

LIVE LOADS USED IN DESIGN

ROOF	75	PSF
FLOORS	40	PSF
DECK, PORCHES	75	PSF
WIND	U.B.C. EXPOSURE B	
EARTHQUAKE	ZONE 1	
MAXIMUM SOIL BEARING PRESSURE	4000	PSF
MINIMUM DEAD LOAD PRESSURE	0	PSF

REFERENCE SOILS REPORT # 92-1151 BY N.C.C., INC.

1. GENERAL REQUIREMENTS

EVERY ATTEMPT HAS BEEN TAKEN TO AVOID OR ELIMINATE ERRORS DURING THE PREPARATION OF THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS WITH ACTUAL FIELD CONDITIONS.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE INTERFACE BETWEEN ALL TRADES AND SUBCONTRACTORS, SO AS TO PRESENT A COMPLETE AND FINISHED PRODUCT.

ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES, AS AMENDED, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THEIR RESPECTIVE TRADES.

THESE DOCUMENTS DO NOT INCLUDE PROVISIONS FOR JOB SITE SAFETY, JOB SITE SAFETY AND PROTECTION OF ADJACENT PROPERTIES DURING CONSTRUCTION SHALL BE CONTRACTOR'S RESPONSIBILITY.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS, USE TAX, SALES TAX AND INSPECTION FEES.

2. SITE WORK

CONTRACTOR SHALL PROVIDE NECESSARY LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL SITE WORK SHOWN OR SPECIFIED IN THESE DOCUMENTS.

STRIP SITE OF EXISTING TOPSOIL AND STOCKPILE FOR RE-USE IN LANDSCAPING. REFER TO SITE PLAN FOR EXTENT OF STRIPPING AND PROPOSED STOCKPILE LOCATION.

ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED NATURAL SOIL OR PROPERLY COMPACTED BACKFILL. IF SOFT SPOTS ARE ENCOUNTERED, REMOVE SOIL AND RECOMPACT WITH APPROVED FILL. BACKFILL SHALL BE 95% (MINIMUM) STANDARD PROCTOR DENSITY, UNLESS OTHERWISE RECOMMENDED.

NOTIFY ENGINEER WHEN EXCAVATION IS COMPLETED SO THAT CONDITIONS MAY BE INSPECTED PRIOR TO PLACEMENT OF ANY FILL OR CONCRETE.

ALL FOOTING BEARING ELEVATIONS SHOWN ARE ASSUMED. EXACT BEARING ELEVATIONS SHALL BE VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS BY THE CONTRACTOR WITH THE APPROVAL OF THE ENGINEER.

CENTER ALL FOOTINGS UNDER WALLS OR COLUMNS, UNLESS OTHERWISE NOTED ON PLANS.

DO NOT PLACE BACKFILL AGAINST BASEMENT WALLS UNTIL BASEMENT FLOOR AND FIRST FLOOR ARE IN PLACE OR ARE OTHERWISE ADEQUATELY BRACED.

ALL UTILITY LINES SHALL BE EXTENDED FROM THE BUILDING TO THE UTILITY CONNECTION. CO-ORDINATE WITH THE APPROPRIATE UTILITY COMPANY.

3. CONCRETE

CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL CONCRETE SHOWN OR NOTED IN THESE DOCUMENTS.

ALL CONCRETE FORM WORK SHALL BE ADEQUATELY BRACED AND TIED TO FORM TRUE LINES, SQUARE CORNERS AND PLUMB WALLS.

ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE II PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP 3,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.

FLOOR SLABS SHALL BE POURED IN WHOLE OR IN CHECKER PATTERN, AVOIDING RE-ENTRANT CORNERS, WITH CONSTRUCTION JOINTS LOCATED UNDER PARTITIONS WHERE PRACTICAL AND WITH NO DIMENSION EXCEEDING 15 FEET OR TOTAL AREA OF 225 FEET, AND AS SHOWN ON THE PLANS.

SLABS, FOOTINGS AND WALLS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT A THIRD POINT OF SPAN WITH VERTICAL BULKHEADS AND HORIZONTAL SHEAR KEYS, UNLESS OTHERWISE SHOWN. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR REVIEWED BY THE ENGINEER.

ALL CONCRETE WORK AND REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE 318-83. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4 INCH CHAMFER.

ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A615-73 AND SHALL BE GRADE 40 MINIMUM OR AS SHOWN ON THE PLANS.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM 185 AND SHALL BE LAPPED 1 FULL MESH AT SPICES AND BE TIED TOGETHER.

CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE 3" MINIMUM FOR CONCRETE CAST AGAINST EARTH, 2" MINIMUM FOR CONCRETE POURED IN FORMS (EXPOSED TO WEATHER OR EARTH) AND 3/4" IN SLABS AND WALLS (NOT EXPOSED TO WEATHER).

NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 36 BAR DIAMETERS, UNLESS OTHERWISE NOTED. MAKE ALL BARS CONTINUOUS AROUND CORNERS.

PLACE TWO #5 BARS WITH 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE WALLS, SLABS AND BEAMS. PLACE TWO #5 BARS X 4'-0" DIAGONALLY AT EACH CORNER OF OPENINGS IN SLABS.

3. CONCRETE CONTINUED

CONTINUOUS TOP AND BOTTOM BARS IN WALLS SHALL BE SPLICED AS FOLLOWS: TOP BARS AT MIDSPAN, BOTTOM BARS AT SUPPORTS

PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING AT POSITIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH ACI 318 - LATEST EDITION.

CONCRETE FINISH SHALL BE STEEL TROWELLED FOR INTERIOR FLOOR SLABS AND BROOM FINISH FOR EXTERIOR WALKS.

NO CONCRETE SHALL BE POURED SUBJECT TO FREEZING CONDITIONS OR ON FROZEN GROUND.

4. MASONRY

CONTRACTOR SHALL PROVIDE NECESSARY LABOR, MATERIALS AND EQUIPMENT TO LAY UP MASONRY AS SHOWN OR SPECIFIED IN THESE DOCUMENTS. ALL WORK SHALL BE PLUMB, SQUARE AND TRUE WITH FILLED JOINTS.

WALLS SHALL BE REINFORCED HORIZONTALLY AT 16" ON CENTER WITH LADDER OR TRUSS TYPE REINFORCEMENT MEETING ASTM A82 MASONRY WALL REINFORCEMENT.

EXTERIOR WALLS SHALL BE REINFORCED WITH #5 BARS VERTICALLY AT WALL ENDS, CORNERS, EACH SIDE OF DOOR OR WINDOW OPENINGS AND AT NOT OVER 4 FEET ON CENTER. REINFORCEMENT SHALL BE FULLY GROUTED IN PLACE. GROUT SHALL DEVELOP 3,000 PSI IN 28 DAYS AND MEET ASTM C476.

FILL ALL VOIDS AND BLOCK CELLS SOLIDLY WITH GROUT FOR A DISTANCE OF 24" BENEATH AND 16" EACH SIDE OF ALL BEAM REACTIONS OR OTHER CONCENTRATED LOADS, UNLESS OTHERWISE NOTED.

CONCRETE BLOCK UNITS (CMU) SHALL CONFORM TO ASTM C90, GRADE N. MORTAR SHALL BE TYPE M, ASTM C270.

ALL MASONRY SURFACES, BELOW GRADE, SHALL BE COATED WITH BITUMASTIC.

5. METALS

ALL STRUCTURAL STEEL AND MISCELLANEOUS EMBEDDED ITEMS SHALL CONFORM TO ASTM A36. PIPE COLUMNS SHALL CONFORM TO ASTM A53, GRADE B. ALL BOLTS (INCLUDING ANCHOR BOLTS) SHALL CONFORM TO ASTM A307.

STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH LATEST PROVISIONS OF AISC "MANUAL OF STEEL CONSTRUCTION".

MINIMUM WELDS TO BE PER AISC AND / OR AWS, BUT NOT LESS THAN 3/16" CONTINUOUS FILLET UNLESS OTHERWISE NOTED. QUALITY CONTROL SHALL BE PER AWS. USE E70XX ELECTRODES.

MISCELLANEOUS CLIPS, ANCHORS AND CONNECTORS SHALL BE SIMPSON STRONG-TIE OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.

EXPANSION BOLTS SHALL BE WED-IT REDHEAD OR APPROVED EQUAL. MINIMUM EMBEDMENT SHALL BE 3" FOR 3/4" DIAMETER 2" FOR 5/8" DIAMETER, AND 1-1/2" FOR 1/2" DIAMETER.

ANCHOR BOLTS SHALL BE 1/2" DIAMETER WITH 7" MINIMUM EMBEDMENT AND SUFFICIENT EXPOSED LENGTH FOR CONNECTION OF PLATE OR SILLS PLUS FULL NUT PENETRATION WITH WASHER.

6. CARPENTRY

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO FRAME UP, SHEATH AND TRIM OUT BUILDING AS SHOWN OR SPECIFIED IN THESE DOCUMENTS.

ALL 2" FRAMING LUMBER SHALL BE STRESS RATED, S-DRY DOUGLAS FIR OR LARCH (DF-L) S4S, #2 OR BETTER. ALL SOLID TIMBER BEAMS AND POSTS SHALL BE # 1 OR BETTER.

GLUE LAMINATED BEAMS (GL) SHALL BE AITC RATED STRESS RATED TO COMBINATION SYMBOL 24F-V4 WITH STANDARD CAMBER, ARCHITECTURAL APPEARANCE, UNLESS OTHERWISE NOTED.

PREFABRICATED WOOD MEMBERS SHALL BE OF THE TYPE NOTED ON THE PLANS AND SHALL BE MICRO-LAM (ML) OR TJI (TJI) AS MANUFACTURED BY TRUS-JOIST CORPORATION; PARALLAM (PSL) AS MANUFACTURED BY MacMILLAN BLOEDEL; VERSA LAM (VL) OR BCI AS MANUFACTURED BY BOISE CASCADE OR APPROVED EQUAL.

PLYWOOD SHEATHING SHALL BE STRUCTURAL 1, C-D, EXT-APA FOR ALL USES, MEETING THE MINIMUM APA RATING OR THICKNESS NOTED ON THE PLANS.

PROVIDE 1X4 CROSS BRIDGING OR 2X BLOCKING AT NOT OVER 8' ON CENTER FOR ALL WOOD JOISTS AND 2X SOLID BLOCKING BETWEEN JOISTS AT ALL SUPPORTS. SOLID BLOCKING IN ROOF SYSTEMS SHALL NOT INTERFERE WITH COLD ROOF VENTILATION.

FIRE BLOCKS AND DRAFT STOPS SHALL BE PROVIDED PER SECTION 2516 OF THE UBC.

TRUSSED RAFTERS SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER TO SUPPORT THE FULL LIVE AND DEAD LOADS OF THE ROOF, CEILING OR OTHER SUPERIMPOSED LOADS. CALCULATIONS AND TRUSS SCHEMATICS, INCLUDING MEMBER SIZES, LUMBER SPECIES AND GRADES AND SUBSTITUTING DATA FOR CONNECTOR CAPACITIES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. TRUSS BEARINGS SHALL BE DESIGNED TO FULLY HANDLE THE REQUIRED REACTION WITHIN THE TRUSS WITHOUT THE USE OF BEARING ENHANCERS.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE #2 FOUNDATION GRADE REDWOOD OR #2 OR BETTER HEM-FIR OR LODGEPOLE/PONDEROSA PINE CCA TREATED >0.6 pcf RETENTION.

MINIMUM NAILING SHALL BE AS SPECIFIED IN TABLE NO. 25-Q OF THE UBC.

7. THERMAL AND MOISTURE PROTECTION

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL INSULATION, VAPOR BARRIERS, FLASHINGS, WATERPROOFING AND ROOF AS DETAILED OR SPECIFIED IN THESE DOCUMENTS.

INSULATION MATERIALS, INCLUDING FACINGS AND VAPOR BARRIERS SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED PER UBC STANDARD No. 42-1 PER SECTION 1714 OF THE UBC, EXCEPT FOAM PLASTICS WHICH SHALL COMPLY WITH SECTION 1713.

WEATHER RESISTIVE BARRIERS SHALL BE PROVIDED PER SECTION 1708 OF THE UBC.

VENTILATION OF FOUNDATION CRAWL SPACES SHALL BE PROVIDED PER SECTION 2516(C6) OF THE UBC.

VENTILATION OF ALL ROOMS SHALL BE PROVIDED PER SECTION 1205 OF THE UBC. MECHANICAL VENTILATION SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE AND IN COMPLIANCE WITH THE UMC.

VENTILATION OF ATTICS SHALL BE PROVIDED PER SECTION 3205(C) OF THE UBC.

8. DOORS AND WINDOWS

CONTRACTOR SHALL SUPPLY AND INSTALL ALL DOORS, WINDOWS AND GLAZING AS DETAILED, SCHEDULED AND / OR SPECIFIED IN THESE DOCUMENTS.

BASEMENTS IN DWELLING UNITS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR WHICH SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD OR EXIT COURT PER SECTION 1204 OF THE UBC.

9. FINISHES

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO FINISH ROOMS AND BUILDING EXTERIOR AS DETAILED, SCHEDULED AND / OR SPECIFIED IN THESE DOCUMENTS.

14. PLUMBING

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO INSTALL ALL FLOOR DRAINS, PLUMBING, RELATED FIXTURES, GAS PIPING AND RADON GAS VENT PIPING. ALL WORK SHALL COMPLY WITH THE U.P.C., STATE AND LOCAL CODES AND ORDINANCES.

15. MECHANICAL

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL VENTILATION, HEATING AND AIR CONDITIONING EQUIPMENT; DUCTING AND ALL RELATED CONTROLS. ALL WORK SHALL COMPLY WITH THE U.M.C., STATE AND LOCAL CODES AND ORDINANCES.

16. ELECTRICAL

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL ALL WIRING AND RELATED FIXTURES. ALL WORK SHALL COMPLY WITH THE U.P.C., STATE AND LOCAL CODES AND ORDINANCES.

SMOKE DETECTORS SHALL BE PROVIDED PER SECTION 1210 OF THE UBC.

17. SPECIAL NOTICE

ANY DEVIATION FROM THESE PLANS IS EXPRESSLY FORBIDDEN WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL BY THE OWNER, ENGINEER AND GENERAL CONTRACTOR.

THESE DOCUMENTS REPRESENT A CONTRACTOR'S SET OF CONSTRUCTION DRAWINGS AND ARE NOT EXTENSIVELY DETAILED. FINAL DETAILING AND DAY TO DAY CONSTRUCTION DECISIONS ARE TO BE WORKED OUT BETWEEN THE CONTRACTOR AND THE OWNER. A REPRESENTATIVE OF JAKE'S DRAFTING SERVICE, INC. WILL BE AVAILABLE FOR ASSISTANCE AS NECESSARY.

18. DISCLAIMER

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ANY DUPLICATION, REPRODUCTION OR OTHER USE NOT SPECIFICALLY PERMITTED HEREIN OF THE PLANS, IN PART OR IN WHOLE, IS STRICTLY PROHIBITED UNDER COPYRIGHT LAW.

ZONED : RH  
 ADDRESS : 506 BUENA VISTA COURT  
 SETBACKS : 20' FRONT LOT LINE, 10' SIDE AND BACK LOT LINES  
 BUILDING SIZE  
 FINISHED AREAS : 3446 SQUARE FEET  
 UNFINISHED AREAS : 400 SQUARE FEET  
 BASEMENT : 1488 SQUARE FEET  
 GARAGE : 400 SQUARE FEET  
 TOTAL AREA : 5734 SQUARE FEET  
 DECKS : 656 SQUARE FEET  
 CONTRACT VALUE :

LEGAL DESCRIPTION : LOT 5, BUENA VISTA COURT, A RESUBDIVISION OF LOT 1, BLOCK 6, WILLET HEIGHTS, FILING No. 2, A SUBDIVISION AS FILED BY PLAT WITH THE CLERK AND RECORDER OF ROUTT COUNTY, COLORADO, APPEARING AT FILE # 8458.

SITE PLAN

SCALE

1" = 20'

DRAFTING SERVICE, INC.  
 P.O. BOX 774121  
 600 LINCOLN AVE. SUITE 207  
 STEAMBOAT SPRINGS, COLORADO  
 303-879-7929

SITE PLAN FOR

HABITAT DESIGN & CONSTRUCTION  
 LOT 5, BUENA VISTA COURT  
 STEAMBOAT SPRINGS, COLORADO  
 HABITAT DESIGN & CONSTRUCTION 879-5371

Job No. 93-036  
 File HABIT500  
 Date 1 JULY 93  
 Revised \_\_\_\_\_  
 Released \_\_\_\_\_

Sheet Number  
 1 of 8



STAMP

**Kusy Townhome**  
 508 Buena Vista Court  
 Steamboat Springs, Colorado

ISSUED FOR:

No.	Date	Remarks
A	7.18.16	CONDITIONAL USE SUBMITTAL
	8.18.16	SITE/PARKING REVISIONS
B	6.2.17	PERMIT SET

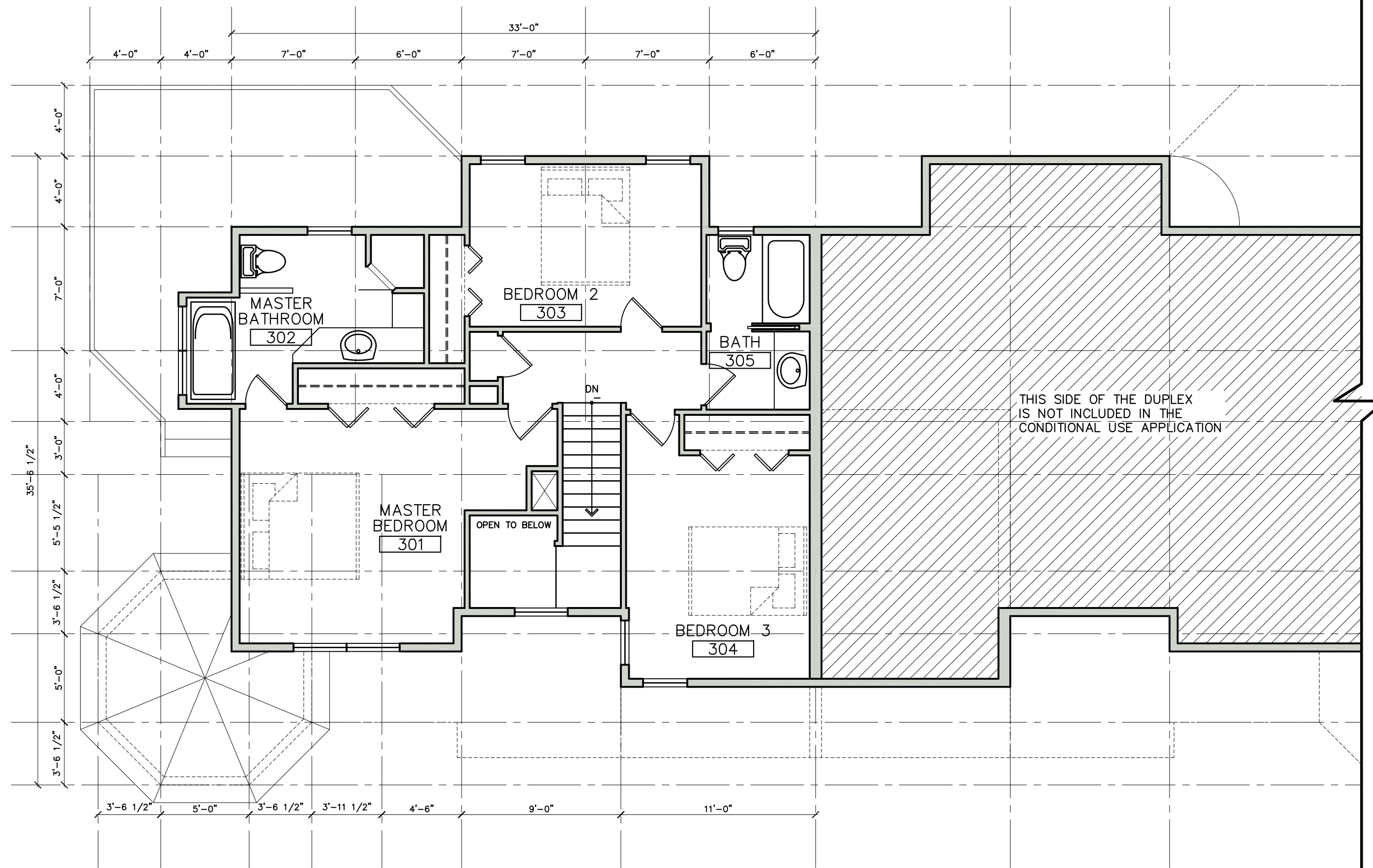
PROJECT NO: 1606  
 PHASE: CD  
 DRAWN BY: AxA  
 CHECKED BY: AxA

**EXISTING CONDITIONS FLOOR PLANS**

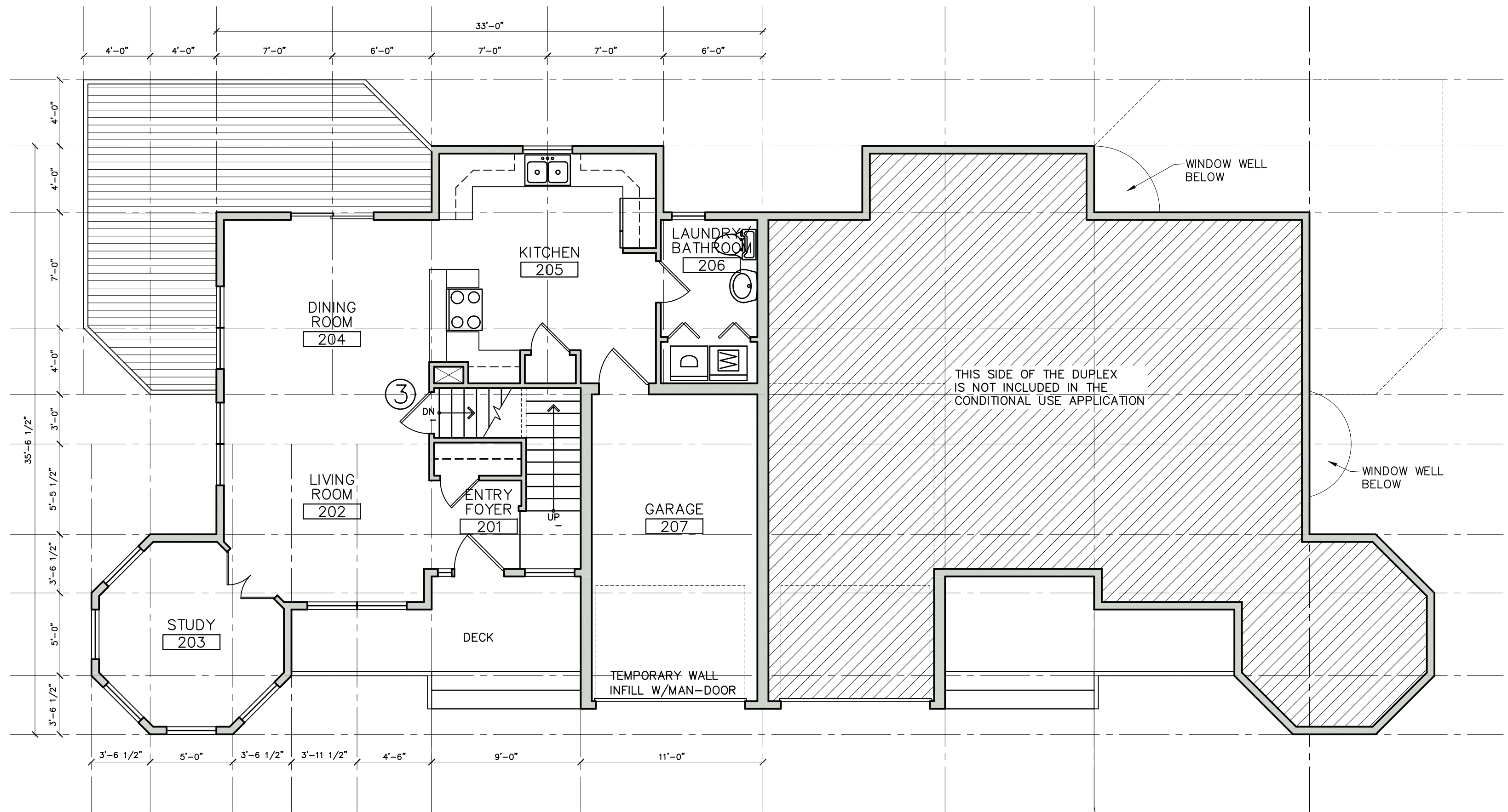
SHEET NAME

**A2.1**

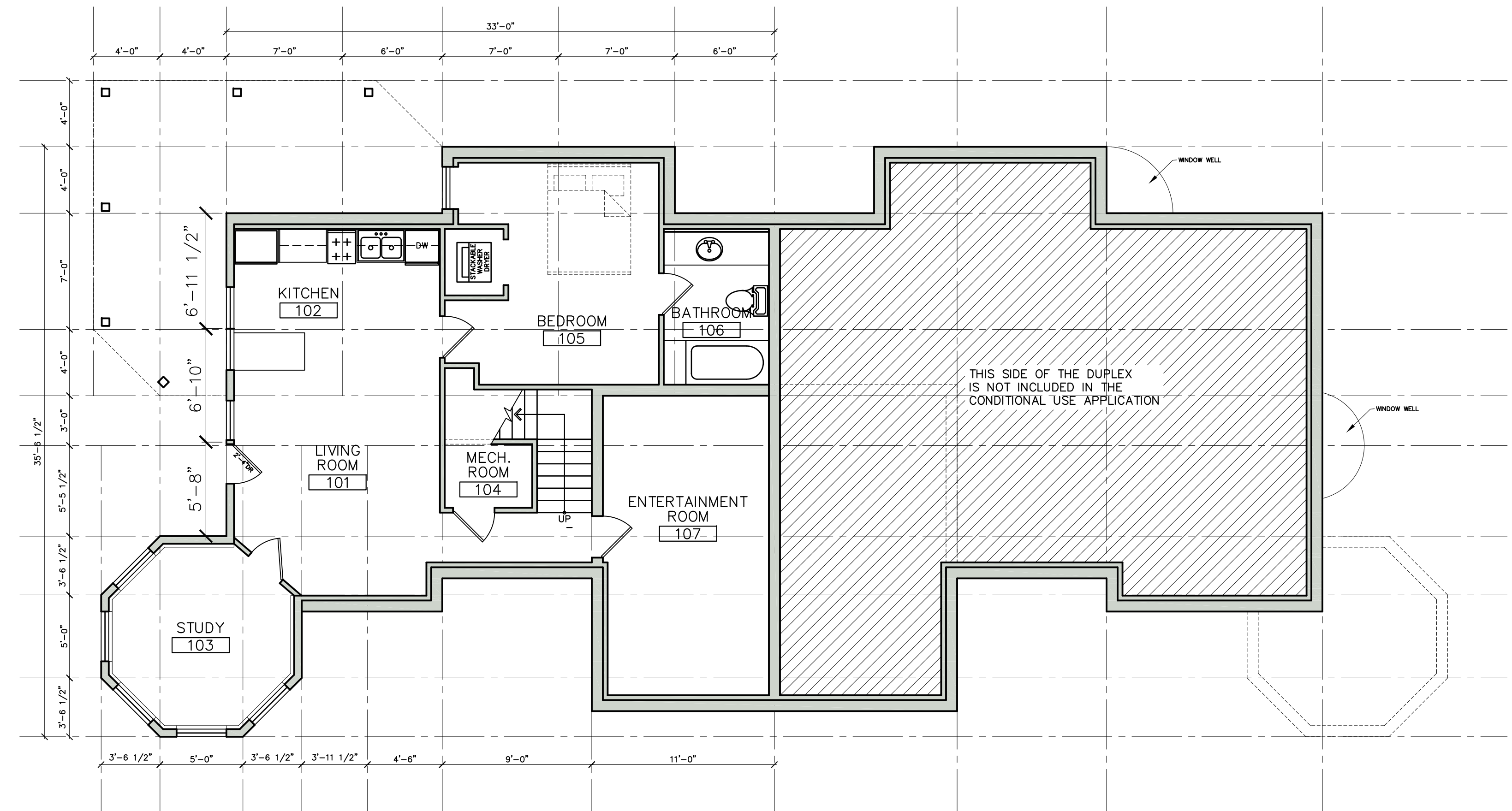
SHEET NUMBER



**3 Upper Level Floor Plan**  
 A2.1 3/16"=1'-0"



**2 Main Level Floor Plan**  
 A2.1 3/16"=1'-0"



**1 Lower Level Floor Plan**  
 A2.1 3/16"=1'-0"

STAMP

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 DRAWN BY: AxA  
 CHECKED BY: AxA

**EXISTING  
 CONDITIONS  
 PHOTOS**

SHEET NAME

**A2.2**

SHEET NUMBER



**1** Driveway Access to Townhome  
A2.2 Not to Scale



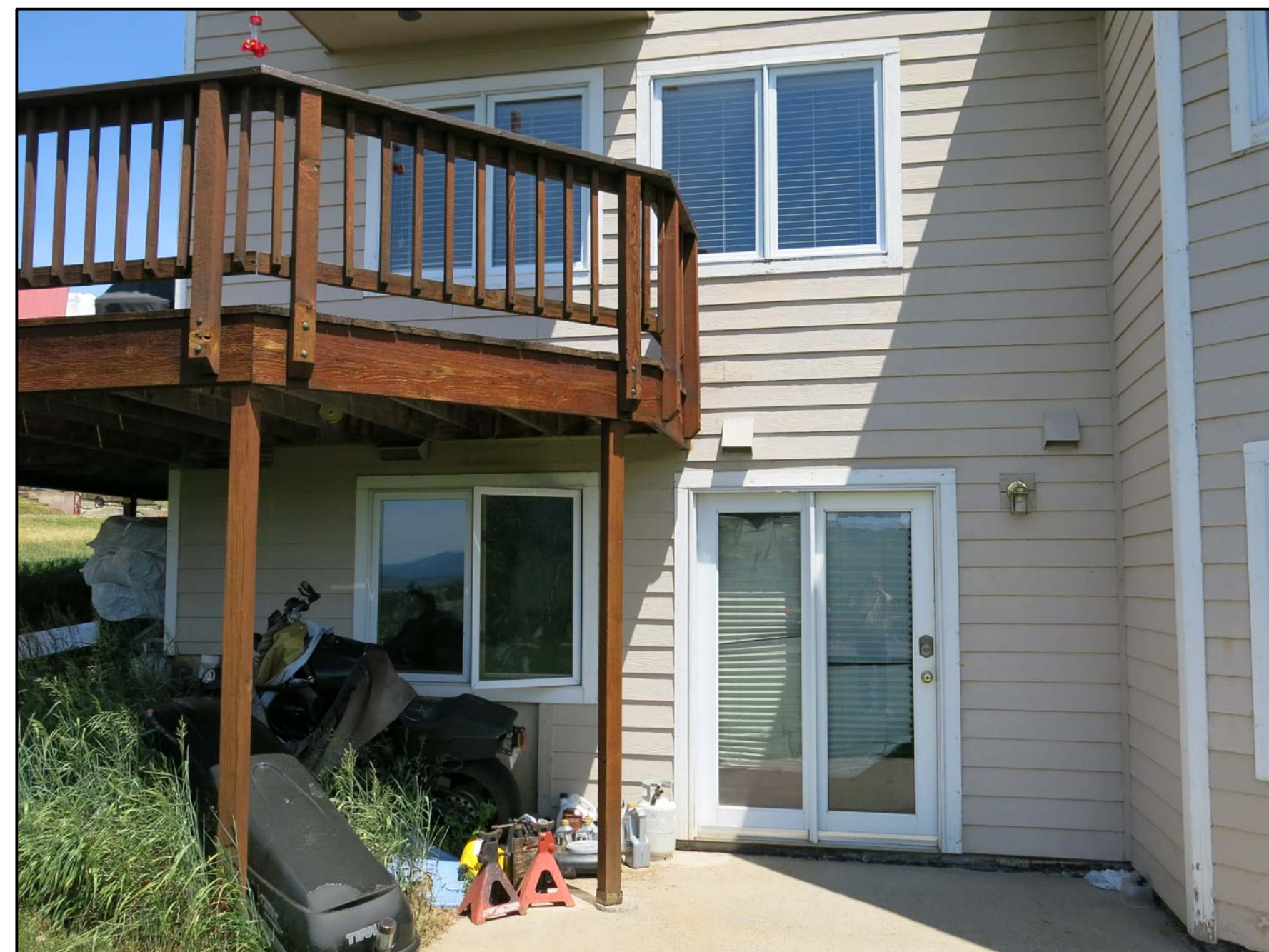
**2** Townhome Front Facade  
A2.2 Not to Scale



**3** Lower Level Unit Access  
A2.2 Not to Scale



**4** Lower Level Bedroom Egress Window  
A2.2 Not to Scale



**5** Lower Level Unit Entry Door  
A2.2 Not to Scale



**6** Site Stairs – Driveway to Lower Level Unit  
A2.2 Not to Scale

## CODE COMPLIANCE SCOPE OF WORK

(NUMBERS BELOW CORRESPOND TO NUMBERING IN FLOOR PLAN AND SITE PLAN)

- ① EXISTING LOWER LEVEL ENTRY DOOR DOES NOT MEET CODE. A NEW ENTRY DOOR SHALL BE INSTALLED THAT IS SIDE-HINGED AND NOT LESS THAN 3'-0" X 6'-8" PER CODE (REFER TO DRAWING 1/A3.1).
- ② AS STATED IN THE 2009 IBC, SECTION 712, HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING, AND HORIZONTAL ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING SHALL BE A MINIMUM OF 1-HOUR RATED CONSTRUCTION. EXISTING CONDITIONS SHOW A SINGLE LAYER OF GYPSUM BOARD ON THE LOWER LEVEL CEILING. TO PROVIDE A 1-HOUR RATING, A SECOND 5/8" TYPE X GYPSUM BOARD LAYER SHALL BE INSTALLED OVER THE EXISTING GYPSUM BOARD. THIS INCLUDES THE CEILING ABOVE THE STAIRS LEADING TO MAIN FLOOR LEVEL.
- ③ THE DOOR AT THE TOP OF THE STAIRS LEADING TO THE SECOND FLOOR SHALL BE A FIRE DOOR WITH A 20 MINUTE RATING (REFER TO MAIN LEVEL FLOOR PLAN, SHEET A2.1).
- ④ GFCI RECEPTACLES NEED TO BE INSTALLED AT THE KITCHEN COUNTER AND IN THE BATHROOM, PER CODE.
- ⑤ ANY COOKING APPLIANCE DESIGNED FOR PERMANENT INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- ⑥ ANY VENTED APPLIANCES SHALL BE INSTALLED WITH A DRAFT HOOD.
- ⑦ VERIFY THAT LAUNDRY VENTING HAS BEEN PROPERLY INSTALLED PER CODE.
- ⑧ VERIFY THAT ALL SMOKE DETECTORS AND THE CARBON MONOXIDE DETECTOR HAVE BEEN PROPERLY REINSTALLED AFTER COMPETING SCOPE OF WORK.
- ⑨ SITE STAIRS AND RAILINGS LEADING FROM MAIN LEVEL DRIVEWAY TO THE LOWER LEVEL ON-GRADE CONCRETE WALKWAY SHALL BE UPGRADED TO MEET CODE REQUIREMENTS FOR SAFETY. (IMPROVEMENTS TO BE SUBMITTED BY SUBCONTRACTOR IN CONJUNCTION WITH OWNER.) (REFER TO SHEET A1.2 EXISTING CONDITIONS SITE PLAN.)
- ⑩ ALL PARKING AND SNOW STORAGE STRATEGIES HAVE BEEN PREVIOUSLY APPROVED BY THE CITY OF STEAMBOAT SPRINGS PLANNING DEPARTMENT AS A VARIANCE INCLUDED IN THE CONDITIONAL USE PERMIT APPROVAL (REFER TO SHEET A1.2 EXISTING CONDITIONS SITE PLAN.)

## ZONE DISTRICT DIMENSIONAL REQUIREMENTS

STANDARDS	ZONE DISTRICT REQUIREMENTS	DEVELOPMENT PLAN
LOT AREA	12,000 SQ. FT. MIN.	16,553 SQ. FT.
LOT COVERAGE	35% MAX.	17%
FLOOR AREA RATIO		
BUILDING HEIGHT	40'-0" MAX.	32'-0"
FRONT SETBACK	15'-0" MIN.	15'-0" MIN.
SIDE SETBACK	10'-0" MIN.	10'-0" MIN.
REAR SETBACK	10'-0" MIN.	10'-0" MIN.
BUILDING SEPARATION	BETWEEN DUPLEX UNITS	BETWEEN DUPLEX UNITS
UNIT SIZE		2554 SQ. FT.
NUMBER OF UNITS		2
OTHER BULK STANDARDS THAT NEED SPECIFICATION		

## SUBMITTAL INFORMATION

PROPERTY OWNER	JAN ANTHONY KUSY, TRUSTEE JAN KUSY LIVING TRUST
PREPARATION OF DEVELOPMENT PLAN	KEVIN LIND AXIALARTS ARCHITECTURE
DATE OF APPROVAL	
DATE OF EXPIRATION	
EXISTING ZONING	RN-3 DUPLEX (TOWNHOME)
PHASING	NONE INTENDED
CONDITIONS OF APPROVAL	

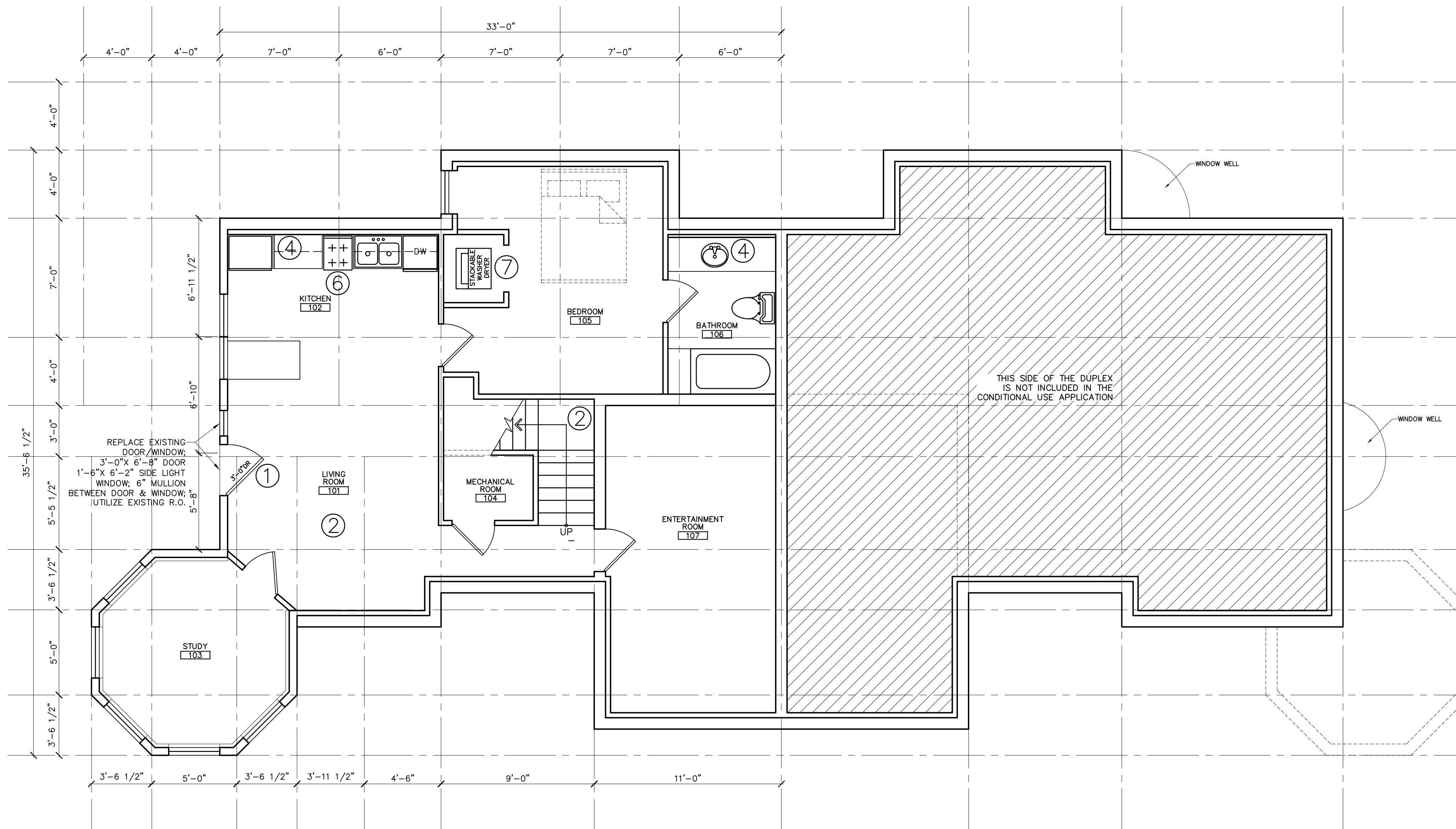
## ADJACENT SUBDIVISIONS

LAS VISTAS CONDOMINIUMS
ROCKY PEAK VILLAGE
SUNCREST TOWNHOMES

## SIGNATURE BLOCK

PROPERTY OWNER	JAN ANTHONY KUSY
PREPARER OF DOCUMENTS	KEVIN LIND, AXIALARTS, LLC
DP APPROVAL DATE	
DP EXPIRATION DATE	

## CONDITIONS OF APPROVAL

① Lower Level Floor Plan  
A2.3 1/4"=1'-0"

**Axial Arts**

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Steamboat Springs, CO 80477  
Tel 970.276.7295  
Kevin@AxialArts.com  
Wendy@AxialArts.com

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PHASE: CD  
DRAWN BY: AxA  
CHECKED BY: AxA

**CODE COMPLIANCE LOWER LEVEL**

SHEET NAME

**A2.3**

SHEET NUMBER

