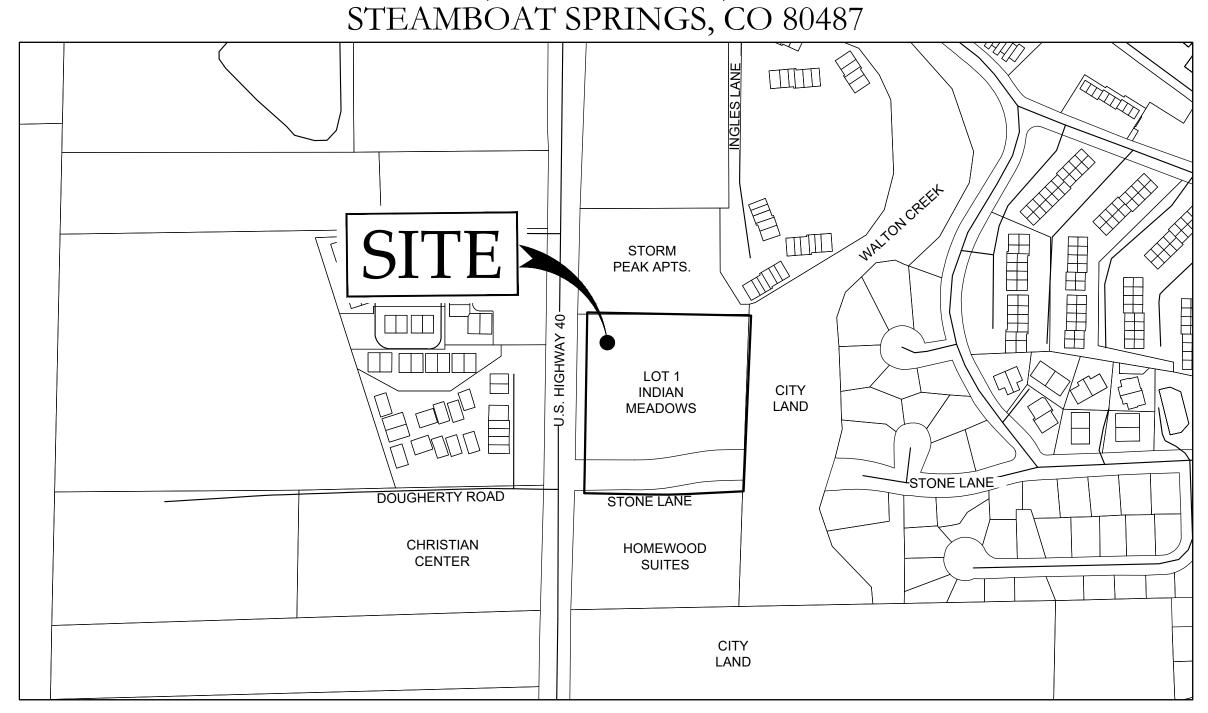
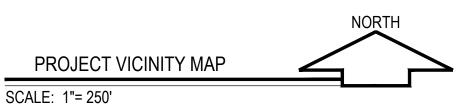
LEGEND	EXISTING	PROPOSED
PROPERTY BOUNDARY		
SECTION LINE		
LOT BOUNDARY		
EASEMENT		
SETBACK		
EDGE OF ASPHALT		
CURB ELOWUNE		
CURB FLOWLINE		
1/2 FT CONTOUR	5282	5282
5/10 FT CONTOUR	— — —5280— — — —	5280
EDGE OF GRAVEL		
CENTER LINE OF DITCH	>-···>-···>-···-	$\rightarrow - \cdots \rightarrow - \cdots \rightarrow - \cdots -$
WATER MAIN	—xw—xw—xw—	
CURB STOP, GV, FH SIGN		
LIGHT POLE		— * <del>*</del>
SEWER MAIN	xsxsxsxs	· · · · · · · · · · · · · · · · · · ·
SEWER MAIN MANHOLE AND CLEANOUTS		
ELECTRICAL - UNDERGROUND		
ELECTRICAL - UNDERGROUND  ELECTRICAL - OVERHEAD	XEXEXEXE	— UGE
ELECTRICAL - OVERHEAD - HIGH VOLTAGE		— OHE — OHE — OHE — OHE — HVE
ELECTRICAL-PRIMARY	XEXEXEXE	——————————————————————————————————————
FIBER OPTIC		FO FO FO FO
TELEPHONE	XTXTXTXT	
UNDERGROUND		— uct — uct — uct — uct -
UTILITY PEDESTALS		
POWER POLE/ LIGHT POLE		
GAS	—xgxgxgxg	GAS GAS
FENCE	— x — x — x — x —	x x x x
WOODEN FENCE		
PROPOSED EDGE OF CONCRETE		
DECK		
PROPOSED BUILDING		
OVERHANG		
SIDEWALK/ BOARDWALK		
BASE FLOOD CROSS SECTION		
FEMA SFHA BOUNDARY		
WALL		
VEGETATION OUTLINE		
PROPERTY CORNERS		
STORM INLET		
CULVERT		
ASPHALT		
CONCRETE		
GRAVEL/SOFT SURFACE		
ROCK/RIP RAP		
WETLANDS/WETLANDS REMOVAL	·	

ABBREVIA	ATIONS:		A DETAIL (
AFF	ABOVE FINISHED FLOOR	INV	INVERT C2 SHEET
AP	ANGLE POINT	LF	LINEAL FEET
APR	APPROXIMATE	LP	LOW POINT
Α	ASPHALT	MAX	MAXIMUM
BFE	BASE FLOOD ELEVATION	MIN	MINIMUM
BFF	BASEMENT FINISH FLOOR	MOD	MODULE
BOW	BOTTOM OF WALL	NG	NATURAL GROUND
BVC	BEGIN VERTICAL CURVE	NO	NUMBER
BW	BACK OF WALK	NTS	NOT TO SCALE
С	CURB	O/S	OFFSET
CL	CENTERLINE	OHD	OVERHEAD DOOR
CLNG	CEILING	PC	POINT OF CURVATURE
CMP	CORRUGATED METAL PIPE	PED	PEDESTAL
C/O	CLEAN OUT	PI	POINT OF INTERSECTION
CONC CC		PL	PROPERTY LINE
CNR	CORNER	PR	PROPOSED
CR	CURB RETURN	PT	POINT
CS	CURB STOP	PVC	POINT OF VERTICAL CURVE
D	DEPTH	PVC	POLYVINYL CHLORIDE PIPE
DI	DRAIN INLET	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	RD	ROAD
DMH	DRAINAGE MANHOLE	R	RADIUS
DRN	DRAIN	RO	ROUGH OPENING
DT	DITCH	ROW	RIGHT-OF-WAY
DW	DRIVEWAY	RW	RETAINING WALL
EA	EACH	SFHA	SPECIAL FLOOD HAZARD AREA
EG	EXISTING GRADE	SQFT	SQUARE FEET
ELEV	ELEVATION	SMH	SEWER MANHOLE
ENGR	ENGINEER	SS	SANITARY SEWER
EOA	EDGE OF ASPHALT	STA	STATION
EOW	EDGE OF WALK	STRUCT	STRUCTURAL
EX	EXISTING	SW	SIDEWALK
FES	FLARED END SECTION	TB	THRUST BLOCK
FFE	FINISH FLOOR ELEVATION	TBD	TO BE DETERMINED
FG	FINISH GRADE	TBR	TO BE REMOVED
FH 	FIRE HYDRANT	TBW	TOP BACK OF WALK
FL 	FLOW LINE	TEL	TELEPHONE
FT	FOOT OR FEET	TOP	TOP OF PIPE
GFE	GARAGE FFE	TO	TOP OF
GB	GRADE BREAK	TYP	TYPICAL
GYP	GYPSUM	VOL	VOLUME
GV	GATE VALVE	VP	VALLEY PAN
HC	HANDICAP RAMP	W	WIDTH
HP	HIGH POINT	WL	WATERLINE
IN	INLET	W/	WITH
		WQ	WATER QUALITY

# CIVIL CONSTRUCTION PLANS for Holiday Inn Express and Hotel B INDIAN MEADOWS FIL. NO. 4, LOTS 1 & 2

(ADDRESS TBD)





#### **CIVIL SHEET INDEX**

- CIVIL COVER PAGE & NOTES **EXISTING CONDITIONS PLAN** OVERALL SITE PLAN
- GRADING & DRAINAGE PLAN STORM SEWER PROFILES BIORETENTION PLAN AND PROFILE
- BIORETENTION NOTES AND SPECIFICATIONS ACCESS ROAD PLAN & PROFILE ACCESS ROAD SECTION VIEWS UTILITY PLAN
- SNOW STORAGE PLAN OPEN SPACE PLAN PHASING PLAN
- EASEMENT PLAN C15 CIVIL DETAILS (1) CIVIL DETAILS (2)

## LANDSCAPE PLANS

LANDSCAPE MASTER PLAN LANDSCAPE AREA DELINEATION PLAN

## PROJECT CONTACT LIST

## PROJECT OWNER

GRAY STONE, LLC - BOB AMIN EMAIL: bobamin@live.com 83 E. 112th Ave Thornton, CO 80233

#### PROJECT ARCHITECT

DESIGN 2 FUNCTION - NICK PIRKL EMAIL: nick@design2functionllc.com OFFICE: (505)-823-6481 P.O. Box 93368 Albuquerque, NM 87199

#### **CIVIL ENGINEER**

ENGINEERING

DATE: 9/1/2023

JOB #: 1448-005

FOUR POINTS SURVEYING AND ENGINEERING OFFICE: (970) 871-6772 ATTN: WALTER MAGILL, P.E. CELL: (970) 819 1161 440 S. Lincoln Ave, Suite 4B EMAIL: walterm@fourpointsse.com P.O. Box 775966 Steamboat Springs, CO 80487

DEVELOPMENT PLANS PREPARED **REVISIONS** BY FOUR POINTS SURVEYING & DRAWN BY: AP/AAC/DSC/WNM DESIGN BY: AP/AAC/DSC/WNM REVIEW BY: FPSE IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED

CELL: (303)-895-4594



HOLIDAY INN EXPRESS PARKING STALL CALCULATIONS:

(90)

(9)

(99)

(73)

(73)

(-7)

NO. OF HOTEL GUEST ROOMS

STAFF DORMITORY ROOMS

TOTAL STALLS REQ'D,

HOTEL ROOM STALLS REQ'D

TOTAL STALLS PROVIDED

CREDIT FOR TRANSIT PROX., 10%

\* ALL PARKING STALLS SHALL BE 9'X18'

HOTEL B PARKING STALL CALCULATIONS:

\* ALL PARKING STALLS SHALL BE 9'X18'

NO. OF HOTEL GUEST ROOMS

HOTEL ROOM STALLS REQ'D

TOTAL STALLS REQ'D,

TOTAL STALLS PROVIDED

CREDIT FOR TRANSIT PROX., 10%



## Four Points Surveying & Engineering

440 S. Lincoln Ave, Suite 4A P.O. Box 775966 **Steamboat Springs, CO 80487** (970)-871-6772 matthew@fourpointsse.com

#### **GENERAL NOTES:**

- 1. BENCHMARK = FOUND RED PLASTIC CAP ON #5 REBAR IN THE NORTHWEST PROPERTY CORNER. ELEVATION = 6765.29 (SEE EXISTING CONDITIONS PLAN)
- 2. EXISTING CONDITIONS SURVEYED BY FOUR POINTS SURVEYING & ENGINEERING. TOPOGRAPHY GENERATED FROM A COMBINATION OF FIELD SURVEY DATA AND 2018 ROUTT COUNTY GIS LIDAR DATA.
- RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS. DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
- ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS. 5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES
- 6. ALL INFRASTRUCTURE CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST REVISION.
- 7. ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
- 8. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK SUCH AS RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DEWATERING PERMIT, STORM WATER QUALITY PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
- 9. PRIOR TO ANY WORK IN THE RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT ROUTT COUNTY ROAD AND BRIDGE FOR PERMIT REQUIREMENTS. 10.PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE FOR
- INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND
- SPECIFICATIONS. PRIOR TO MAKING ANY CHANGES TO THE
- 11.CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST
- 12.CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION 13.CONTRACTOR MUST SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) AND EROSION CONTROL PLAN (ECP) FOR REVIEW AND APPROVAL BY ROUTT COUNTY PLANNING PRIOR TO START OF
- CONSTRUCTION. THE CSMP AND ECP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS. 14.THE FOLLOWING PRIVATE IMPROVEMENTS REQUIRE CONSTRUCTION OBSERVATION PER THE CITY OF STEAMBOAT SPRINGS ENGINEERING SERVICES SPECIFICATION OR AS REQUIRED BY THE CITY: WATER,
- 15.RECORD DRAWINGS ARE REQUIRED FOR: PUBLIC AND PRIVATE WATER AND SEWER.
- 16.ALL STORMWATER PIPE OUTFALLS REQUIRE FLARED END SECTIONS AND RIPRAP.
- 17.EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT OR WHEN ACCESS TO UNDERGROUND UTILITIES IS REQUIRED. TACK COAT SHALL BE APPLIED
- TO ALL EXPOSED SURFACES INCLUDING SAW CUTS, POTHOLES, TRENCHES, AND ASPHALT OVERLAY. ASPHALT PATCHES IN THE RIGHT-OF-WAY SHALL BE PER ROUTT COUNTY ROAD AND BRIDGE SPECIFICATIONS.

**REVIEWED** CODE COMPLIANCE 01/12/2024

#### WATER, SEWER AND UTILITY NOTES:

- 1. EXISTING UTILITY LOCATIONS WERE OBTAINED FROM FIELD LOCATES AND FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLING. POTHOLING AND VERIFICATION OF LINE LOCATIONS SHALL BE REQUIRED AT ALL EXISTING UTILITY CROSSINGS.
- 2. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICE LINES IS TEN (10') FEET
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MOUNT WERNER WATER STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- 4. MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7') FEET UNLESS OTHERWISE NOTED. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN
- 5. MINIMUM SEPARATION BETWEEN UTILITY PEDESTALS AND FIRE HYDRANTS IS FIFTEEN (15') FEET. MINIMUM SEPARATION BETWEEN FIRE HYDRANTS, WATER OR SEWER MAINS, AND ENDS OF CULVERTS IS FIVE (5') FEET. MINIMUM SEPARATION BETWEEN WATER AND SEWER SERVICE LINES IS TEN (10') FEET. NO RIP-RAP IS PERMITTED WITHIN TEN (10') FEET OF A SEWER MAIN.
- SEWER SERVICES ARE ANTICIPATED TO BE FOUR (4") INCH DIAMETER, SDR 35 PVC, MINIMUM SLOPE OF 2%, UNLESS NOTED OTHERWISE.
- 7. WATER SERVICES ARE ANTICIPATED TO BE ONE (1") INCH DIAMETER, COPPER TYPE K, UNLESS NOTED OTHERWISE.
- 8. DISINFECTION, BACTERIOLOGICAL, AND HYDROSTATIC TESTING IS REQUIRED FOR THE 8" DIP WATER/FIRE SERVICE PIPE. 9. ALL MECHANICAL JOINTS, RESTRAINT, THRUST BLOCKS AND CROSSING MUST BE OBSERVED BY THE ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL
- 10.MECHANICAL RESTRAINTS AND THRUST BLOCKS ARE REQUIRED AT ALL BENDS, TEES, REDUCERS AND DEAD ENDS.
- 11.ALL FITTINGS ASSOCIATED WITH UTILITY INSTALLATION WILL BE ON-SITE PRIOR TO WATER LINE SHUT DOWN.

Project Summary Table - LOT 1 (Holiday Inn Express)					
Zoning	cs				
Frontage (US HWY 40)	200 LF				
Gross Site Area	2.067 Acres (90,038 SF)				
Use Breakdown	Description	Square Footage (Net Floor Area)	# of Rooms		
Principal Use	Commercial Lodging		95		
Standards	Zone District Requirements	Proposed	Variance? (Y/N)		
Lot Area	No Min, No Max	2.067 Acres (90,038 SF)	N		
Lot Coverage	No Max		N		
Floor Area Ratio	No Max		N		
Building Height	63' Max		N		
Frontage Building Height	26' min		N		
Front Setback	5' Min, 20' Max (with conds.)	114.0'	N (note 2 CS Zoning		
Side Setback	7.5' Min	12.0'	N		
Rear Setback	7.5' Min	> 100.0'	N		
Second Story Intensity	50% Min	100%	N		
Parking (9'X18')	86 Stalls	90	N		
Snow Storage	16,640 SF	16,790 SF	N		
Lot Width	25' Min	242'	N		
Open Space Square Footage	15% Min	30%	N		
Fronatge Parking Lot Placement	30' Min	75.0'	N		

Project Summary Table - Lot 2 (Hotel B)						
Zoning	cs					
Frontage (US HWY 40)	213 LF					
Gross Site Area	1.808 Acres (78,770 SF)					
Use Breakdown	Description	Square Footage (Net Floor Area)	# of Rooms			
Principal Use	Commercial Lodging		73			
Standards	Zone District Requirements	Proposed	Variance? (Y/N)			
Lot Area	No Min, No Max	1.808 Acres (78,770 SF)	N			
Lot Coverage	No Max		N			
Floor Area Ratio	No Max		N			
Building Height	63' Max		N			
Frontage Building Height	26' min		N			
Front Setback	5' Min, 20' Max (with conds.)	114.0'	N (note 2 CS Zoning)			
Side Setback	7.5' Min	12.0'	N			
Rear Setback	7.5' Min	>100.0'	N			
Second Story Intensity	50% Min	100%	N			
Parking (9'X18')	66 Stalls	72	N			
Snow Storage	14,490 SF	15,330 SF	N			
Lot Width	25' Min	160'	N			
Open Space Square Footage	15% Min	34%	N			
Fronatge Parking Lot Placement	30' Min	75.0'	N			

SHEET#

