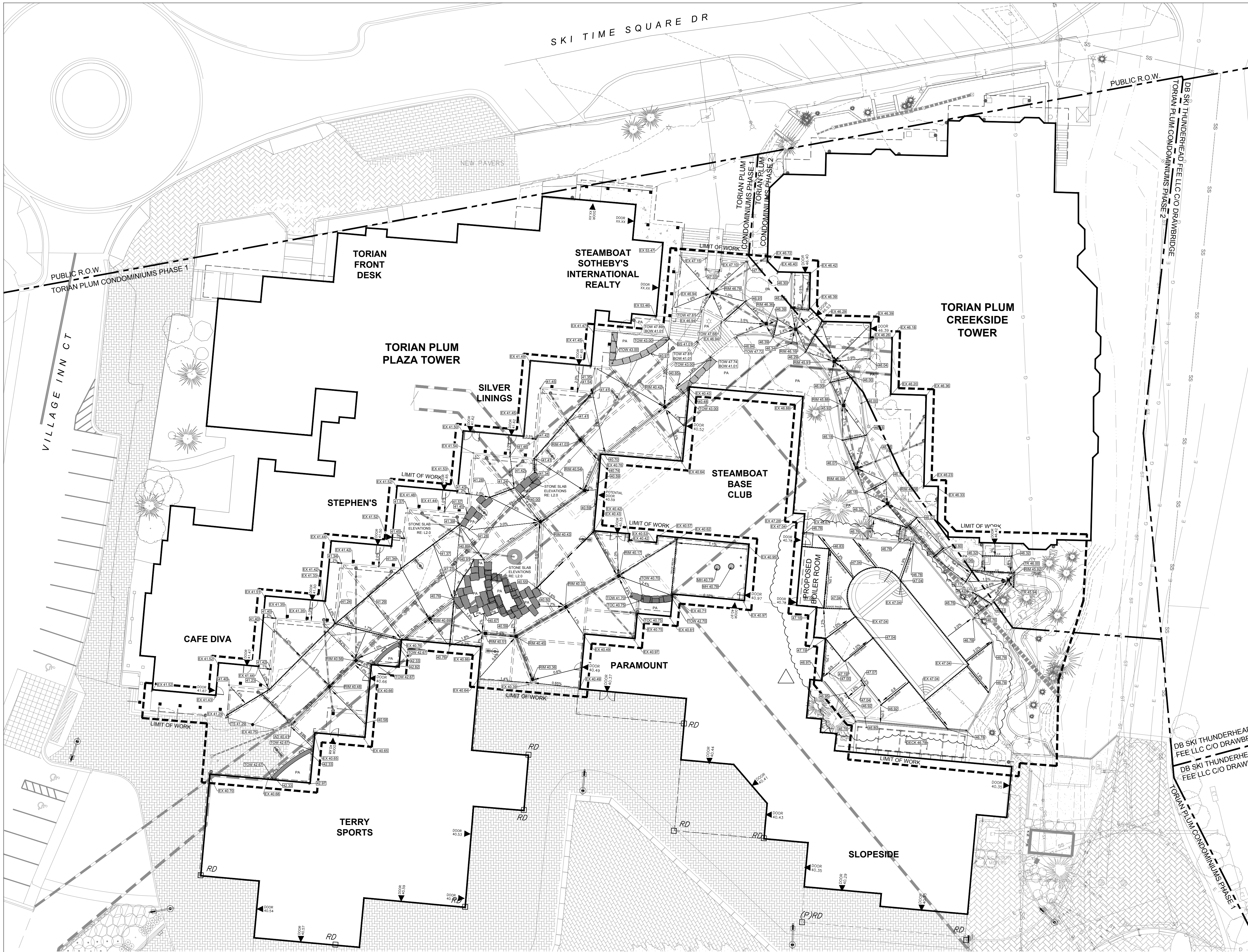




GRADING LEGEND

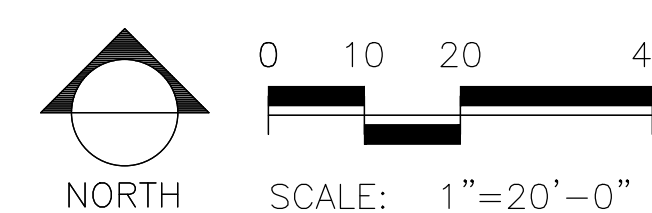
GRADE BREAK	PROP. CONTOUR - MAJOR	2.5% SLOPE (PERCENT)	TOW XX.XX TOP OF WALL	RIM XX.XX DRAIN RIM ELEV.	BUILDING EDGE	PA PLANTING AREA
RIDGE LINE	PROP. CONTOUR - MINOR	3:1 SLOPE (FT:FT)	TOC XX.XX TOP OF CURB	ME XX.XX MEET EX. GRADE	BUILDING OVERHANG	LIMIT OF WORK
EX. CONTOUR	CONTOUR TIE IN	DOOR 41.55 FIRST FLOOR ELEV.	EX 40.49 EXISTING GRADE	HP XX.XX HIGH POINT	TRENCH DRAIN PREFABRICATED	PARKING GARAGE
			MH 40.78 MANHOLE ELEV.	LP XX.XX LOW POINT	STORM INLET	STORM PIPE
			XX.XX SPOT GRADE			

GRADING AND DRAINAGE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PLANS FOR BACK OF CURB ELEVATIONS, BUILDING FIRST FLOOR ELEVATIONS, ETC.
2. PAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 5% ON THE SURFACE IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE UNLESS OTHERWISE SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
4. ALL FINISHED HARDSCAPE AND LANDSCAPE AREAS SHALL BE SLOPED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TOWARD DRAINAGE INLETS AND FACILITIES.
5. GRADES IN LANDSCAPE AREAS SHALL SLOPE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 UNLESS OTHERWISE NOTED OR APPROVED.
6. FEATHER ALL FINISH GRADES TO MEET EXISTING GRADES WITHOUT ABRUPT CHANGES IN SLOPE.
7. CONTRACTOR SHALL STABILIZE AND MAINTAIN EXISTING SLOPES AND GRADES AS REQUIRED AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY EROSION OR SLOPE FAILURE AT NO ADDITIONAL COST TO THE OWNER.

BENCHMARK
TOP OF AN ALUMINUM CAP FOR THE NORTHWEST CORNER OF SECTION 27, T6N, R84W, SIXTH P.M. ELEVATION = 6913.45 (NGVD 29)

DESIGN TEAM ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



wenk

ASSOCIATES
PLANNERS &
LANDSCAPE
ARCHITECTS
303.828.0003

WATERPROOFING / RENOVATION - PHASE 2
TORIAN PLUM PARKING STRUCTURE
STEAMBOAT SPRINGS, CO

Date 10.22.18
Drawn By BP
Reviewed by JC
Job No. 16021.01

Revisions	
Name	Date
BLDG DEPT #1	03/06/18
BLDG DEPT #2	04/XX/18

Issue:
100% Construction Documents
Sheet Title:
Grading Plan
Sheet Number
G1.0