HiFlow valve w/plumbing, for sand filters	1	11
261055	2 in. MPV, for sand filters (SM 20-3)	1	10
263064	Push Pull 7.5" Center Valve, Almond PVD	1	5

1: Valves must be purchased separately.

Certifications



NSF Certified

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<http://www.pentairpool.com/pool-pro/products/filters-sand-triton-ii-side-mount-filters-183...> 7/13/2013

WhisperFlo®

High performance pump

Simply the most efficient and quietest pump you can buy

Maximum circulation efficiency at the lowest operating cost. Long trouble-free life. Minimal maintenance. WhisperFlo, the incredibly quiet, incredibly reliable pool pump outperforms the competition by every measure.

Additional features include:

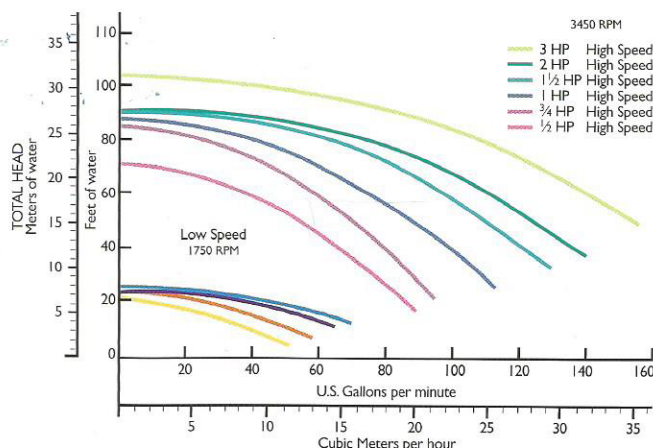
- Oversized strainer basket utilizes durable, flexible material for long life.
- Unique FunnelFlo™ diffuser and high-efficiency impeller maximize water flow and energy efficiency while minimizing turbulence and noise.
- WhisperFlo is made with high-temperature, engineered thermoplastic to withstand extreme heat and prevent corrosion.
- Energy efficient motor features commercial grade frame, rust-proof stainless steel shaft, and permanently lubricated, sealed bearings for long, trouble-free life.
- Available in single- and two-speed models.
- Three-year warranty. See warranty for complete details.



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