

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487

REISSUED FOR PERMIT 08.18.23



OWNER:

MAY REIGLER PROPERTIES

2201 Wisconsin Ave NW Suite 200 Washington, DC 20007 www.mayriegler.com

ARCHITECT:



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LANDMARK ENGINEERING

CIVIL:

141 9th Street, PO Box 774943 Steamboat Springs, CO 80477 T.970.871.9494 STRUCTURAL ENGINEER:

KL&A ENGINEERS & BUILDERS

1717 Washington Ave. Golden, CO 80401 T. 303.384.9910 MEP/FP:

BOULDER ENGINEERING

1717 15th Street Boulder, CO 80302 T. 303.444.6038 INTERIOR DESIGNER:

JOHNSON NATHAN STROHE

1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062



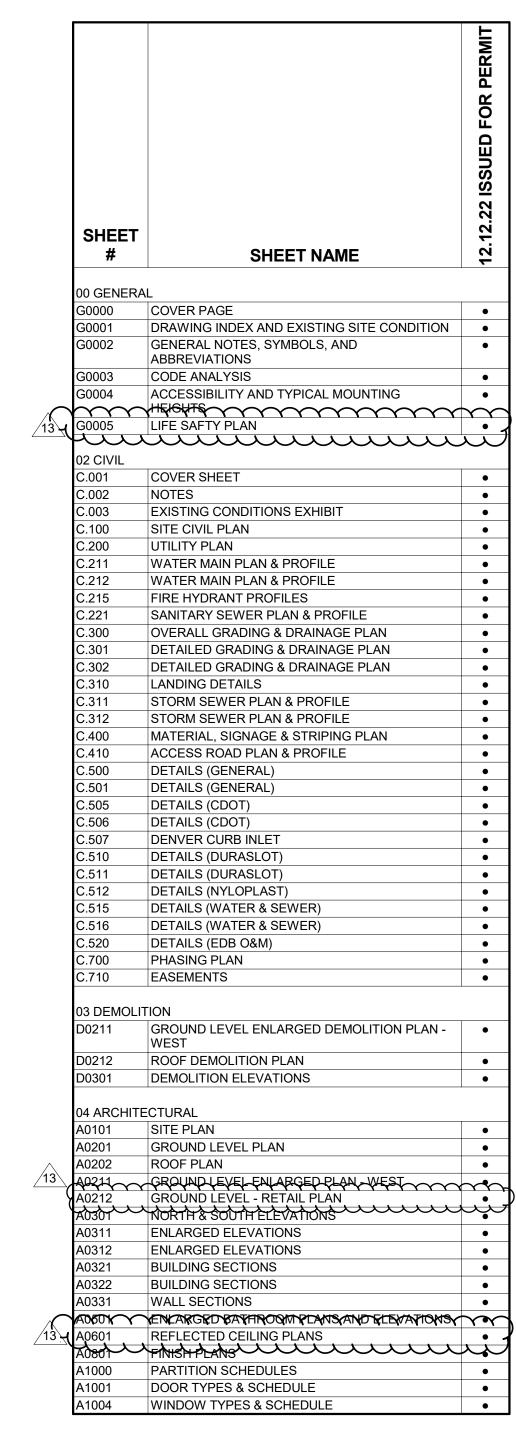


2 EXISTING BUILDING PHOTOGRAPHS G0001 N.T.S.



1 SITE LOCATION 50001 N.T.S.

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	ELECTRICAL DETAILS	•
E4.11 E4.12	ELECTRICAL SCHEDULES	

APPROVAL STAMPS:

13	08.18.23	COMMERCIAL SPACE 1A PERMIT REVISION
8	02 06 23	REISSUED FOR PERMIT
		DEIGGLED FOR DEDMIT

6 11.16.22 REISSUED FOR PERMIT

No. Date Description SUBMISSIONS & REVISIONS

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DRAWING INDEX AND **EXISTING SITE** CONDITION

11/15/21 DRAWN BY: CHECKED BY:

ABBREVIATIONS HCP HANDICAP(PED) ANCHOR BOLT ACM ALUMINUM COMPOSITE METAL HARDWARE ACS FLR ACCESS FLOOR **HOLLOW METAL** ACS PNL PNL ACCESS PANEL HORIZ HORIZONTAL ACT ACOUSTICAL CEILING TILE HPT HIGH POINT AD AREA DRAIN HOUR ADA HT AMERICANS WITH DISABILITIES ACT HEIGHT ADH HVAC ADHESIVE **HEATING, VENTILATION & AIR** ADJ **ADJUSTABLE** CONDITIONING AFF ABOVE FINISH FLOOR INSIDE DIAMETER AHU AIR HANDLING UNIT INCH ALT ALTERNATE INCL ALUMINUM INCLUDE(D) / (ING) ALUM INSUL INSULATION / INSULATE APC ACOUSTICAL PANEL CEILING INT INTERIOR APC ARCHITECTURAL PRECAST CONCRETE J.C. JANITOR CLOSET **BOTTOM OF** JOINT BD BOARD KIT BHMP BUILDING HEIGHT MEASURING KITCHEN POINT KOP KNOCK OUT PANEL BUILDING BM **BENCH MARK** LABORATORY BOT BOTTOM LAV LAVATORY BASEMENT BSMT **POUNDS** LB(S) LINEAL FEET CATCH BASIN CB LIVE LOAD CG CORNER GUARD LPT LOW POINT CI CAST IRON LT WT LIGHT WEIGHT CJ CONTROL JOINT LTG LIGHTING CL CENTER LINE CLG CEILING MACH MACHINE CLO CLOSET MATL MATERIAI CLR CLEAR MAXIMUM CMT MECH COLOR TO MATCH MECHANICAL CMU CONCRETE MASONRY UNIT MED MEDIUM CO **CLEAN OUT** MEMB **MEMBRANE** COL COLUMN MEZZ MEZZANINE CONC CONCRETE MFR MANUFACTURER CONST CONSTRUCTION MH MAN HOLE CONT CONTINUE MIN MINIMUM CORR CORRIDOR MISC MISCELLANEOUS CPT CARPET MLDG MOULDING CSK COUNTERSUNK MASONRY OPENING MO CT CERAMIC TILE MTD MOUNTED METAL DEMO DEMOLITION MEMBRANE WATERPROOFING DEPT DEPARTMENT DET DETAIL NORTH DF DRINKING FOUNTAIN NOISE CRITERIA DIA DIAMETER NIC NOT IN CONTRACT DIAG DIAGONAL NOM NOMINAL DIM DIMENSION NOT TO SCALE DL DEAD LOAD DMPF DAMP PROOF(ING) ON CENTER DN DOWN OD OUTSIDE DIAMETER DR DOOR OFD OVERFLOW DRAIN DRN DRAIN OVERHEAD ОН DOWNSPOUT DS OPNG OPENING DWG/ DRAWING / DRAWINGS OPPOSITE DWGS PRECAST CONCRETE EAST PCMU PREFACED CONCRETE MASONRY EACH EXPOSED CONSTRUCTION PORTLAND CEMENT PLASTER EIFS **EXTERIOR INSULATION FINISH** PERP PERPENDICULAR SYSTEM PLATE **EXPANSION JOINT** PLASTIC LAMINATE PLAM **ELEVATION** PLAS PLASTIC ELECT ELECTRIC PLBG PLUM(ING) / (ER) **ELEVATOR** ELEV PLYWD PLYWOOD **EMER EMERGENCY** PROJECT NORTH EMER SHR EMERGENCY SHOWER PNL PANEL **ENCL ENCLOSURE** PAIR EPDM EXPANDED POLYETHELENE DIENE PREFABRICATED PREFAB MONOMER PROP **PROPERTY** EQ EQUAL PSF POUND PER SQUARE FOOT **EQUIP EQUIPMENT** PSI POUND PER SQUARE INCH ETC ET CETERA PT PAINT ELECTRIC WATER COOLER PTD PAINTED **EWS EYE WASH STATION** EXH **EXHAUST** QUARRY TILE EXIST / EX EXISTING **EXPANSION JOINT** RISER / RADIUS EXT **EXTERIOR** RAD **RADIUS** RB RESILIENT BASE FIRE ALARM REFLECTED CEILING PLAN FAR FLOOR AREA RATIO RD ROOF DRAIN FD FLOOR DRAIN RECEIVING FOUNDATION REFRIDGERATOR, REFERENCE FΕ FIRE EXTINGUISHER REINF REINFORCEMENT FEC FIRE EXTINGUISHER CABINET REQ/REQS REQUIREMENT/ REQUIREMENTS FΗ FIRE HYDRANT REQD / REQUIRED FHC FIRE HOSE CABINET REQ'D **FHCE** FIRE HOSE CABINET & REV REVISION, REVISED EXTINGUISHER RF RESILIENT FLOORING FIXTURE RFG ROOFING FINISH RMROOM FIN FLR EL FINISH FLOOR ELEVATION RO ROUGH OPENING FLR **FLOOR** RIGHT OF WAY FLUORESCENT FLUOR RTU **ROOF TOP UNIT** FO FACE OF FRG FIBERGLASS REINFORCED GYPSUM FT FOOT OR FEET SOUND ATTENUATION BATT FTG FOOTING (BLANKET) FURN FURNISH(ED (FURNITURE) SANITARY SOLID CORE GAUGE SCHEDULE SCHED GALV GALVANIZED SECT SECTION GLASS SF SQUARE FOOT/FEET GYP **GYPSUM** SHT SHEET SIM SIMILAR HIGH SQ SQUARE HB HOSE BIBB STAINLESS STEEL HC **HOLLOW CORE** SOUND TRANSMISSION CLASS

GENERAL NOTES

STD

STL

STOR

SUSP

SYMM

TBD

TEL

TEMP

TER

THK

UNASSIG

UR

VERT

VEST

WBL

WC

WD

WWF

WWM

STRUCT

STANDARD

STORAGE

STRUCTURAL

SUSPENDED

SYMMETRICAL

TELEPHONE

TEMPORARY

TERRAZZO

TRUE NORTH

TUBE STEEL

TELEVISION

UNASSIGNED

UNO / UON UNLESS NOTED OTHERWISE

TYPICAL

URINAL

VARIES

VERTICAL

VESTIBULE

VERIFY IN FIELD

WEST, WIDTH, WIDE

WOOD BLOCKING

WOOD BLOCKING

WELDED WIRE FABRIC

WELDED WIRE MESH

WATER HEATER

WORK POINT

WATER CLOSET

TO BE DETERMINED

THICK, THICKNESS

UNDERWRITER'S LABORATORIES

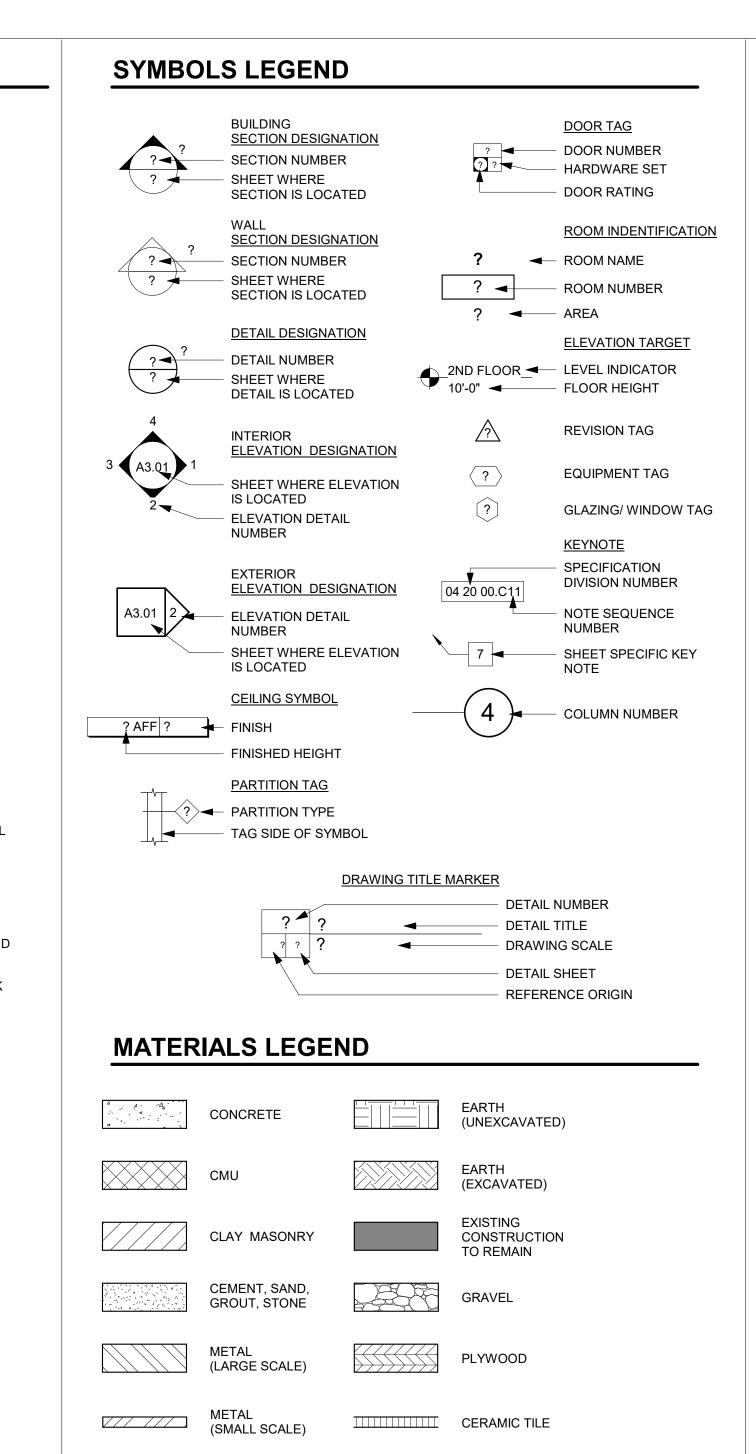
STEEL

TREAD

TOP OF

- ALL WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO INTERNATIONAL BUILDING CODE 2018, ROUTT COUNTY, CO, ICC/ANSI 117.1 - 2003, OSHA REGULATIONS, AND ALL AGENCIES HAVING JURISDICTION
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY IN THE FIELD ALL CONDITIONS AFFECTING THEIR WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- 3 IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FORMWORK, STAGINGS, BRACING, SHEETING AND SHORING, RESHORING, ETC. THIS INCLUDES THAT REQUIRED FOR THE CONTRACTOR VEHICLES, FORKLIFTS, MOBILE CRANES, MATERIALS STORAGE, ETC. MEANS AND METHODS OF CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE GENERAL
- IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK OF THE PROJECT SHALL BE PERFORMED CAREFULLY AND SKILLFULLY BY WORKERS ADEPT IN THEIR TRADES.
- CARE SHALL BE TAKEN TO AVOID DISTURBANCE OF ADJACENT FUNCTIONS/BUILDINGS. ALL WORK, DELIVERIES AND OTHER CONSTRUCTION RELATED ACTIVITIES SHALL ADHERE IN STRICT ACCORDANCE TO THE DISTRICT OF COLUMBIA RESTRICTIONS AND CONDITIONS. GENERAL CONTRACTOR IS TO HAVE A COPY OF SAID REQUIREMENTS AND CONDITIONS AVAILABLE AT THE JOB SITE AT ALL TIMES FOR REVIEW.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE THOROUGH COORDINATION OF ALL TRADES. NO CLAIMS FOR ADDITIONAL WORK WILL BE ACCEPTED FOR WORK RELATED TO SUCH COORDINATION.
- ALL CONTRACTORS SHALL EXAMINE THE CONTRACT DOCUMENTS, AND REFERENCED, NON-CONTRACTUAL DOCUMENTS, AND SHALL BE INFORMED OF THE ENTIRE CONTENTS THEREOF PRIOR TO SUBMISSION OF PROPOSAL. ANY ERRORS OR AMBIGUITIES NOTED DURING SAID EXAMINATION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT, PRIOR TO THE SUBMISSION OF A BID. THE ARCHITECT WILL ISSUE AN ADDENDUM OF INTERPRETATION OF THE CITED ERROR OR AMBIGUITY. NO SUBSEQUENT CLAIM FOR EXTRA WORK WILL BE ALLOWED ON ACCOUNT OF CLAIMED MISUNDERSTANDING OF THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS OF ANY PORTION THEREOF IF THE ITEM OCCASIONING THE CLAIM APPEARED IN, OR WAS INFERABLE FROM, SAID CONTRACT DOCUMENTS AS FURNISHED FOR BIDDING.
- ALL CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS. ELEVATIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN PLANS AND SPECIFICATIONS BEFORE PROCEEDING.
- 10 FIRE STOPS, DRAFT STOPS AND ALL FIRE SAFING IS TO BE MAINTAINED AND/OR PROVIDED AS REQUIRED BY THE CODE: a) FIRE ALARM, SPRINKLER AND STANDPIPE SYSTEMS SHALL BE MAINTAINED IN AN OPERABLE CONDITION AT ALL TIMES AND WILL BE REQUIRED TO BE ADAPTED FOR SPACES WITH NO CEILINGS FOLLOWING REMOVAL (UP-TURNED HEADS TO UNDERSIDE OF DECK), WHEN REQUIRED BY CODE, AND ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS; b) FIRE-RESISTANCE-RATED PARTITIONS, FIRE BARRIERS, AND FIRE WALLS SEPARATING OCCUPIED OR VACANT TENANT SPACES FROM THE REMAINDER OF THE BUILDING SHALL BE MAINTAINED. OPENINGS, JOINTS, AND PENETRATIONS IN FIRE-RESISTANCE-RATED ASSEMBLIES SHALL BE PROTECTED IN ACCORDANCE WITH CHAPTER 7 [OF THE INTERNATIONAL BUILDING CODE]; AND c) PERSONS, IN CHARGE OR CONTROL OF, A BUILDING OR PORTION THEREOF, SHALL REMOVE HERE FROM ALL ACCUMULATIONS OF COMBUSTIBLE MATERIALS FLAMMABLE OR COMBUSTIBLE WASTE OR RUBBISH AND SHALL SECURELY LOCK OR OTHERWISE SECURE DOORS, WINDOWS AND OTHER OPENINGS TO PREVENT ENTRY BY UNAUTHORIZED PERSONS. THE PREMISE SHALL BE MAINTAINED CLEAR OF WASTE/HAZARDOUS MATERIALS.
- 11 ALL DIMENSIONS, NOTES AND DETAILS SHOWING A PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR SIMILAR CONDITIONS. DO NOT SCALE DRAWINGS & VERIFY ALL LISTED DIMENSIONS IN FIELD AS REQUIRED FOR THE SCOPE OF THE WORK.
- 12 THE FOLLOWING SHALL BE MAINTAINED AND/OR PROVIDED IN COMPLIANCE WITH CURRENT OSHA STANDARDS IN ADDITION TO ALL OTHER GOVERNING CODES AND ORDINANCES: a)ADEQUATE EXITS AND UNOBSTRUCTED ACCESS TO SUCH SHALL BE MAINTAINED: b) VISIBLE EXIT SIGNAGE SHALL BE PROVIDED OR MAINTAINED: c) FIRE PROTECTION PROGRAM AS WELL AS EQUIPMENT SHALL BE PROVIDED BY CONTRACTOR; d) ACCESS TO A SUFFICIENT WATER SUPPLY SHALL BE AVAILABLE UPON ACCUMULATION OF COMBUSTIBLE MATERIAL: e) PROVIDE FIRE EXTINGUISHING DEVICES AND EQUIPMENT OF PROPER RATING, STANDARD. AND LOCATION; AND f) SERVICE OF FIRE RESPONSE SYSTEMS SHALL BE MAINTAINED AND CHECKED DAILY TO INSURE THAT PROTECTION IS IN SERVICE.
- 13 IN BUILDINGS OF TYPES I-A, I-B, I-C AND II CONSTRUCTION, PARTITION FRAMING SHALL BE OF EITHER OR BOTH OF THE FOLLOWING MATERIALS: (1) NONCOMBUSTIBLE MATERIALS; (2) FIRE-RETARDANT TREATED WOOD WITHIN ASSEMBLIES OF ONE-HOUR MAXIMUM RATING.
- 14 NOT USED
- 15 ALL ELECTRICAL RISERS AND SHAFTS SERVING ELEVATORS, EMERGENCY & EXIT LIGHTS, VOICE COMMUNICATION SYSTEMS, AND SMOKE CONTROL FANS ARE TO BE ENCLOSED WITH TWO HOUR CONSTRUCTION AND ARE TO INCLUDE CONTINUOUS THREE INCH HIGH WATER STOPS ON ALL SIDES AS APPROPRIATE.
- 16 ALL GUARDRAILS AND HANDRAILS SHALL MEET IBC 13-52-100: STAIRWAY, PORCH, DECK AND BALCONY RAILING, BOTH EXTERIOR AND INTERIOR, SHALL BE DESIGNED TO RESIST A SIMULTANEOUS VERTICAL AND HORIZONTAL THRUST OF 50 LBS./FT (POUNDS-FORCE, PER LINEAR FOOT) APPLIED AT THE TOP OF THE RAILING OR A CONCENTRATED LOAD OF 200 LBS./FT IN ANY DIRECTION, WHICHEVER PRODUCES THE GREATEST STRESS. FOR ONE- AND TWO-FAMILY DWELLING UNITS, A THRUST OF 20 LBS./FT MAY BE USED OF 50 LBS./FT FOR INTERIOR STAIR BALUSTERS OR WALL-MOUNTED INTERIOR HANDRAILS ONLY.
- 17 PROVIDE FIRE-RETARDANT TREATED PLYWOOD BACKERBOARDS AROUND THE

INSIDES OF ALL ELECTRICAL AND TELEPHONE ROOMS.



INSULATION,

BLOCKING

GLASS

FIRESTOPPING

(BATT OR LOOSE)

INSULATION

FINISH WOOD

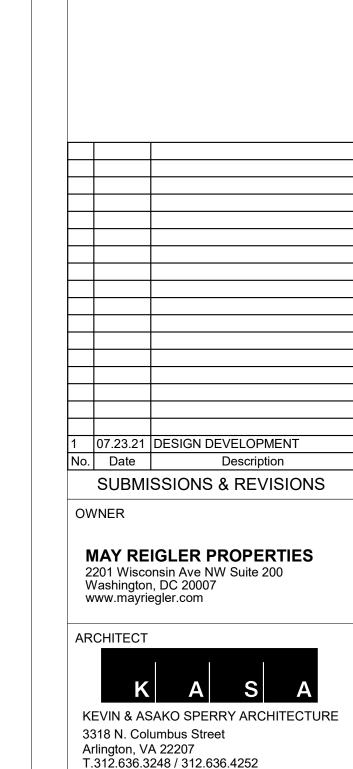
STEEL W/ SPRAY

FIREPROOFING

(RIGID)

APPLIED

المنتختينا



APPROVAL STAMPS:

CIVIL ENGINEER

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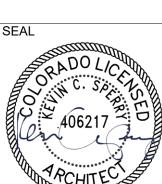
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PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

GENERAL NOTES SYMBOLS, AND **ABBREVIATIONS**



DATE: 11/15/21 DRAWN BY: CHECKED BY PROJECT NO:

G0002

	Means of Egress	I	
1003.1	Means of Egress ceiling is not less than 7'-6"	MEANS OF EGRESS CEILING IS NOT LESS THAN 7'-6"	SHALL COMPLY.
1004	Occupant Load	FITNESS = EXERCISE ROOM (1/50 GROSS) = 70 OCCS 2 MEANS OF EGRESS REQUIRED BUSINESS AREAS = 1/150 GROSS = 12.5 OCCS 1 MEANS OF EGRESS REQUIRED MERCANTILE = 1/60 GROSS = 25 OCCS	FITNESS = 2 MEANS OF EGRESS PROVIDED BUSINESS AREAS = 2 MEANS OF EGRESS PROVIDED
1005.1	Means of Egress Sizing	1 MEANS OF EGRESS REQUIRED STAIRWAYS = 0.2 INCHES PER OCC W/ SPRINKLER SYSTEM OTHER EGRESS COMPONENTS = 0.15 INCHES PER OCC W/ SPRINKLER SYSTEM	MERCANTILE = 2 MEANS OF EGRESS PROVIDED STAIRWAYS: 48" MINIMUM STAIRWAY WIDTH. PER 1009.3.2, EXCEPTION 1
1006.2	Egress from Spaces		SHALL COMPLY. REFER TO 0005 LIFE SAFETY PLANS
1008	Means of Egress Illumination	THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.	SHALL COMPLY. SEE ELECTRICAL
1010.1.2	Doors	DOORS SHALL SWING IN THE DIRECTION OF EGRESS IF SERVING 50 OR MORE OCCUPANTS.	SHALL COMPLY. REFER TO 0005 LIFE SAFETY PLANS
1010.1.10	Panic and Fire Exit Hardware	DOORS SERVING SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OCCUPANCY SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OF FIRE EXIT HARDWARE.	SHALL COMPLY.
1011.3	Minimum Headroom	6'-8" MINIMUM	6'-8" MINIMUM
1012	Ramps	RAMPS USED AS PART OF A MEANS OF EGRESS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL. THE SLOPE OF OTHER PEDESTRIAN RAMPS SHALL NOT BE STEEPER THAN ONE UNIT VERTICAL IN EIGHT UNITS HORIZONTAL.	N/A, NO RAMPS PROPOSED IN SCOPE.
1014	Handrails	HANDRAILS SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. ALL REQUIRED HANDRAILS SHALL COMPLY WITH SECTION 1012.3.1 OR SHALL PROVIDE EQUIALENT GRASPABILITY. HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN. IF HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAIL SHALL EXTEND HORIZONTALLY AT LEAST 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.	SHALL COMPLY
1015	Egress through intervening spaces.		GUARDS ARE 42 INCHES IN HEIGHT WITH 4 INCHES MAX OPENING. SHALL COMPLY.
1017.2	Exit Access Travel Distance	STORAGE ROOMS, CLOSETS OR SPACES USED FOR SIMILAR PURPOSES. PER TABLE 1017.2: A OCCUPANCY; WITH SPRINKLER	250' MAX TRAVEL DISTANCE, REFER TO G0005 LIFE
		SYSTEM; 250' MAX TRAVEL DISTANCE	SAFETY PLANS
1020 CHAPTER 15 -	Corridor Width Roof Assemblies and Rooftop Struct	44" MINIMUM	44" MINIMUM
1505	Fire Classification		CLASS C
		CLASS C	
<u>CHAPTER 19 -</u> 1907	Minimum Slab Provisions - Vapor Barriers	THE THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL NOT BE LESS THAN 3 1/2 INCHES. A 6-MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE BASE COURSE OR SUBGRADE AND THE CONCRETE FLOOR SLAB, OR OTHER APPROVED EQUIVALENT METHODS OR MATERIALS SHALL BE USED TO RETARD VAPOR TRANSMISSION THROUGH THE FLOOR SLAB.	NO NEW SLABS PROPOSED IN PROJECT.
	NERGY CODE:	IECC	
COMPLIANCE	NERGY CODE: METHOD:	IECC Com-Check	Included
CLIMATE ZON		7	

LCENIEDALE	DOLECT INCODMATION		
A. Project Na	PROJECT INFORMATION	STEAMBOAT BASECAMP - PHASE 1A	
B. Project Lo		1901 CURVE PLAZA, STEAMBOAT SPRINGS, CO 80487	7
C. Project De		EXISTING BUILDING RENOVATION & TENANT FIT-OU	
D. Building D	-	1-STORY WOOD FRAMED BUILDING W/ MEZZANINE. SPACE, (2) NEW UTILITY ROOMS.	(3) RETAIL TENANT SPACES, (1) COMMERCIAL LOBBY
E. Applicable	Building Codes:	2018 INTERNATIONAL CONSTRUCTION CODES, AS AI	DOPTED BY ROUTT COUNTY & THE CITY OF
		STEAMBOAT SPRINGS	OF MODEL CODES
		 2018 INTERNATIONAL CODE COUNCIL (ICC) FAMILY COMMUNITY DEVELOPMENT CODE, STEAMBOAT S 2020 NATIONAL ELECTRICAL CODE 	
F. Entitlemer	nt History:	DPVC-20-06 LEGACY PLANNING APPLICATION PL20210086 SUBSTANTIAL CONFORMANCE	
II ZONING D	EQUIDEMENTS BUILDING	The LEGISTON OF THE CONTROL OF THE C	
II. ZONING K	EQUIREMENTS - BUILDING	Ordinance Allowed/Required	Actual Provided
Zone		CS	CS
Lot Area		No Min/No Max	4.21 Acres
Lot Occupan Open Space	су	No Max 15% Min	19.70% 52.67%
Floor Area Ra	atio (FAR)	No Max	Complies
Overall Build		63' Max	35' (Existing to Remain)
Frontage Are		26' Min	27'-7" (Existing to Remain)
Setbacks		Front: 5' Min / Side: 7.5' Min	Complies
Gross Floor A	Area	No Max	10,514 SF
Parking Requ		128 Spaces (Approved per Planning Application)	128 Spaces
	CODE DATA		
Section No.	Topic No. / Title	Code Requirement	Actual Provided
	USE AND OCCUPANCY CLASSIFICATION		Tagenda New Tagenda
302	Use and Occupancy	MERCANTILE M (Section 304)	MERCANTILE M - RETAIL
		ASSEMBLY A-3 (Section 303.4)	ASSEMBLY A-3 - GYMNASIUM
CHARTER (BUSINESS B (Section 309)	BUSINESS B - PROFESSIONAL SERVICES
<u>CHAPTER 4 -</u> N/A	SPECIAL DETAILED REQUIREMENTS B	DASED ON USE AND OCCUPANCY	T
	 GENERAL BUILDING HEIGHTS AND AF	I REAS	1
501.2	Address Identification	4-INCH HIGH MIN X 0.5-INCH WIDE MIN INSTALLED	ADDRESS WILL BE IDENTIFIED AS REQUIRED PER
301.2	Address identification	ON A CONTRASTING BACKGROUND, PLAINLY VISIBLE FROM STREET OR ROAD FRONTING PROPERTY	SECTION 501.2
504	Building Height and Number of	PROPOSED CONSTRUCTION TYPE: V-B, SPRINKLER	TYPE OF CONSTRUCTION: V-B
304	Stories	Table 504.3: Allowable Bldg Height (A,B Occ): 60'	Complies. 1 story
	Stories	Table 504.4: Allowable Stories (M & A-3): 2	Compiles: 1 story
		Table 504.4: Allowable Stories (B): 3	
		· · · · · · · · · · · · · · · · · · ·	
506	Building Area	Table 506.2: Allowable Area for 1-story A-3 w/	Complies. 10,514 SF
506	Building Area	sprinklers: 24,000 SF	Complies. 10,514 SF
506	Building Area		Complies. 10,514 SF
<u>CHAPTER 6 -</u>	TYPES OF CONSTRUCTION	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF	
<u>CHAPTER 6 -</u> 601	TYPES OF CONSTRUCTION Table 601	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION	TYPE V/B CONSTRUCTION
<u>CHAPTER 6 -</u> 601	TYPES OF CONSTRUCTION Table 601 Table 602	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X
<u>CHAPTER 6 -</u> 601 602	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR	TYPE V/B CONSTRUCTION
<u>CHAPTER 6 -</u> 601 602	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR
<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u>	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT
<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u>	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT Maximum Area Wall Opening	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES FIRE SEPARATION DISTANCE = 30 FT OR GREATER	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT
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<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u> 705.8	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT Maximum Area Wall Opening Based on Fire Separation and Degree of Opening	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES FIRE SEPARATION DISTANCE = 30 FT OR GREATER UNPROTECTED, SPRINKLERED (UP,S) = NO LIMIT PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT REQUIRED TO BE PROTECTED DUE TO SPRINKLERED CONDITION
<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u> 705.8	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT Maximum Area Wall Opening Based on Fire Separation and Degree of Opening Parapets	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES FIRE SEPARATION DISTANCE = 30 FT OR GREATER UNPROTECTED, SPRINKLERED (UP,S) = NO LIMIT PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR HE SUPPORTING	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT REQUIRED TO BE PROTECTED DUE TO SPRINKLERED CONDITION
<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u> 705.8	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT Maximum Area Wall Opening Based on Fire Separation and Degree of Opening Parapets	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES FIRE SEPARATION DISTANCE = 30 FT OR GREATER UNPROTECTED, SPRINKLERED (UP,S) = NO LIMIT PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR HE SUPPORTING WALL, AND ON ANY SIDE ADJACENT TO A ROFF SURFACE, SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 18 INCHES, INCLUDING	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT REQUIRED TO BE PROTECTED DUE TO SPRINKLERED CONDITION
<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u> 705.8	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT Maximum Area Wall Opening Based on Fire Separation and Degree of Opening Parapets	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES FIRE SEPARATION DISTANCE = 30 FT OR GREATER UNPROTECTED, SPRINKLERED (UP,S) = NO LIMIT PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR HE SUPPORTING WALL, AND ON ANY SIDE ADJACENT TO A ROFF SURFACE, SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 18 INCHES, INCLUDING COUNTERFLASHING AND COPING MATERIALS.	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT REQUIRED TO BE PROTECTED DUE TO SPRINKLERED CONDITION SHALL COMPLY.
<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u> 705.8	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT Maximum Area Wall Opening Based on Fire Separation and Degree of Opening Parapets	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES FIRE SEPARATION DISTANCE = 30 FT OR GREATER UNPROTECTED, SPRINKLERED (UP,S) = NO LIMIT PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR HE SUPPORTING WALL, AND ON ANY SIDE ADJACENT TO A ROFF SURFACE, SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 18 INCHES, INCLUDING COUNTERFLASHING AND COPING MATERIALS. THROUGH PENETRATIONS SHALL BE PROTECTED BY	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT REQUIRED TO BE PROTECTED DUE TO SPRINKLERED CONDITION SHALL COMPLY.
<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u> 705.8	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT Maximum Area Wall Opening Based on Fire Separation and Degree of Opening Parapets	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES FIRE SEPARATION DISTANCE = 30 FT OR GREATER UNPROTECTED, SPRINKLERED (UP,S) = NO LIMIT PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR HE SUPPORTING WALL, AND ON ANY SIDE ADJACENT TO A ROFF SURFACE, SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 18 INCHES, INCLUDING COUNTERFLASHING AND COPING MATERIALS. THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT REQUIRED TO BE PROTECTED DUE TO SPRINKLERED CONDITION SHALL COMPLY. SHALL COMPLY.
<u>CHAPTER 6 -</u> 601 602 <u>CHAPTER 7 -</u> 705.8	TYPES OF CONSTRUCTION Table 601 Table 602 Fire Resistive Rating Requirement Exterior Walls based on Distance FIRE AND SMOKE PROTECTION FEAT Maximum Area Wall Opening Based on Fire Separation and Degree of Opening Parapets	sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/ sprinklers: 36,000 SF TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR URES FIRE SEPARATION DISTANCE = 30 FT OR GREATER UNPROTECTED, SPRINKLERED (UP,S) = NO LIMIT PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR HE SUPPORTING WALL, AND ON ANY SIDE ADJACENT TO A ROFF SURFACE, SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 18 INCHES, INCLUDING COUNTERFLASHING AND COPING MATERIALS. THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM	TYPE V/B CONSTRUCTION FIRE SEPARATION DISTANCE = X X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT REQUIRED TO BE PROTECTED DUE TO SPRINKLERED CONDITION SHALL COMPLY. SHALL COMPLY.
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8 02.06.23 REISSUED FOR PERMIT 1 07.23.21 DESIGN DEVELOPMENT

SUBMISSIONS & REVISIONS OWNER

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www.mayriegler.com

No. Date Description

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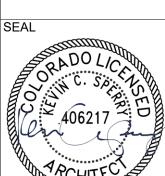
JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

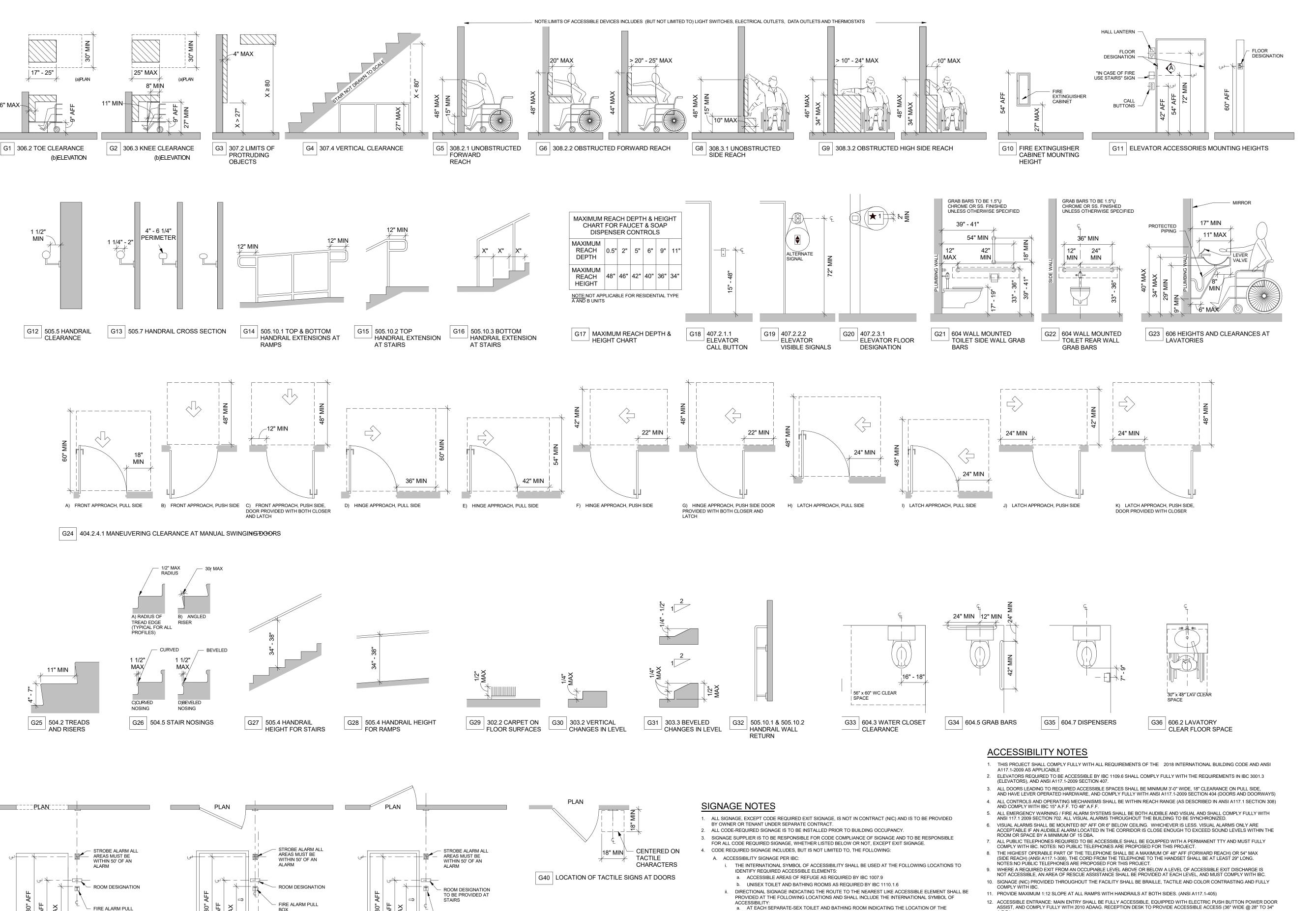
1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

CODE ANALYSIS



11/15/21 DRAWN BY: CHECKED BY: PROJECT NO:

DATE:



FIRE ALARM PULL BOX,

AS NEEDED

G39 | MOUNTING HEIGHTS ADJACENT TO INSWING

[⊥] DOORS

G38 MOUNTING HEIGHTS ADJACENT TO OUTSWING

—— DOORS

ELEVATION

—— CASED OPENINGS

G37 MOUNTING HEIGHTS ADJACENT TO

ASSIST, AND COMPLY FULLY WITH 2010 ADAAG. RECEPTION DESK TO PROVIDE ACCESSIBLE ACCESS (36" WIDE @ 28" TO 34"

NEAREST FAMILY OR ASSISTED-USE TOILET OR BATHING ROOM IF PROVIDED IN ACCORDANCE

THE SITE AND FACILITIES SHALL CONTAIN VISUAL CHARACTERS COMPLYING WITH ANSI A117.1.

SECTION 1011.3. SIGNAGE SHALL DESIGNATE NEXT FLOOR OF RE-ENTRY IN BOTH EMERGENCY

SECTION 1011.3. SIGNAGE SHALL DESIGNATE EACH AREA OF RESCUE ASSISTANCE (AOR) AND

a. AT EACH DOOR TO AN EXIT STAIRWAY, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH IBC

b. AT EACH DOOR TO AN EXIT STAIRWAY, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH IBC

d. AT AREAS FOR ASSISTED RESCUE, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH IBC

5. SEE MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR OTHER SIGNAGE REQUIREMENTS.

TO BE DESIGNED AND MOUNTED PER THE PROVISIONS OF ICC/ANSI A117.1-2009, SECTION 703:

AND NON-EMERGENCY CONDITIONS.

SECTION 1007.11

- 13. TOILET HEIGHT CLEARANCES: MUST BE 17"-19" A.F.F. PER ANSI A117.1-604.4. VERTICAL GRAB BAR REQUIRED. ALL OTHER PLUMBING FIXTURES SHALL COMPLY WITH ANSI A117.1-604 THROUGH 610. WITH IBC SECTION 1110.2.4. SIGNS THAT PROVIDE DIRECTION TO OR INFORMATION ABOUT PERMANENT INTERIOR SPACES OF
- 14. BOTTOM OF REFLECTIVE SURFACE ON MIRRORS WITHIN ACCESSIBLE BATHROOMS MUST BE AT 40" A.F.F. PER ANSI A117.1 -603.3.19.GRAB BARS SHALL BE INSTALLED AT 33" TO 36" A.F.F. TO TOP OF GRAB BAR. FLUSH CONTROLS IN SIGNAGE INDICATING SPECIAL ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AS FOLLOWS. SIGNAGE
 - ACCESSIBLE STALLS AND BATHROOMS TO BE ON THE WIDE SIDE OF THE TOILET.
 - 15. GRAB BARS SHALL BE INSTALLED AT 33" TO 36" A.F.F. TO TOP OF GRAB BAR. FLUSH CONTROLS IN ACCESSIBLE STALLS AND BATHROOMS TO BE ON THE WIDE SIDE OF THE TOILET.

 - 16. ALL DRINKING FOUNTAINS SHALL BE IAC REQUIRED "HI-LO" TYPE, AND SHALL COMPLY WITH ANSI A117.1-2009 SECTION 602
 - 17. ALL CURB RAMPS SHALL COMPLY WITH ANSI A117.1 SECTION 406 AND LOCAL DEPARTMENT OF TRANSPORTATION STANDARDS
- FOR SIDEWALK CURB RAMPS. DETECTABLE SURFACE TO BE 2' x 4' USING TRUNCATED DOMES IN SQUARE PATTERN. BE PROVIDED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS NOTED ABOVE.
 c. AT AREAS OF REFUGE, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH IBC SECTION 1007.11 18. IN ADDITION TO REQUIREMENTS LISTED ABOVE, TOILET ROOMS, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH
 - 19. CHANGE IN LEVEL OF 1/4 INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4

INCH HIGH MAXIMUM AND 1/2 INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE RAMPED AND SHALL COMPLY WITH ANSI A117.1.

APPROVAL STAMPS:

07.23.21 DESIGN DEVELOPMENT

SUBMISSIONS & REVISIONS

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1717 15th Street

Boulder, CO 80302 T. 303.444.6038

INTERIOR DESIGNER:

Denver, CO 80202

PROJECT LOCATION

DRAWING TITLE

T.303.892.7062

BOULDER ENGINEERING

JOHNSON NATHAN STROHE

STEAMBOAT BASECAMP

PARTIAL RENOVATION

AND TENANT FIT-OUT

1901 CURVE PLAZA

STEAMBOAT SPRINGS, CO 80487

ACCESSIBILITY AND

TYPICAL MOUNTING

HEIGHTS

1600 Wynkoop St., Suite 100

KL&A ENGINEERS & BUILDERS

No. Date

OWNER

ARCHITECT

Description

G0004

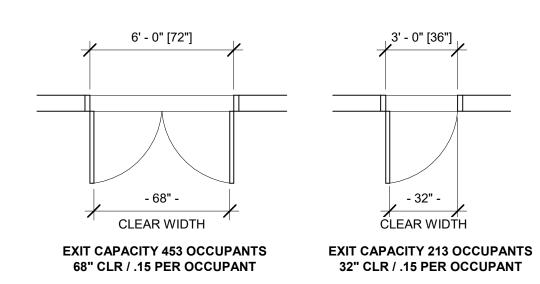
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11/15/21

DRAWN BY:

CHECKED BY:

DOOR WIDTH LEGEND



DOOR WIDTH LEGEND 1/4" = 1'-0"

FIRE SEPARATION LEGEND

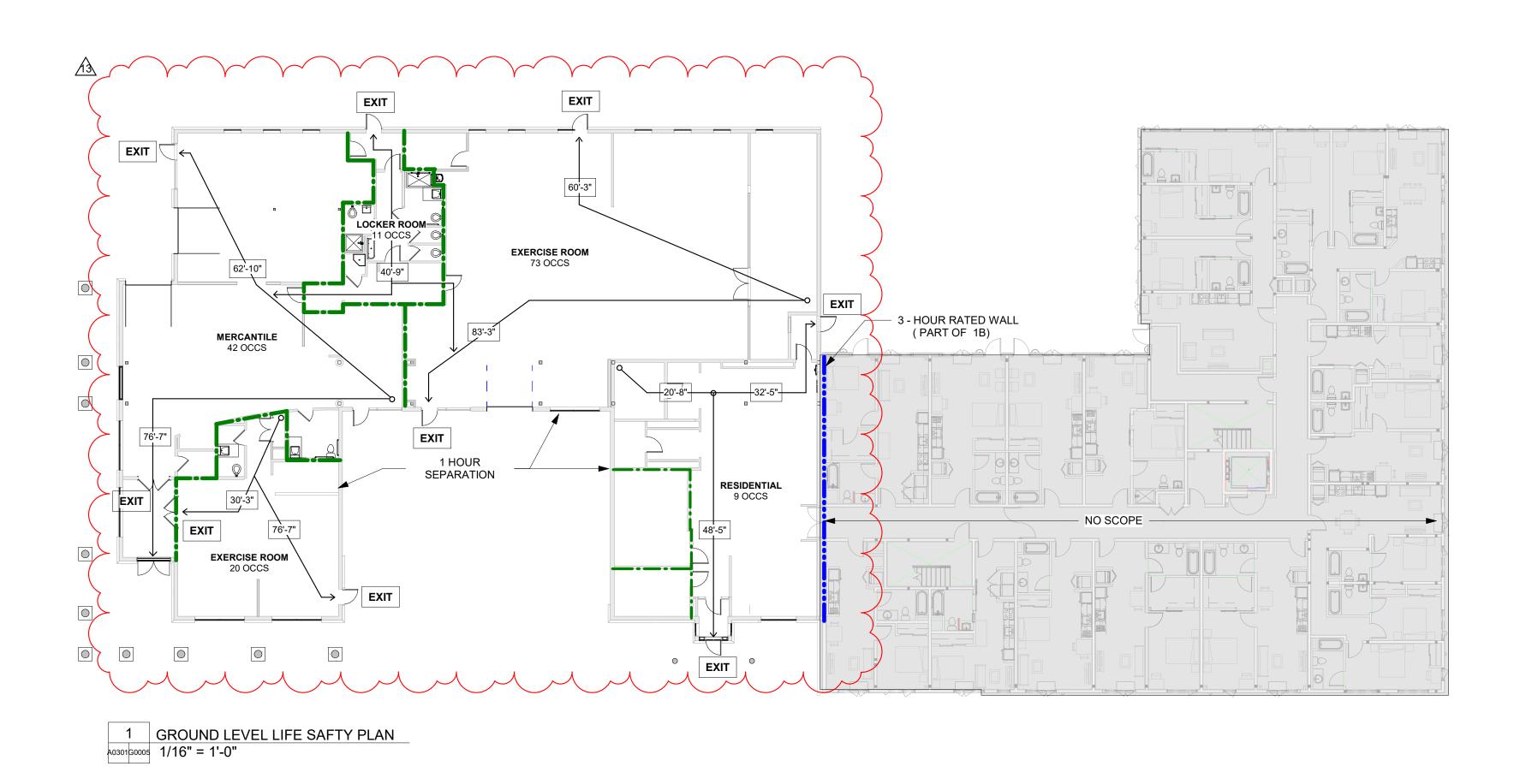


FIRE SEPARATION LEGEND
1/8" = 1'-0"

RATED DOOR LEGEND

UL LABEL	RATING	MAX GLASS AREA
Α	180 MIN	100 SQ IN PER LEAF
В	90 MIN	100 SQ IN PER LEAF
С	45 MIN	1296 SQ IN PER LITE
S	SMOKE	

RATED DOOR LEGEND 1/8" = 1'-0"



APPROVAL STAMPS:

13 08.18.23 COMMERCIAL SPACE 1A PERMIT REVISION
8 02.06.23 REISSUED FOR PERMIT
1 07.23.21 DESIGN DEVELOPMENT

No. Date Description
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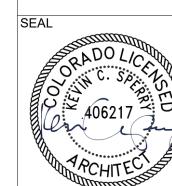
INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION
STEAMBOAT BASECAMP
PARTIAL RENOVATION
AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

LIFE SAFTY PLAN



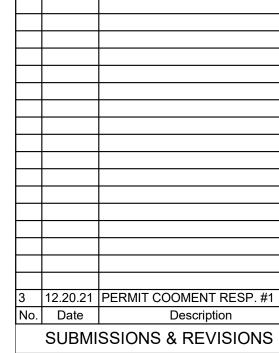
DATE:
11/15/21
DRAWN BY:
CHECKED BY:

0:

G0005

1 EXISTING GROUND LEVEL PLAN
a0301p0101 3/32" = 1'-0"

APPROVAL STAMPS:



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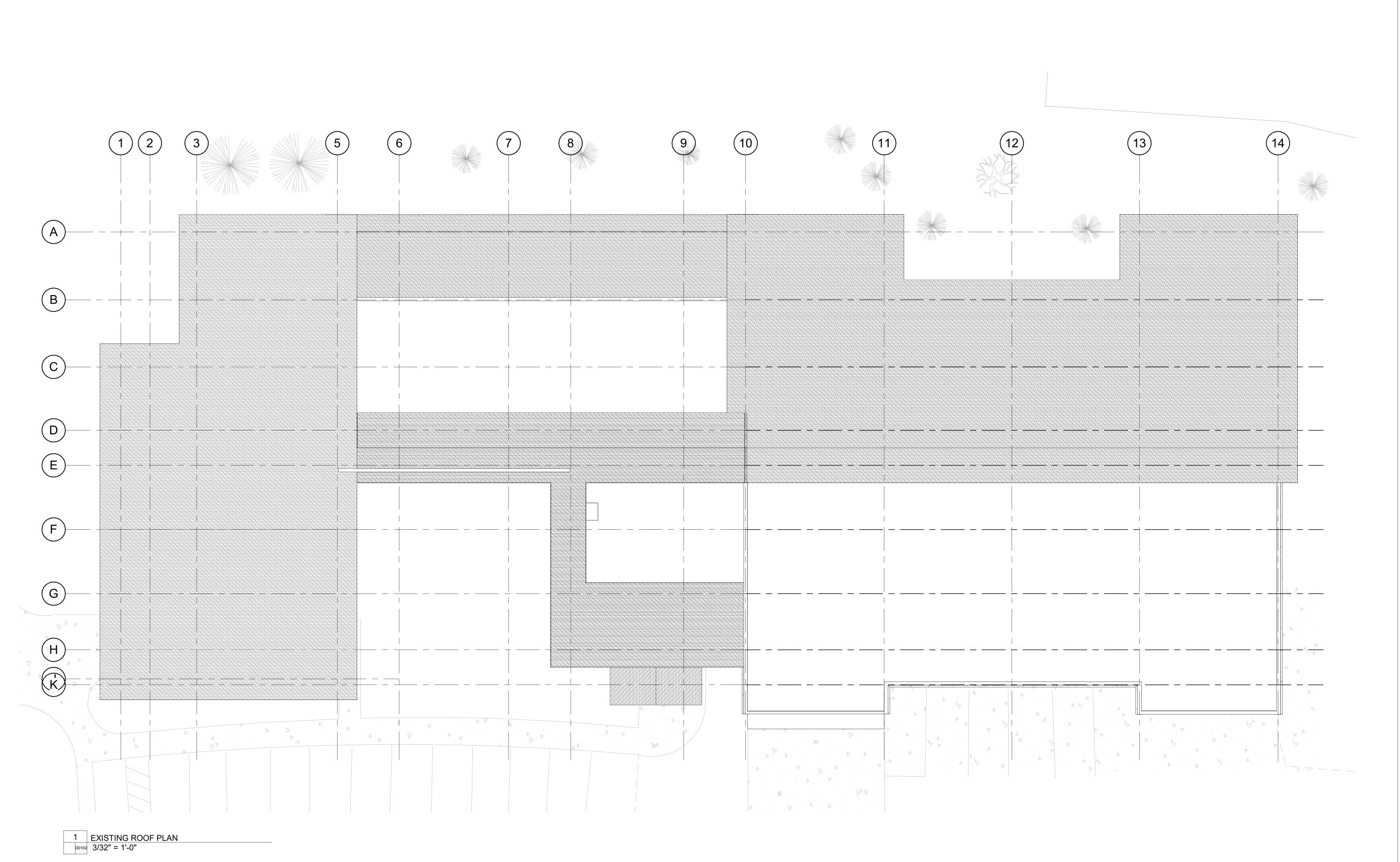
1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

EXISTING GROUND LEVEL PLAN

DATE: 11/15/21 DRAWN BY:

CHECKED BY: PROJECT NO:

D0101



No. Date Description

SUBMISSIONS & REVISIONS

OWNER

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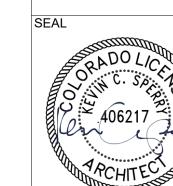
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DRAWING TITLE

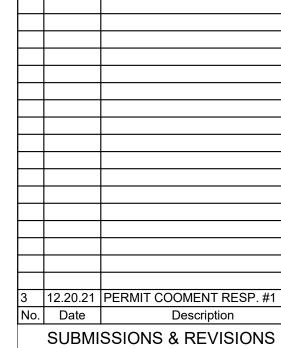
EXISTING ROOF PLAN



DATE: 11/15/21 DRAWN BY: CHECKED BY:

PROJECT NO:

D0102



MAY REIGLER PROPERTIES
2201 Wisconsin Ave NW Suite 200
Washington, DC 20007
www.mayriegler.com

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE 3318 N. Columbus Street Arlington, VA 22207 T.312.636.3248 / 312.636.4252 www.kasa-arch.com

GENERAL CONTRACTOR

CIVIL ENGINEER

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LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

KL&A ENGINEERS & BUILDERS 1717 Washington Ave. Golden, CO 80401 T. 303.384.9910

M.E.P. & F.P. ENGINEERS

BOULDER ENGINEERING 1717 15th Street Boulder, CO 80302 T. 303.444.6038

INTERIOR DESIGNER:

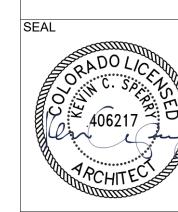
JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

GROUND LEVEL DEMOLITION PLAN



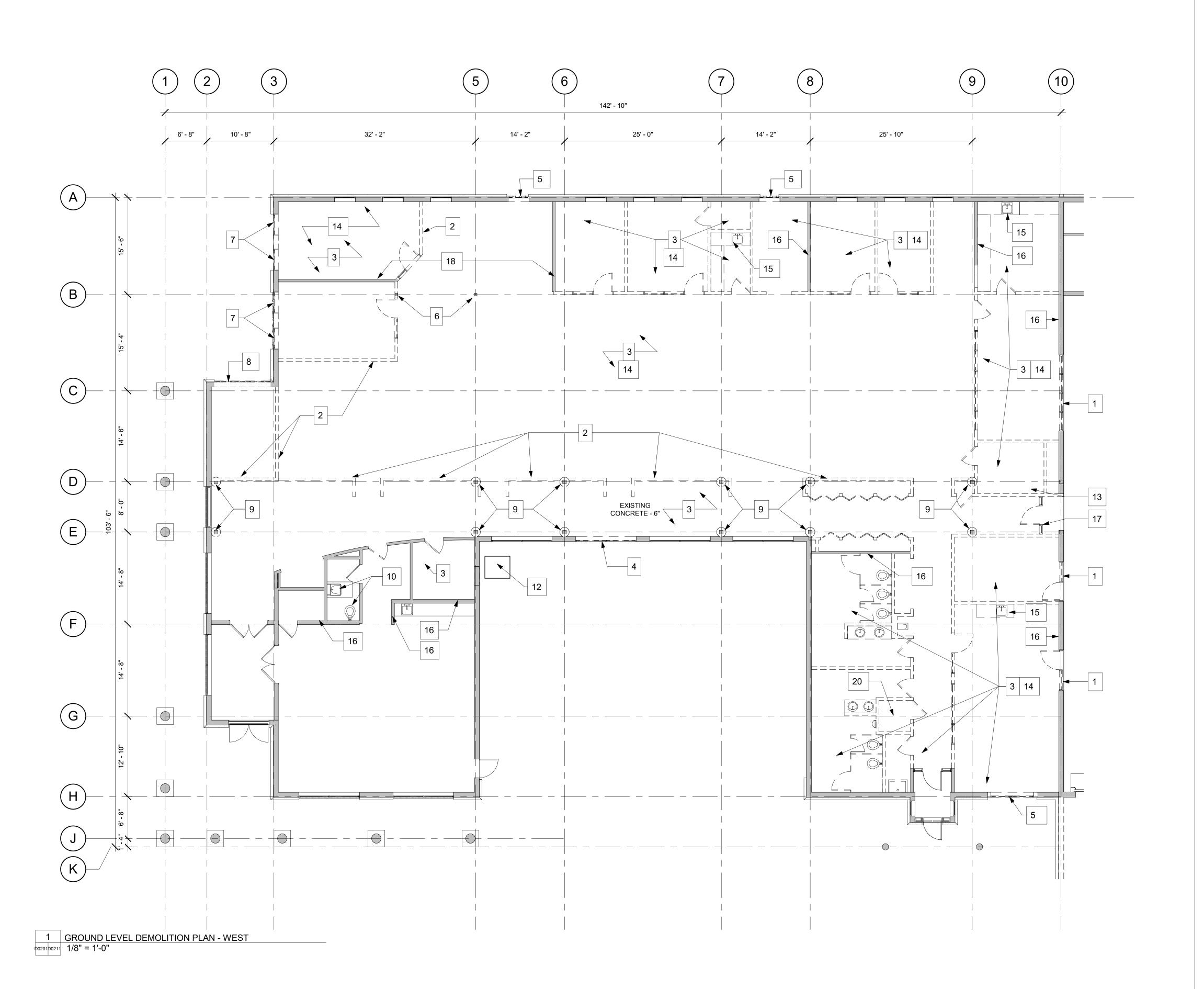
PROJECT NO:

CHECKED BY:

DATE: 11/15/21 DRAWN BY:

D0201

1 GROUND LEVEL OVERALL DEMOLITION PLAN
a0301 D0201 3/32" = 1'-0"



<u>DEMO NOTES:</u>

DEMOLITION GENERAL NOTES:

A • DEMOLITION SHOWN IN THE DRAWINGS IS GENERALLY DESCRIPTIVE OF THE DEMOLITION REQUIRED AND DOES NOT REPRESENT FULL EXTENT OF DEMOLITION REQUIRED.

ARCHITECTURAL, STRUCTURAL, & INTERIOR DRAWINGS AND DOES NOT CONVEY UN FORESEEN CONDITIONS. GENERAL CONTRACTOR TO CONDUCT EXIST BUILDING SURVEY & PROVIDE DESIGN TEAM WITH INFORMATION IF VARIATIONS FROM CONTRACT DRAWINGS.

C • NO STRUCTURAL ELEMENTS ARE TO BE REMOVED WITHOUT COORDINATING WITH THE STRUCTURAL ENGINEER. GC TO COORDINATE WITH STRUCTURAL ENGINEER IF ANY UNKNOWN STRUCTURAL ELEMENTS ARE FOUND.

IN CASE OF CONFLICT, THE CONTRACTOR SHALL SUBMIT A THE ARCHITECT.

F • GC TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. THE CONTRACTOR SHALL REPORT ANY CONFLICTS AND/OR OMISSIONS TO THE ARCHITECT PRIOR TO PERFORMING ANY WORK IN QUESTION. OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO COMPLETE THE WORK STATED IN THE CONTRACT DOCUMENTS BASED UPON THE OPTIMAL ESTABLISHED QUALITY STANDARD.

G • CONTRACTOR SHALL FILL ANY VOIDS/ CORES/ PENETRATIONS IN THE EXISTING FLOOR SLAB DUE TO THE RESULT OF DESCRIBED DEMOLITION INDICATED ON ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS.

H • ALL LOAD BEARING ELEMENTS INCLUDING COLUMNS TO REVIEW REMOVAL OF ANY STRUCTURAL ELEMENTS WITH STRUCTURAL ENGINEER PRIOR TO DEMOLITION.

I • ALL EXISTING PLUMBING FIXTURES WITHIN SUBJECT AREA TO BE DEMOLISHED, AND ASSOCIATED PIPING TO BE DEMOLISHED OR ABANDONED IN PLACE.

- 3. DEMOLISH EXISTING INTERIOR FLOOR FINISH MATERIAL.

- 6. EXISTING STRUCTURAL COLUMN TO REMAIN. REMOVE DRYWALL
- 8. DEMOLISH EXISTING EXTERIOR WALL & PREPARE FOR NEW OPENING. (DEFERRED DEMO)
- 9. DEMOLISH COLUMN COVER FROM FINISH FLOOR TO EXISTING CEILING BULKHEAD LEVEL. EXISTING STRUCTURAL COLUMN TO
- 11. SALVAGE KITCHENETTE W/ SINK & DISHWASHER (PLACE IN OFFICE)

- 14. DEMOLISH ALL CEILING ELEMENTS BELOW FIRE LID INCLUDING
- 15. DEMOLISH KITCHENETTE & PERMANENTLY CAP ALL UTILITIES.
- FINISHES.
- AT A LATER DATE, AFTER NEW MOMENT FRAMES HAVE BEEN CONSTRUCTED/INSPECTED.

19. NOT USED.

20. EXISTING FIRE SPRINKLER SERVICE TO BE RETAINED AND PENDLE GENEOR FUTURE USE.

EXISTING WALL TO REMAIN

EXISTING SHEAR WALL TO

REMAIN

B • DEMOLITION DRAWINGS SHALL BE COORDINATED WITH ARE NOT THE PRODUCT OF AN EXISTING CONDITIONS SURVEY. THE INTENT OF THE DEMOLITION DRAWINGS IS TO ILLUSTRATE THE GENERAL REPRESENTATION OF WORK TO BE DONE BUT

D • GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION PLANS WITH ARCHITECTURAL SLAB EDGE PLANS, GENERAL DESIGN AND COORD. WITH ALL EXIST. CONDITIONS PRIOR TO

E • DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN. WRITTEN REQUEST FOR CLARIFICATION OR INFORMATION TO

REMAIN BETWEEN COLUMN LINES 1 AND 10. CONTRACTOR TO

KEYED NOTES:

- 1. DEMOLISH DOORS/WINDOWS, FRAMES, AND ALL ASSOCIATED ELECTRICAL DEVICES. PREPARE FOR NEW SHEAR WALL.
- 2. DEMOLISH EXISTING WALL.
- 4. DEMOLISH WINDOW. (DEFERRED DEMO)
- 5. DEMOLISH WINDOW & WALL BELOW SILL. PREPARE FOR NEW DOOR IN EXISTING R.O. (DEFERRED DEMO)
- SURROUND.
- 7. DEMOLISH WINDOWS, WALL BELOW EXISTING SILL, AND WALL IN BETWEEN WINDOWS, TO HEIGHT OF EXISTING WINDOW HEAD. PREP FOR NEW HEAD & LARGE DOOR OPENING. (DEFERRED DEMO)
- 10. EXISTING RESTROOM (INCLUDING DOOR, FINISHES, FIXTURES, FITTINGS) TO REMAIN.
- 12. DEMOLISH EXIST. MECH UNIT IN PLACE AND PREPARE FOR NEW. PAD, DUCTWORK TO REMAIN.
- 13. LOWEST PLANE AT CLOSET TO BE DEMOLISHED. UPPER (2) PLANES OF WALL TO BE RETAINED FOR REUSE.
- DROPPED CEILING GRID, PANELS & BULKHEADS U.O.N. EXISTING FIRE LID TO REMAIN.
- 16. EXISTING SHEAR WALL TO REMAIN. PREP WALL FOR NEW
- 17. DEMOLISH WALL, WINDOW, DOORS, FRAMES, AND ALL ASSOCIATED ELECTRICAL DEVICES.
- 18. EXISTING SHEAR WALL TO REMAIN. SHEAR WALL TO BE DEMOLISHED

ENLARGED DEMOLITION PLAN -WEST 11/15/21 DRAWN BY: CHECKED BY:

APPROVAL STAMPS:

01.10.23 ASI-008

No. Date

ARCHITECT

08.27.21 DEMO PERMIT

02.25.22 PERMIT RE-SUBMISSION

12.20.21 PERMIT COOMENT RESP. #1 1 07.23.21 DESIGN DEVELOPMENT

SUBMISSIONS & REVISIONS

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M.E.P. & F.P. ENGINEERS

1717 15th Street

T. 303.444.6038

Boulder, CO 80302

INTERIOR DESIGNER:

PROJECT LOCATION

DRAWING TITLE

BOULDER ENGINEERING

JOHNSON NATHAN STROHE

STEAMBOAT BASECAMP

PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487

GROUND LEVEL

1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

KL&A ENGINEERS & BUILDERS

Arlington, VA 22207

www.kasa-arch.com

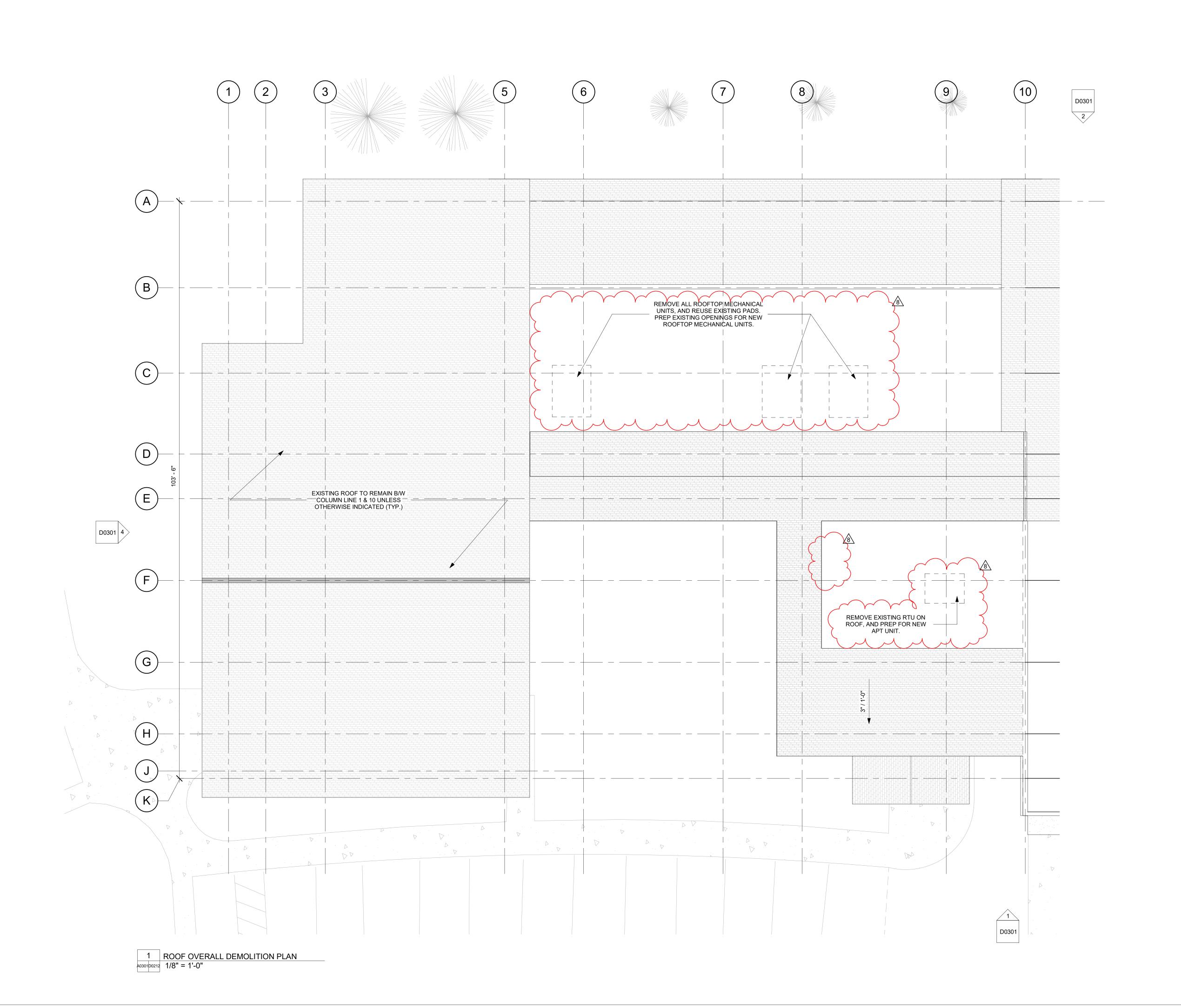
CIVIL ENGINEER

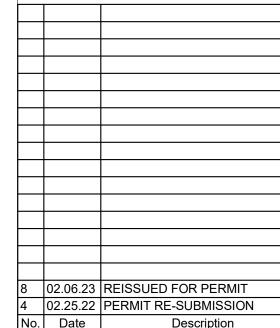
Description

D0211

PROJECT NO:

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No. Date Description SUBMISSIONS & REVISIONS

OWNER

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STRUCTURAL ENGINEER

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INTERIOR DESIGNER:

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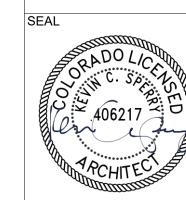
PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487

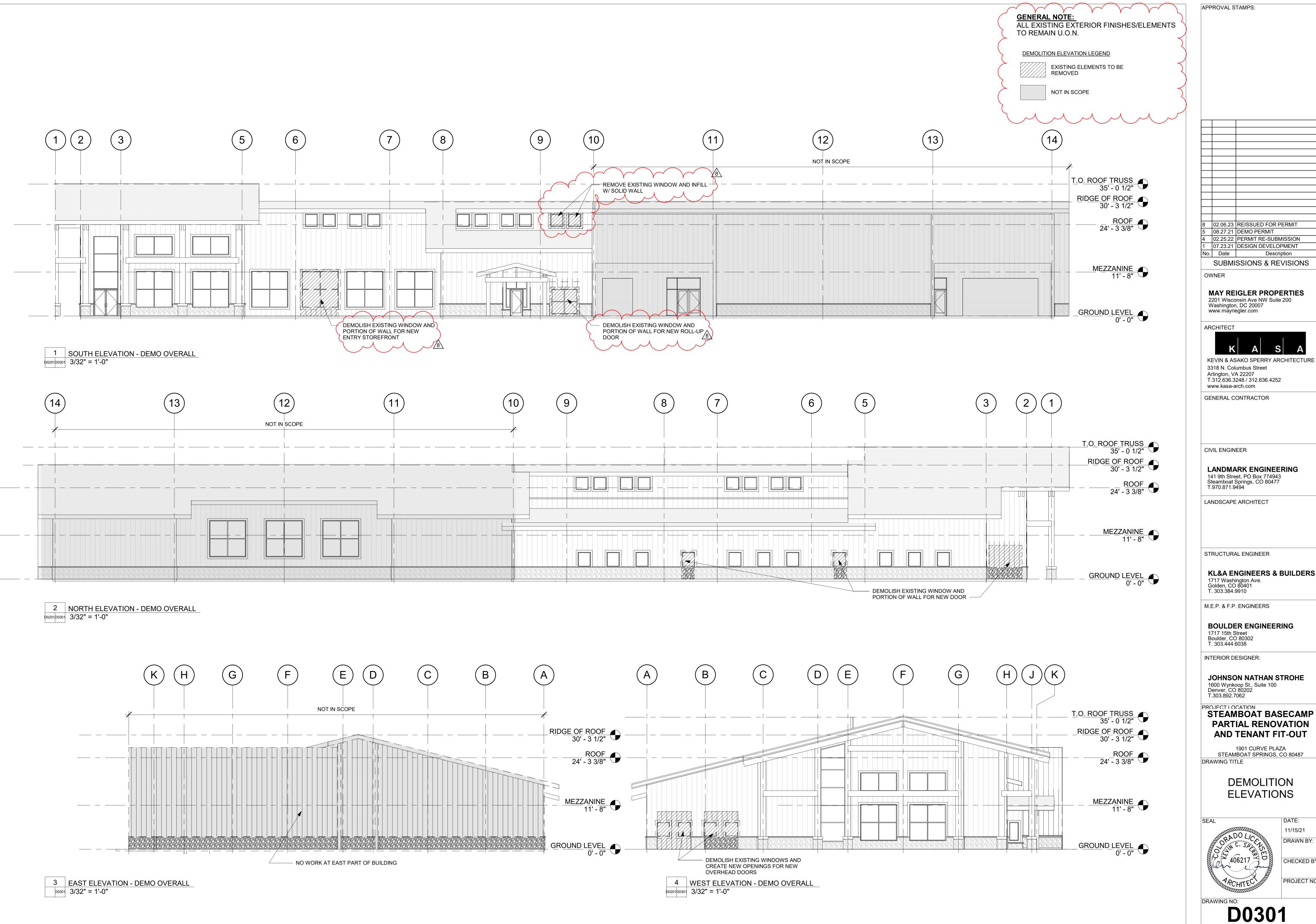
DRAWING TITLE

ROOF DEMOLITION PLAN



DATE: 11/15/21 DRAWN BY: CHECKED BY:

D0212



Description

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 **DEMOLITION ELEVATIONS** DATE: 11/15/21 DRAWN BY: CHECKED BY:

406217 PROJECT NO:

D0301

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8 02.06.23 REISSUED FOR PERMIT 5 08.27.21 DEMO PERMIT 1 07.23.21 DESIGN DEVELOPMENT

No. Date Description SUBMISSIONS & REVISIONS

OWNER

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ARCHITECT

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T.970.871.9494

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

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M.E.P. & F.P. ENGINEERS

BOULDER ENGINEERING 1717 15th Street Boulder, CO 80302 T. 303.444.6038

INTERIOR DESIGNER:

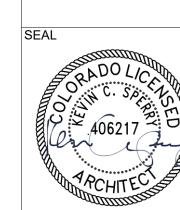
JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

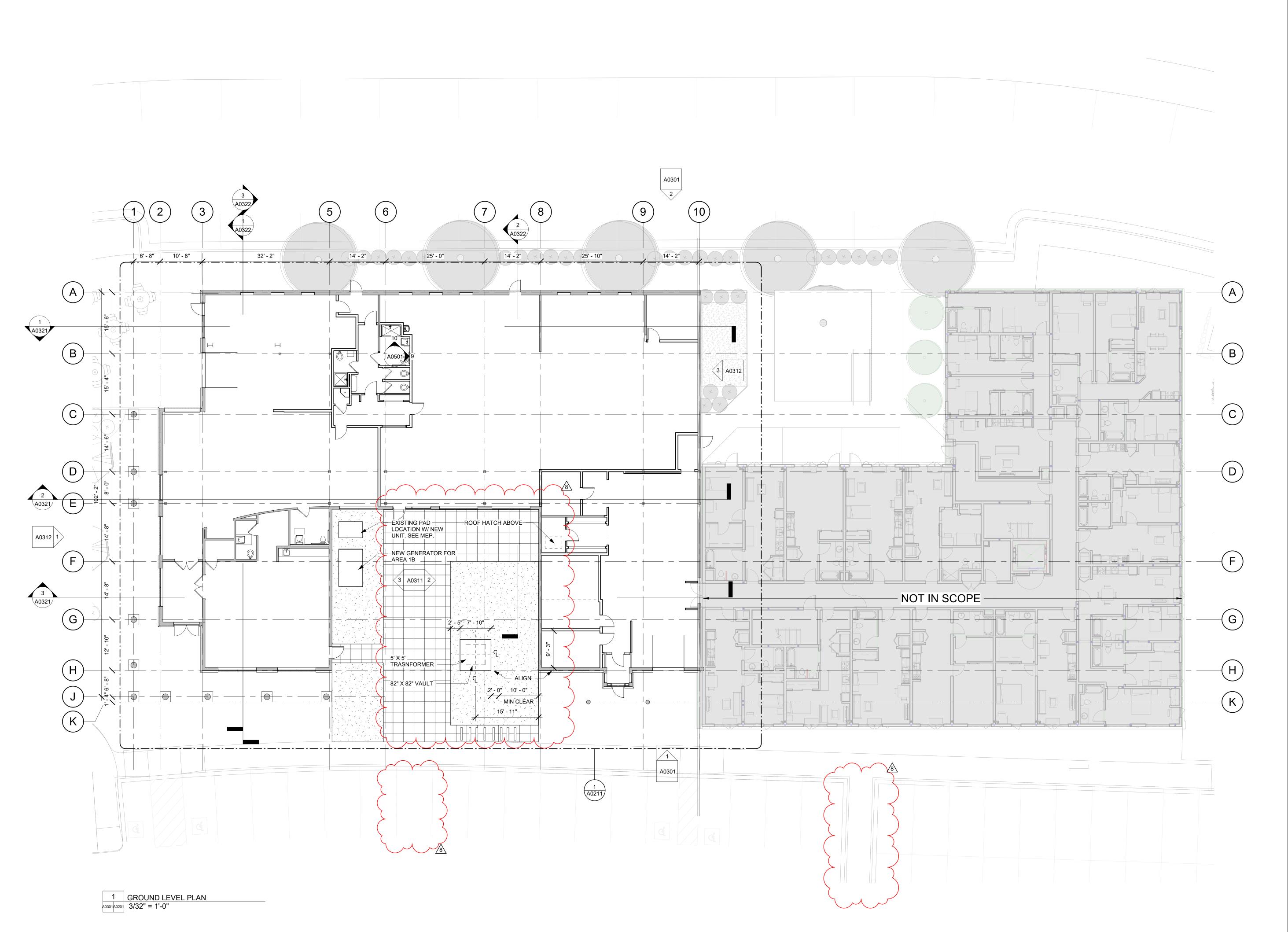
1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

SITE PLAN



DATE: 11/15/21 DRAWN BY: CHECKED BY:

PROJECT NO:



8 02.06.23 REISSUED FOR PERMIT

4 02.25.22 PERMIT RE-SUBMISSION
1 07.23.21 DESIGN DEVELOPMENT
No. Date Description

SUBMISSIONS & REVISIONS

OWNER

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www.mayriegler.com

ARCHITECT



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INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

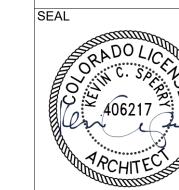
PROJECT LOCATION
STEAMBOAT BASECAMP
PARTIAL RENOVATION
AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

GROUND LEVEL PLAN

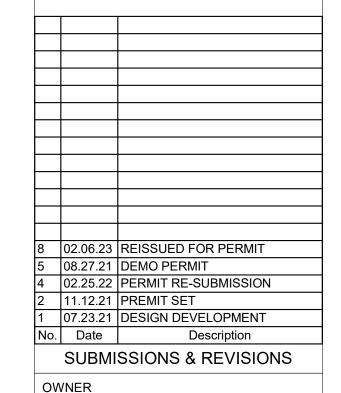
BIOWING THEE

SEAL



CHECKED BY:
PROJECT NO:

DATE: 11/15/21 DRAWN BY:



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ARCHITECT

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STRUCTURAL ENGINEER

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M.E.P. & F.P. ENGINEERS

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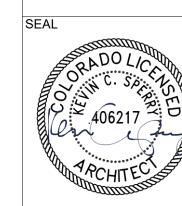
INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

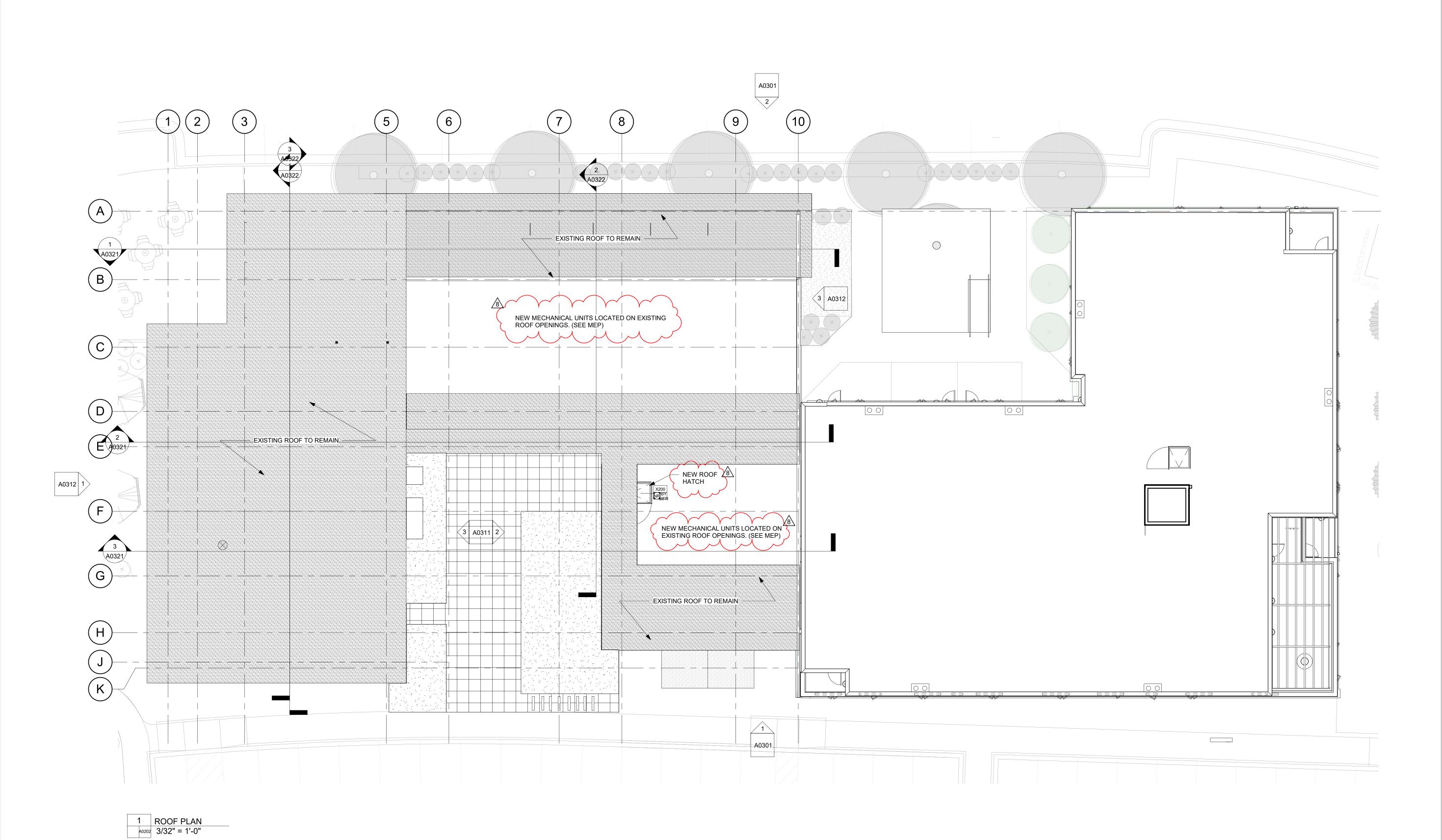
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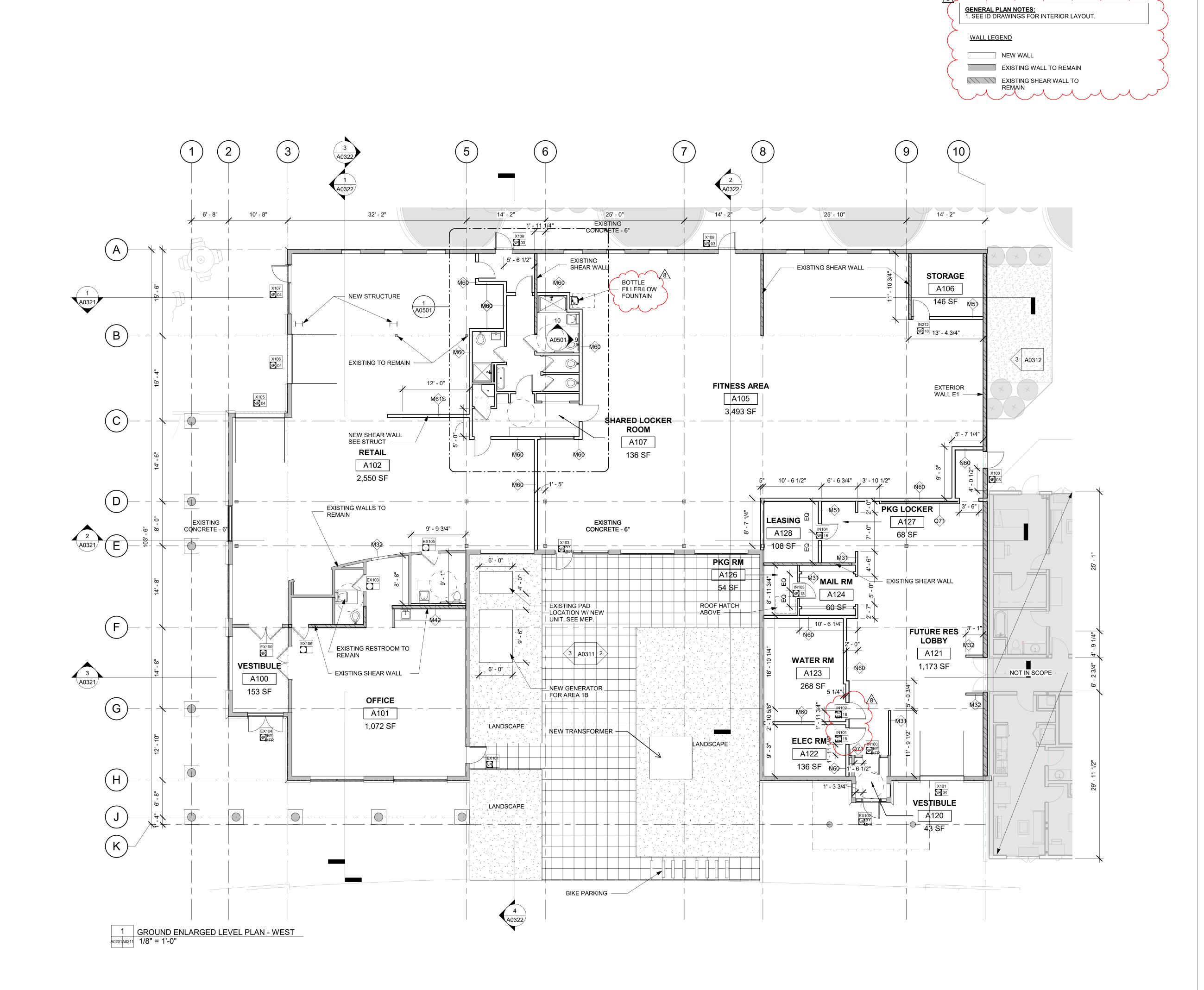
ROOF PLAN



11/15/21 DRAWN BY: CHECKED BY:

DATE:





8 02.06.23 REISSUED FOR PERMIT
6 11.16.22 REISSUED FOR PERMIT
4 02.25.22 PERMIT RE-SUBMISSION
3 12.20.21 PERMIT COOMENT RESP. #1

No. Date Description
SUBMISSIONS & REVISIONS

1 07.23.21 DESIGN DEVELOPMENT

OWNER

MAY REIGLER PROPERTIES
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Washington, DC 20007
www.mayriegler.com

ARCHITECT



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INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION
STEAMBOAT BASECAMP
PARTIAL RENOVATION

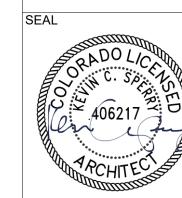
AND TENANT FIT-OUT

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

GROUND LEVEL

GROUND LEVEL ENLARGED PLAN -WEST



DRAWN BY:

CHECKED BY:

PROJECT NO:

DATE:

11/15/21

GENERAL NOTES:

1. ALL PAINT COLORS TO BE AS REQUESTED BY OWNER UNDER SEPARATE COVER.

1. ALL PAINT COLORS TO BE AS REQUESTED BY OWNER UNDER SEPARATE COVER. FOLLOW SUPPLIMENTAL DRAWINGS FROM EACH TENANT FOR ANY MATERIAL

WALL LEGEND

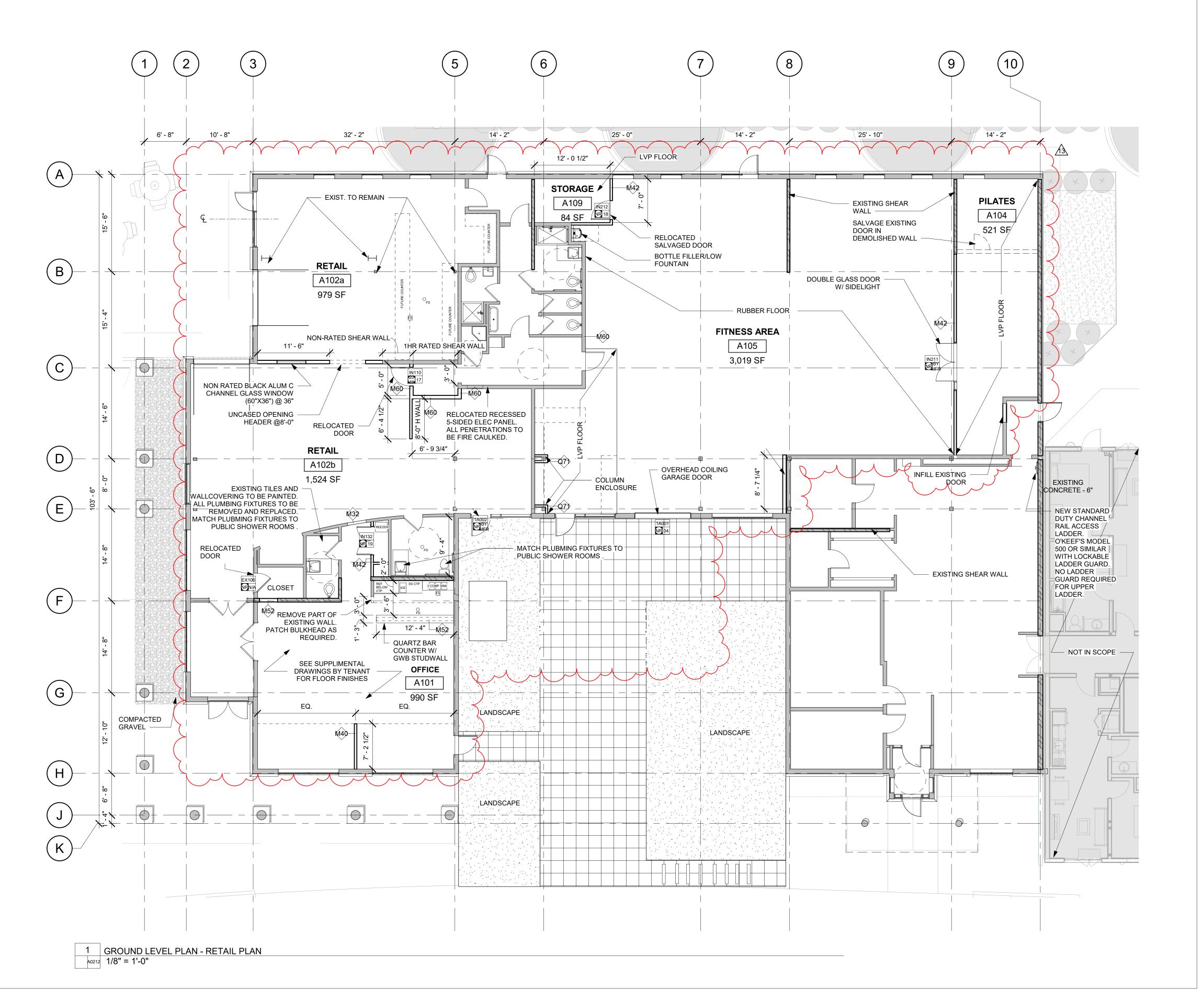
NEW WALL

EXISTING WALL TO REMAIN

EXISTING SHEAR WALL TO REMAIN

DISCREPANCIES.

						DOOR S	CHEDULE -	COMMERC	IAL SPACE1A		
Mark	Level	Door Type	Finish	Door Material	Width	Height	Thickness	Hardware Set	Fire Rating	Frame Material	Comments
1A001	GROUND LEVEL	G	PTD	AL	8' - 10"	12' - 0"	0' - 1 1/2"	04	NR	AL	ROLL UP DOOR, MATCH EXISTING
1A002	GROUND LEVEL	SF	PTD	AL	3' - 0"	7' - 2"	0' - 1 3/4"	BY MFR	NR	AL	STOREFRONT, MATCH EXISTING - ADD ALT
EX106	GROUND LEVEL	F	PTD	WD	3' - 0"	7' - 0"	0' - 1 3/4"	N/A	NR	WD	RELOCATED SALVAGED DOOR FROM ROOM A101
IN110	GROUND LEVEL	F	PTD	HM	3' - 0"	7' - 0"	0' - 1 3/4"	17	20 MIN	HM	RELOCATED SALVAGED DOOR FROM PERPENDICULAR WALL
IN132	GROUND LEVEL	DF	PTD	WD	4' - 6"	7' - 0"	0' - 1 3/4"	19	NR	WD	NEW DOUBLE CLOSET DOOR
IN211	GROUND LEVEL	DSF	PTD	AL	6' - 0"	6' - 8"	0' - 1 3/4"	BY MFR	NR	HM	DOUBLE GLASS DOOR W/ SIDE LIGHT
IN212	GROUND LEVEL	L	PTD	HM	3' - 0"	7' - 0"	0' - 1 3/4"	18	NR	НМ	RELOCATED SALVAGED DOOR FROM EXISTING OFFICE



APPROVAL STAMPS:

13 08.18.23 COMMERCIAL SPACE 1A

PERMIT REVISION 8 02.06.23 REISSUED FOR PERMIT 4 02.25.22 PERMIT RE-SUBMISSION 3 12.20.21 PERMIT COMMENT RESP. #1 Description No. Date

SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES 2201 Wisconsin Ave NW Suite 200 Washington, DC 20007 www.mayriegler.com

ARCHITECT



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STRUCTURAL ENGINEER

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M.E.P. & F.P. ENGINEERS

PROJECT LOCATION

BOULDER ENGINEERING 1717 15th Street Boulder, CO 80302 T. 303.444.6038

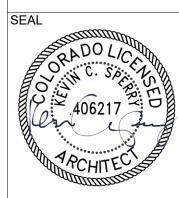
INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

GROUND LEVEL -RETAIL PLAN

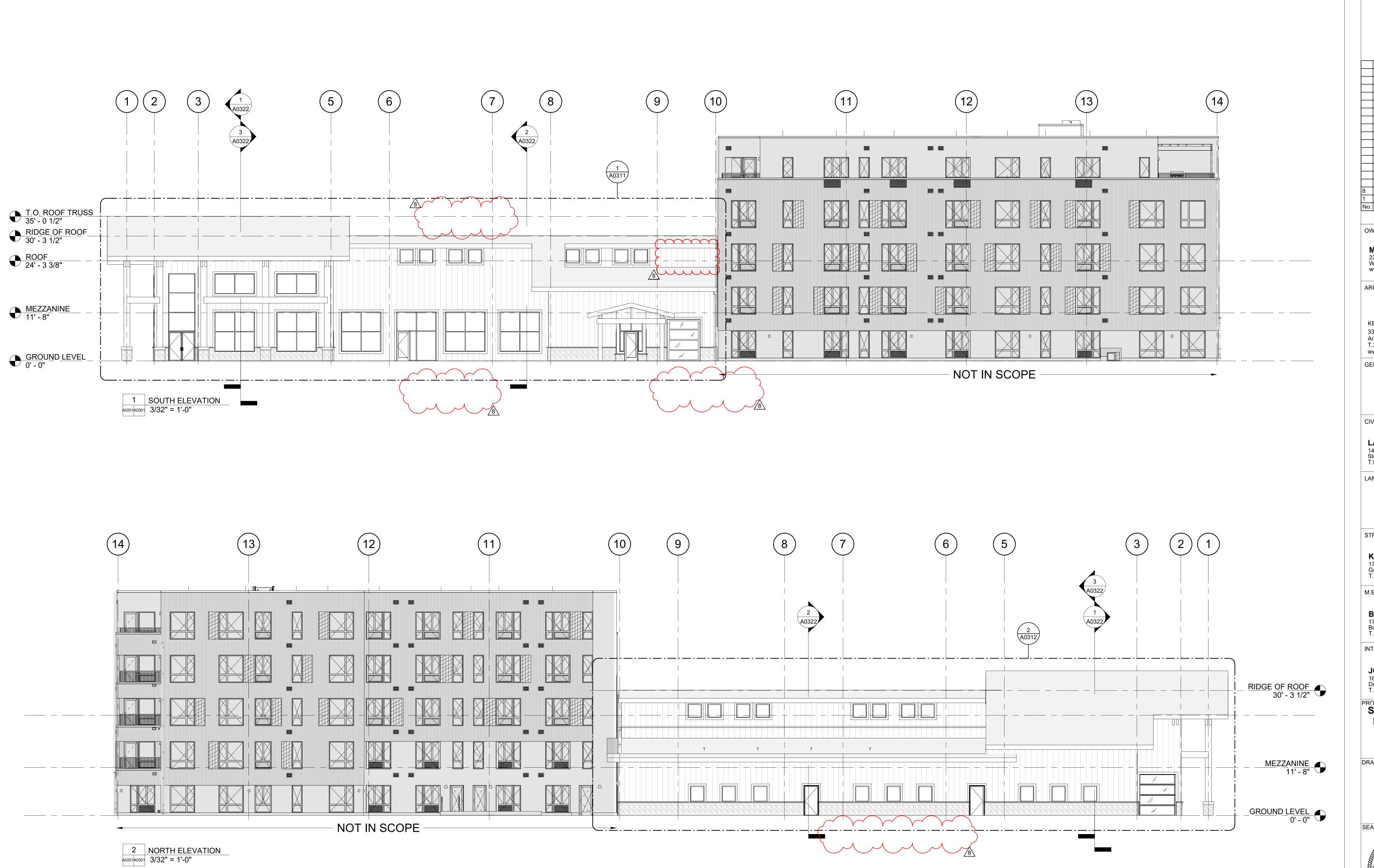


A0212

CHECKED BY:

PROJECT NO:

DATE: 07/25/23 DRAWN BY:



8 02.06.23 REISSUED FOR PERMIT
1 07.23.21 DESIGN DEVELOPMENT
No. Date Description

No. Date Description

SUBMISSIONS & REVISIONS

NAMED.

MAY REIGLER PROPERTIES
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ARCHITECT



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INTERIOR DESIGNER:

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PROJECT LOCATION
STEAMBOAT BASECAMP
PARTIAL RENOVATION
AND TENANT FIT-OUT

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

NORTH & SOUTH ELEVATIONS



A0301

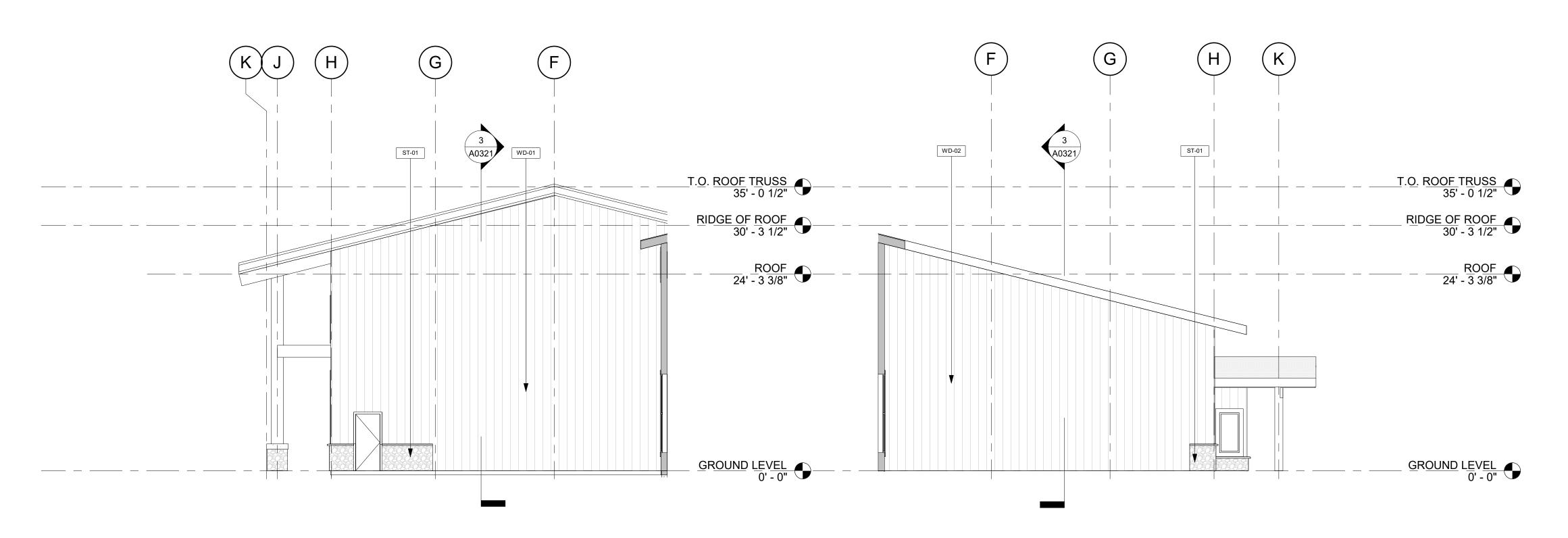
COPYRIGHT 2019

DATE: 11/15/21

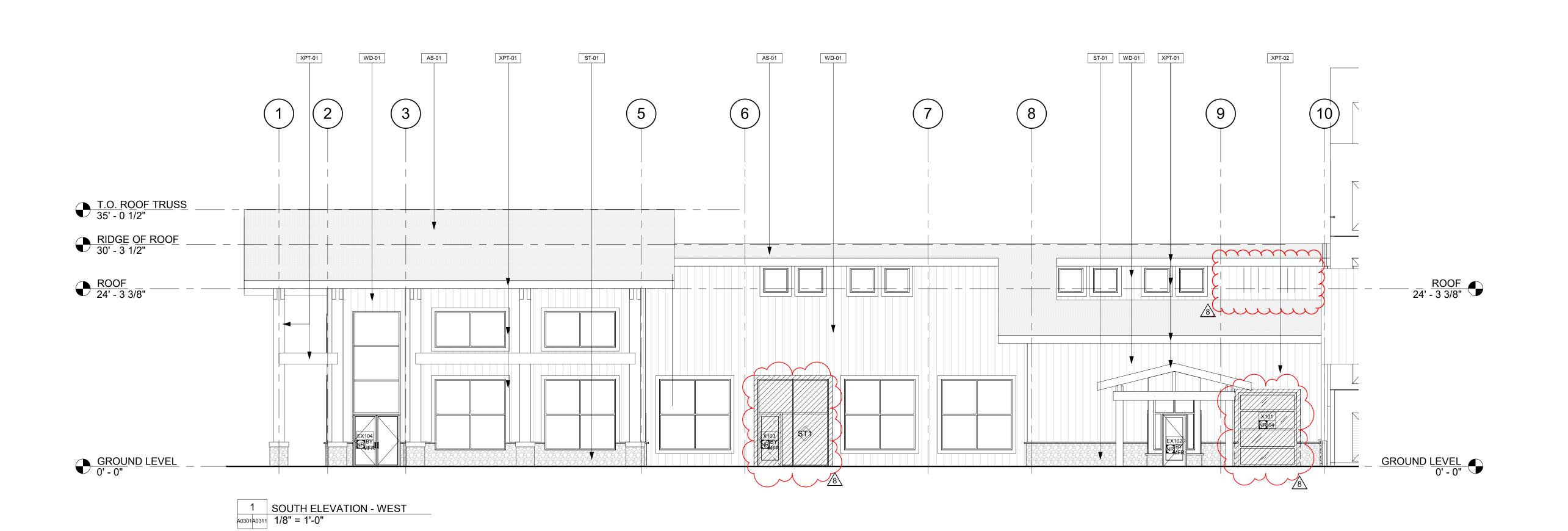
DRAWN BY:

CHECKED BY:





2 EAST COURTYARD ELEVATION A0201 A0311 1/8" = 1'-0"



3 WEST COURTYARD ELEVATION 40201 40311 1/8" = 1'-0"

APPROVAL STAMPS:

02.06.23 REISSUED FOR PERMIT 4 02.25.22 PERMIT RE-SUBMISSION 1 07.23.21 DESIGN DEVELOPMENT

Description No. Date SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES 2201 Wisconsin Ave NW Suite 200 Washington, DC 20007 www.mayriegler.com

ARCHITECT



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BOULDER ENGINEERING 1717 15th Street Boulder, CO 80302 T. 303.444.6038

INTERIOR DESIGNER:

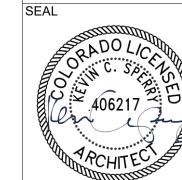
JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

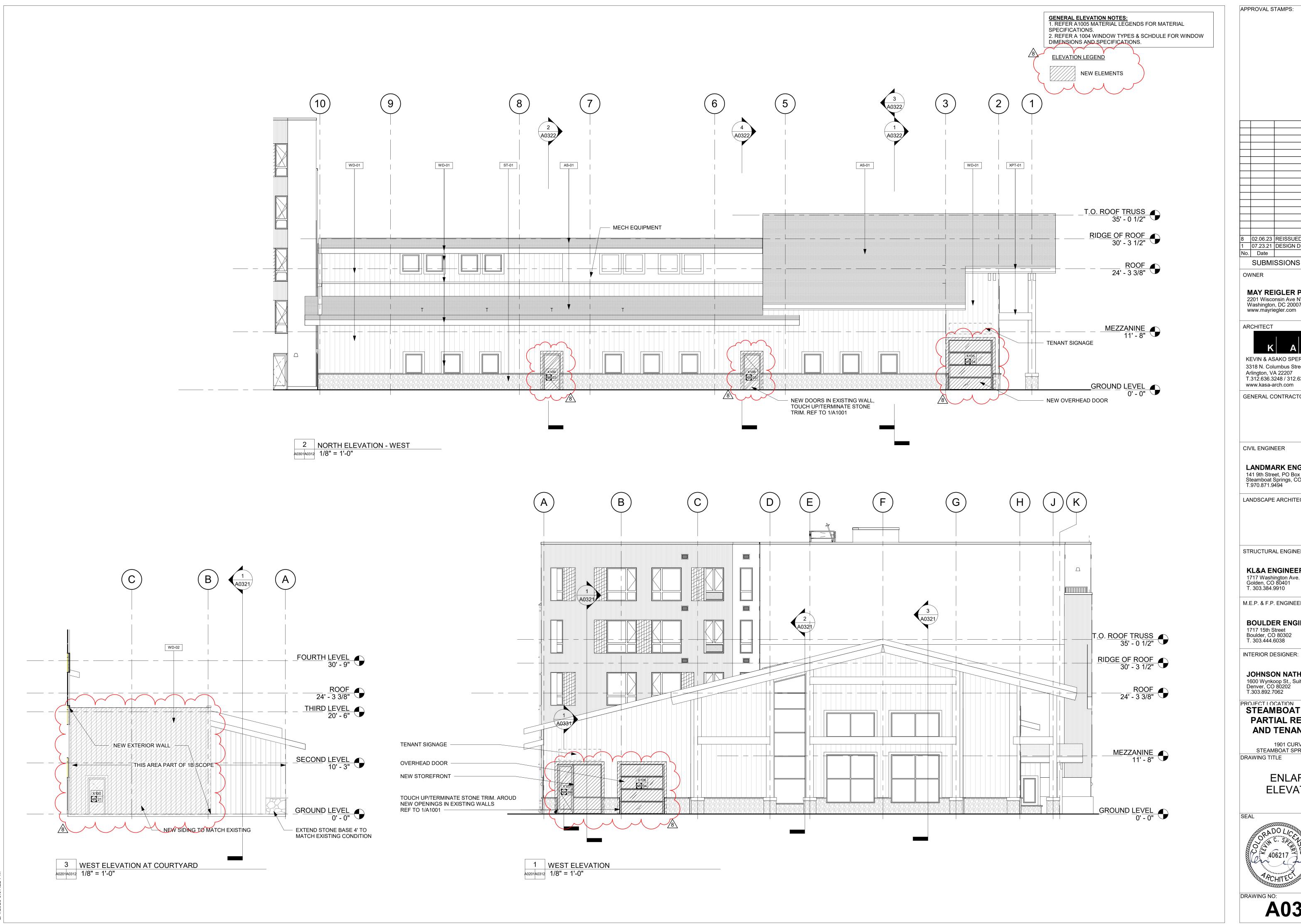
1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

> **ENLARGED ELEVATIONS**



DATE: 11/15/21 DRAWN BY: CHECKED BY:

A0311



8 02.06.23 REISSUED FOR PERMIT 1 07.23.21 DESIGN DEVELOPMENT No. Date Description

OWNER

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STRUCTURAL ENGINEER

KL&A ENGINEERS & BUILDERS 1717 Washington Ave. Golden, CO 80401 T. 303.384.9910

M.E.P. & F.P. ENGINEERS

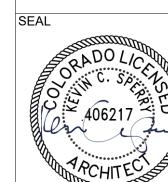
BOULDER ENGINEERING 1717 15th Street Boulder, CO 80302 T. 303.444.6038

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION

AND TENANT FIT-OUT 1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487

> **ENLARGED ELEVATIONS**



DATE: 11/15/21 DRAWN BY: CHECKED BY: PROJECT NO:



4 02.25.22 PERMIT RE-SUBMISSION 1 07.23.21 DESIGN DEVELOPMENT

No. Date Description SUBMISSIONS & REVISIONS

OWNER

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INTERIOR DESIGNER:

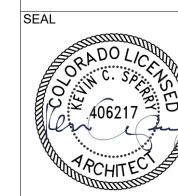
JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

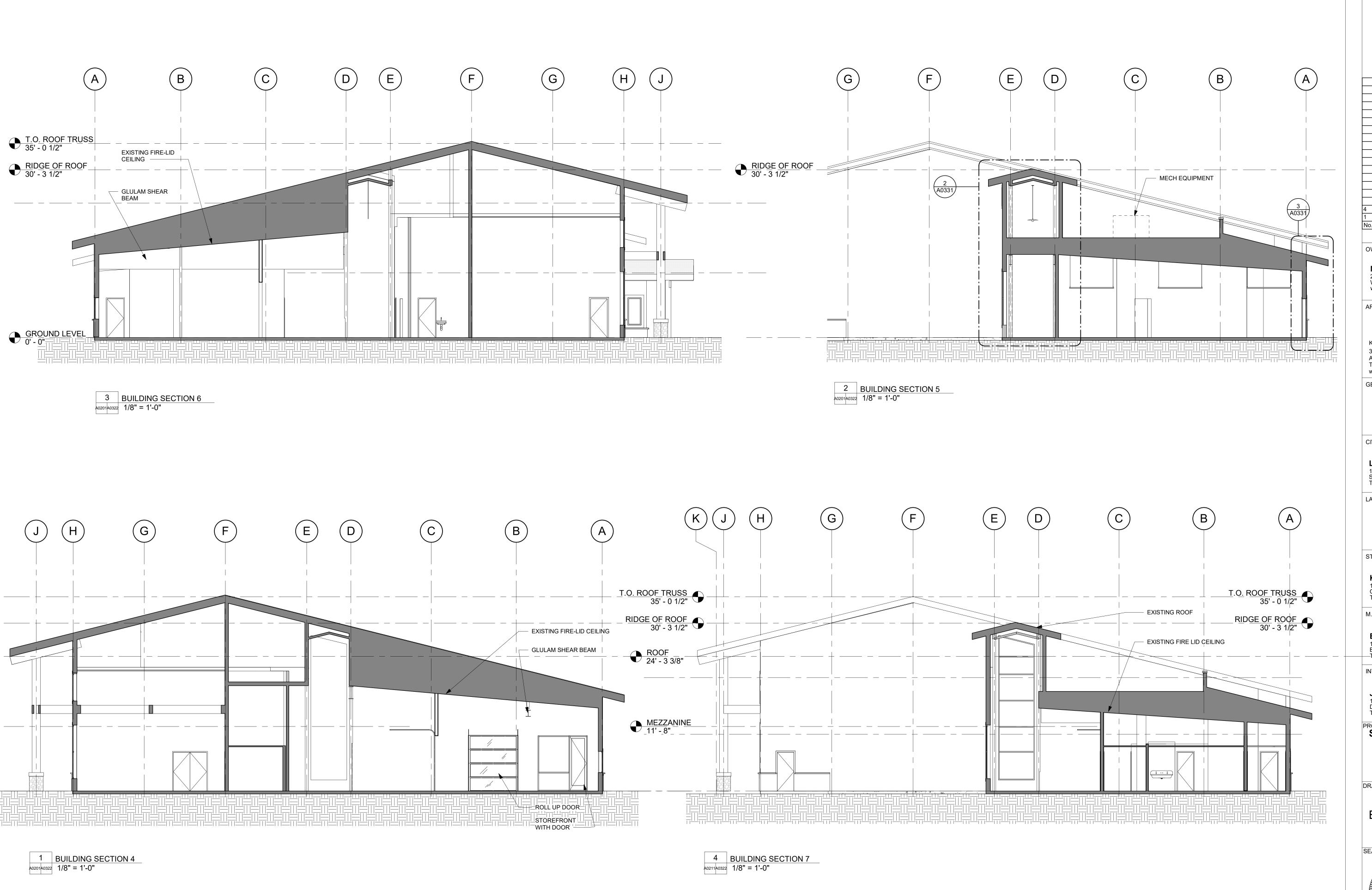
BUILDING SECTIONS



DATE: 11/15/21

DRAWN BY:

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4 02.25.22 PERMIT RE-SUBMISSION 1 07.23.21 DESIGN DEVELOPMENT No. Date

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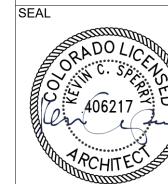
INTERIOR DESIGNER:

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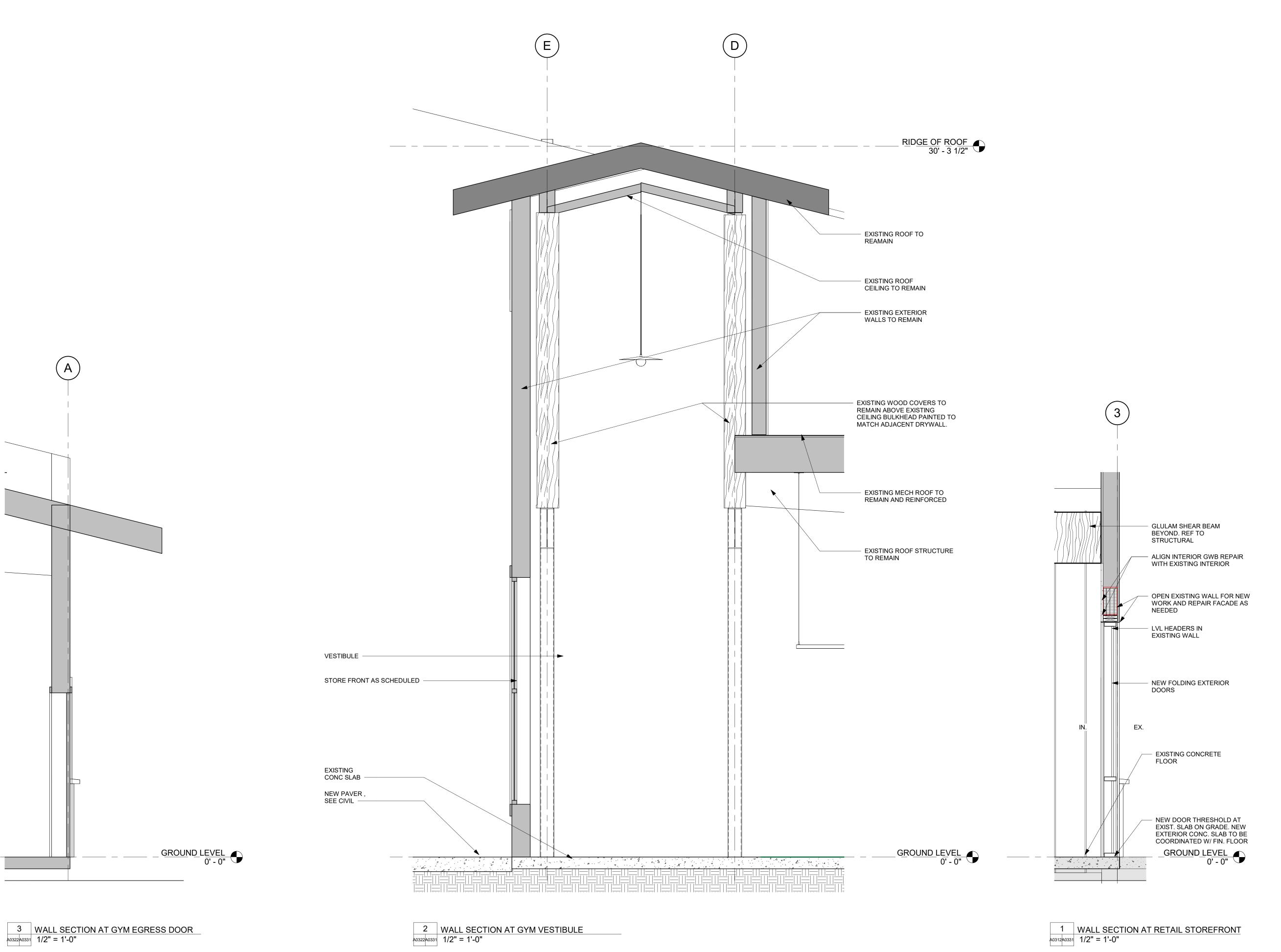
PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

BUILDING SECTIONS



DATE: 11/15/21 DRAWN BY: CHECKED BY: PROJECT NO:



1 07.23.21 DESIGN DEVELOPMENT
No. Date Description

SUBMISSIONS & REVISIONS

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INTERIOR DESIGNER:

PROJECT LOCATION

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STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

WALL SECTIONS

SEAL

ADO LICENSED

ADO LICENSED

ADO LICENSED

APCHITECT

APCHITECT

ADDITION

ADDITION

APCHITECT

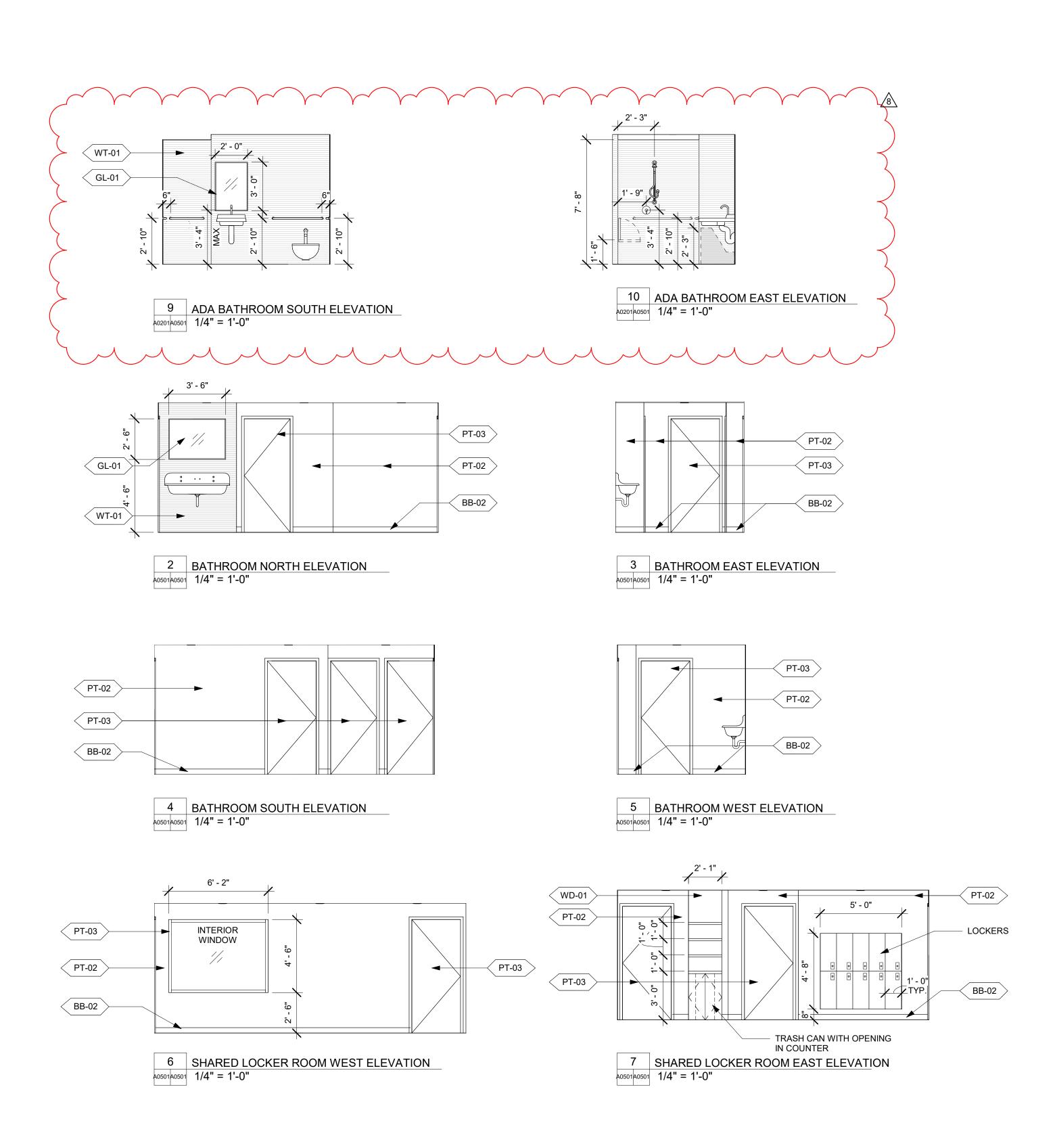
ADDITION

APCHITE

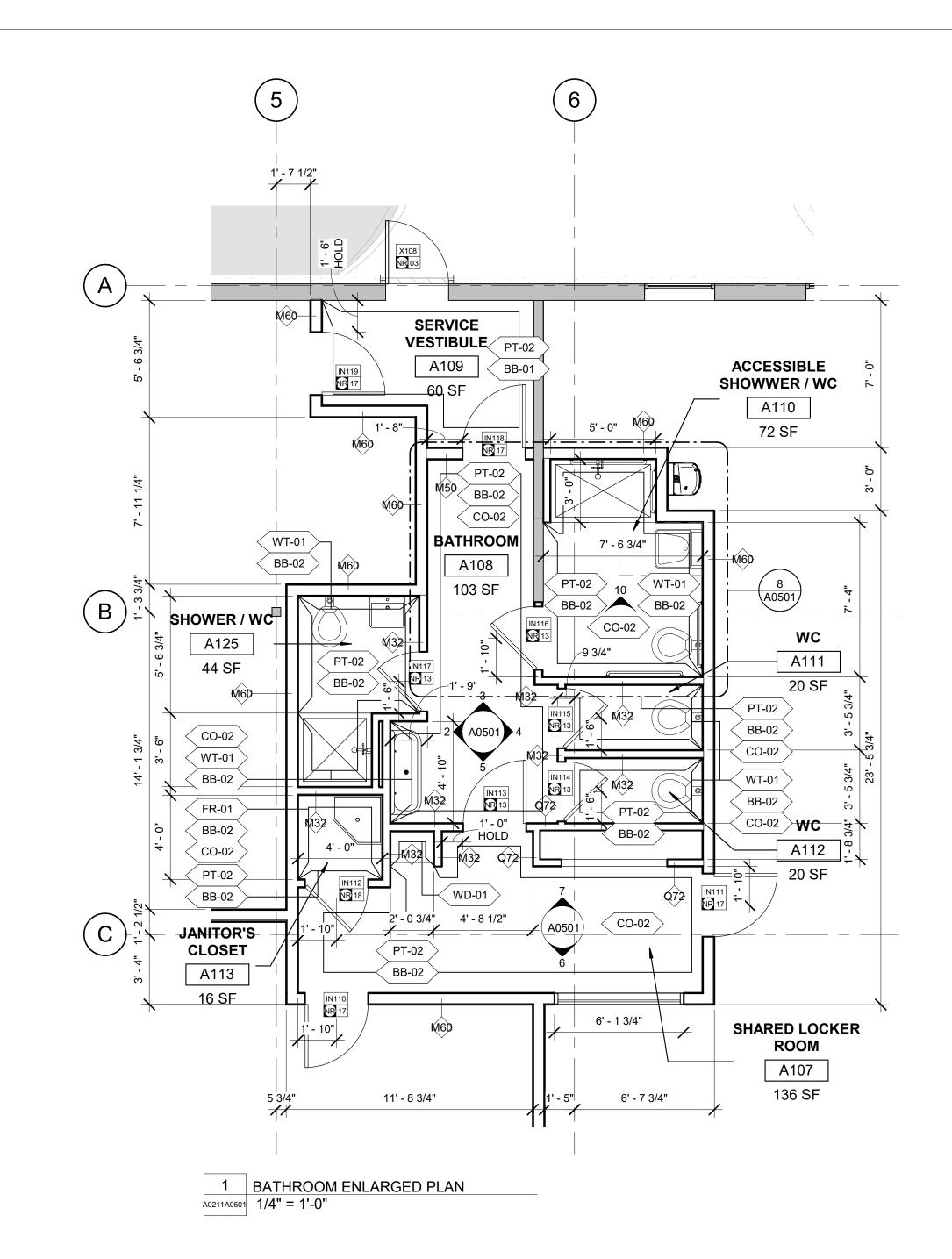
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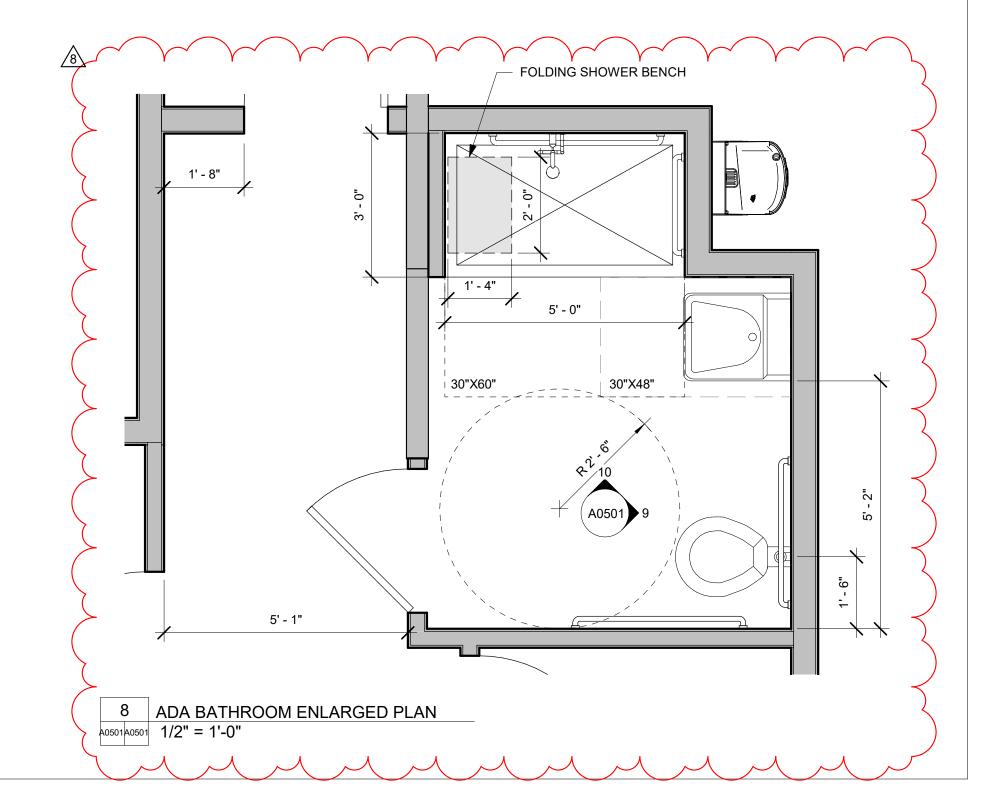
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PROJECT NO:

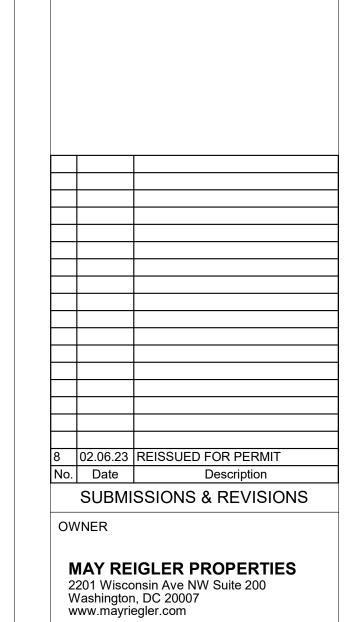
DATE: 11/15/21 DRAWN BY:



			INTERIOR FINIS	H LEGEND	
TAG	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	NOTES
BB-01	VINYL BASE	ROPPE	STANDARD 4"H VINYL WALL BASE	193 BLACK BROWN	
BB-01	CERAMIC TILE BASE	DALTILE	COLOR WHEEL COLLECTION CLASSIC	ARCTIC WHITE 01901 GLOSSY	4X4 BASE. GROUT MAPEI 47 CHARCOL OR EQ.
CO-01	POLISHED CONCRETE		GC DISCRETION	NATURAL	CLEAR SEALER
CO-02	UNFINISHED CONCRETE		GC DISCRETION	NATURAL	CLEAR SEALER
FR-01	FRP WALL	TBD	GC DISCRETION	WHITE	
GL-01	MIRROR GLAZING	GC DISCRETION	CUSTOM	BLACK	MTL FRAMED MIRROR
PT-01	CLG PAINT	SHERWIN WILLIAMS	GC DISCRETION	SW6258 TRICORN BLACK	FLAT
PT-02	WALL PAINT	SHERWIN WILLIAMS	GC DISCRETION	SW7005 PURE WHITE	EGGSHELL
PT-03	ACCENT PAINT	SHERWIN WILLIAMS	GC DISCRETION	SW7069 IRON ORE	EGGSHELL
WD-01	WOOD	GC DISCRETION	WHITE OAK	NATURAL	CLEAR SATIN VARNISH
WT-01	CERAMIC WALL TILE	DALTILE	COLOR WHEEL COLLECTION CLASSIC	ARCTIC WHITE 01901 GLOSSY	4X4 RUNNING BOND. GROUT: MAPEI 47 CHARCOL OR EQ.







K A S A

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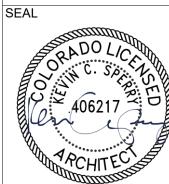
INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION
STEAMBOAT BASECAMP
PARTIAL RENOVATION
AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

ENLARGED BATHROOM PLANS AND ELEVATIONS

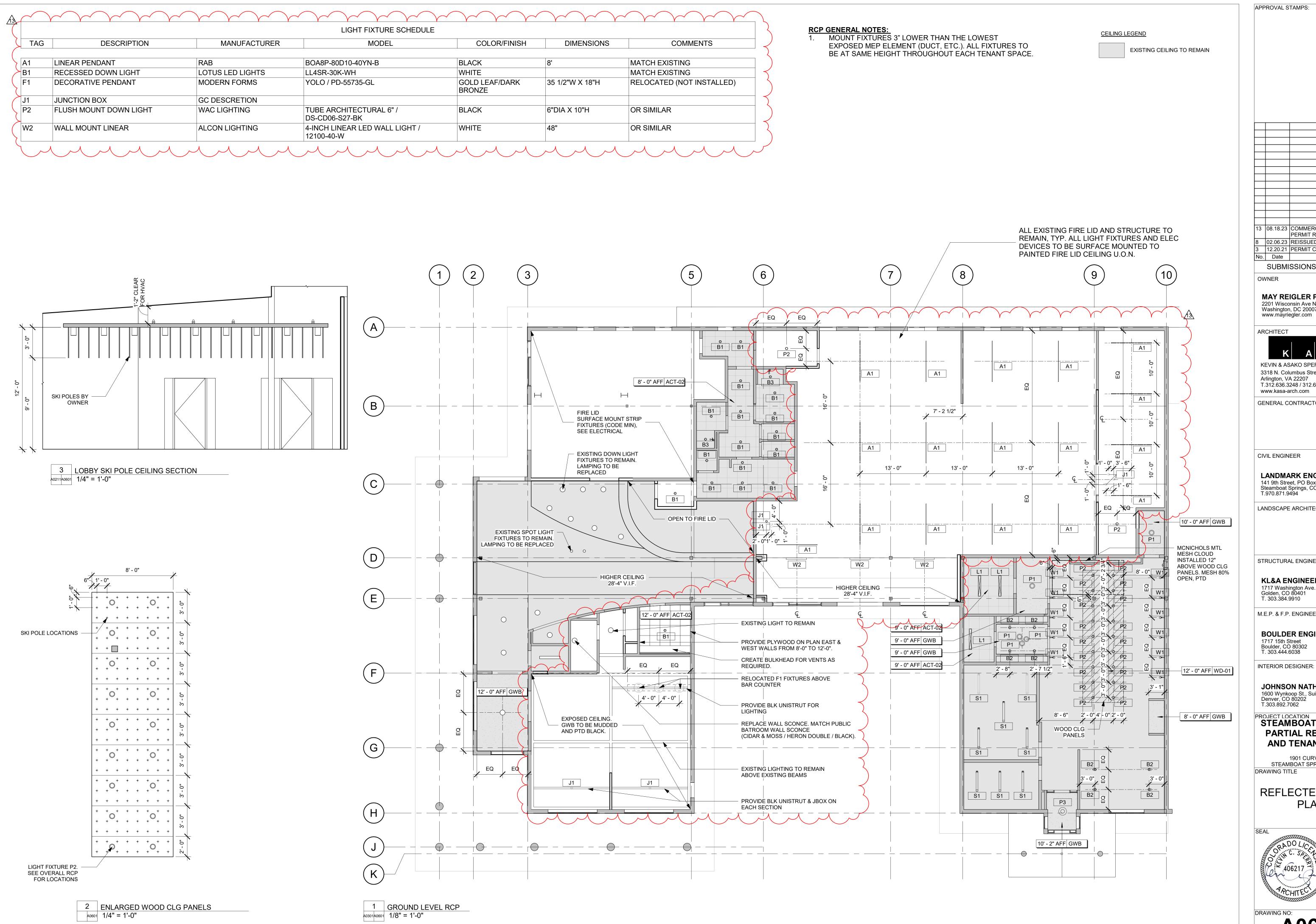


CHECKED BY:
PROJECT NO:

DATE: 10/16/22 DRAWN BY:

A0501

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13 08.18.23 COMMERCIAL SPACE 1A 8 02.06.23 REISSUED FOR PERMIT 3 12.20.21 PERMIT COMMENT RESP. #1

No. Date Description SUBMISSIONS & REVISIONS

OWNER

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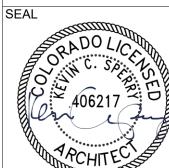
JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

REFLECTED CEILING

PLANS



DRAWN BY: CHECKED BY: PROJECT NO:

DATE: 11/15/21

	INTERIOR FINISH LEGEND											
TAG	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	NOTES							
BB-01	VINYL BASE	ROPPE	STANDARD 4"H VINYL WALL BASE	193 BLACK BROWN								
	CERAMIC TILE BASE	DALTILE	COLOR WHEEL COLLECTION CLASSIC	ARCTIC WHITE 01901 GLOSSY	4X4 BASE. GROUT MAPEI 47 CHARCOL OR EQ.							
CO-01	POLISHED CONCRETE		GC DISCRETION	NATURAL	CLEAR SEALER							
CO-02	UNFINISHED CONCRETE		GC DISCRETION	NATURAL	CLEAR SEALER							
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WD-01	WOOD	GC DISCRETION	WHITE OAK	NATURAL	CLEAR SATIN VARNISH							
WT-01	CERAMIC WALL TILE	DALTILE	COLOR WHEEL COLLECTION CLASSIC	ARCTIC WHITE 01901 GLOSSY	4X4 RUNNING BOND. GROUT: MAPEI 47 CHARCOL OR EQ.							



No. Date Description SUBMISSIONS & REVISIONS

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INTERIOR DESIGNER:

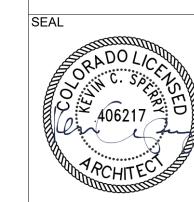
JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

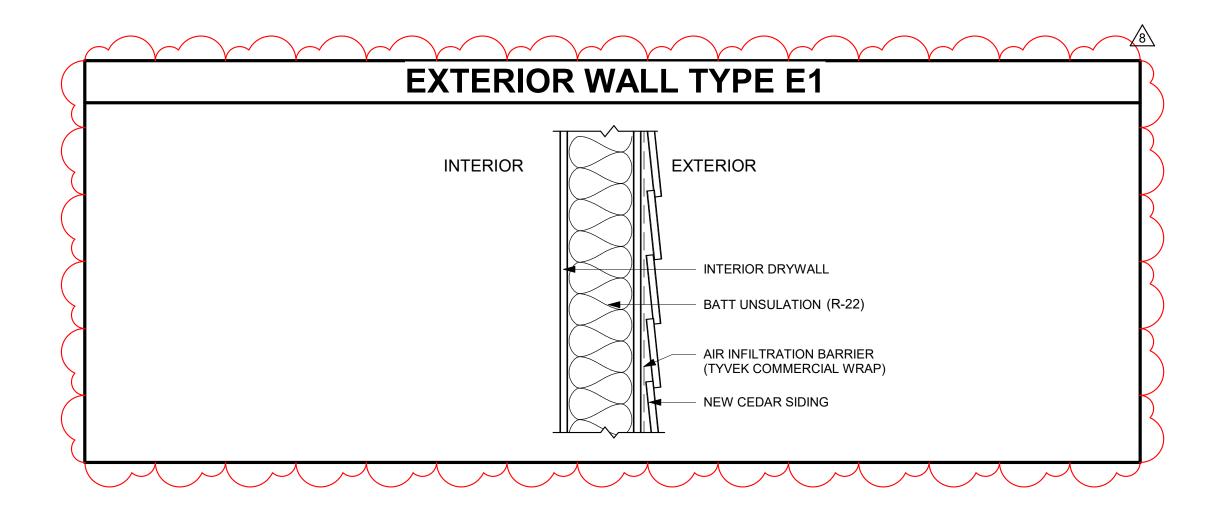
FINISH PLANS

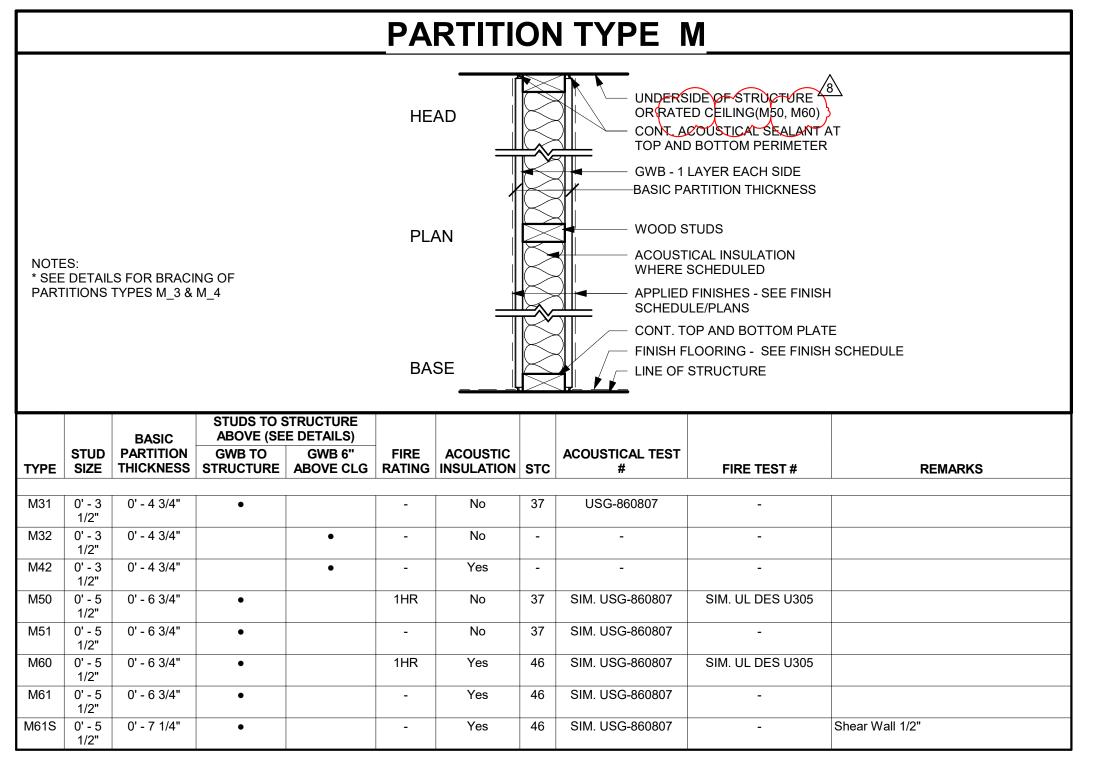


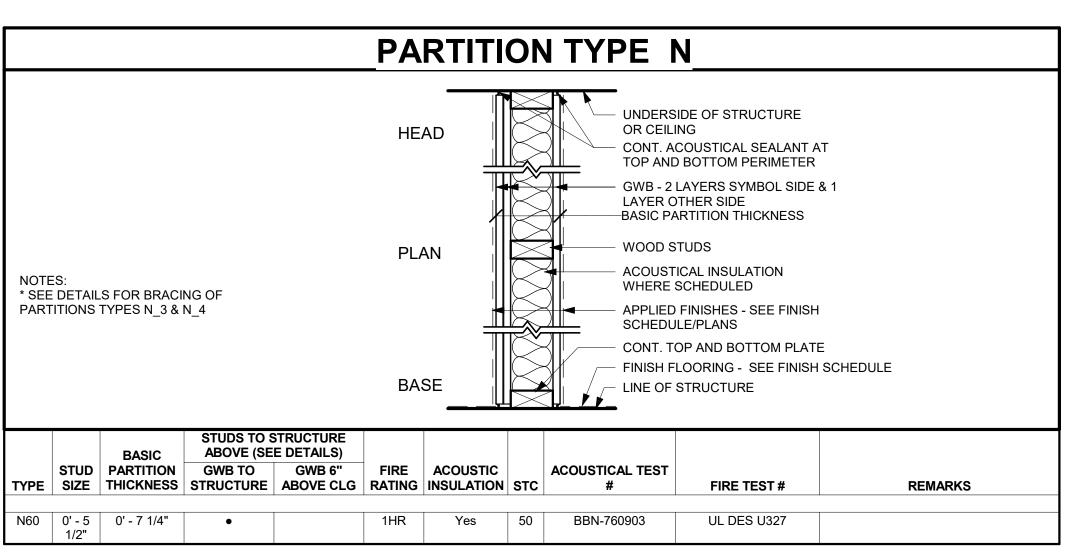
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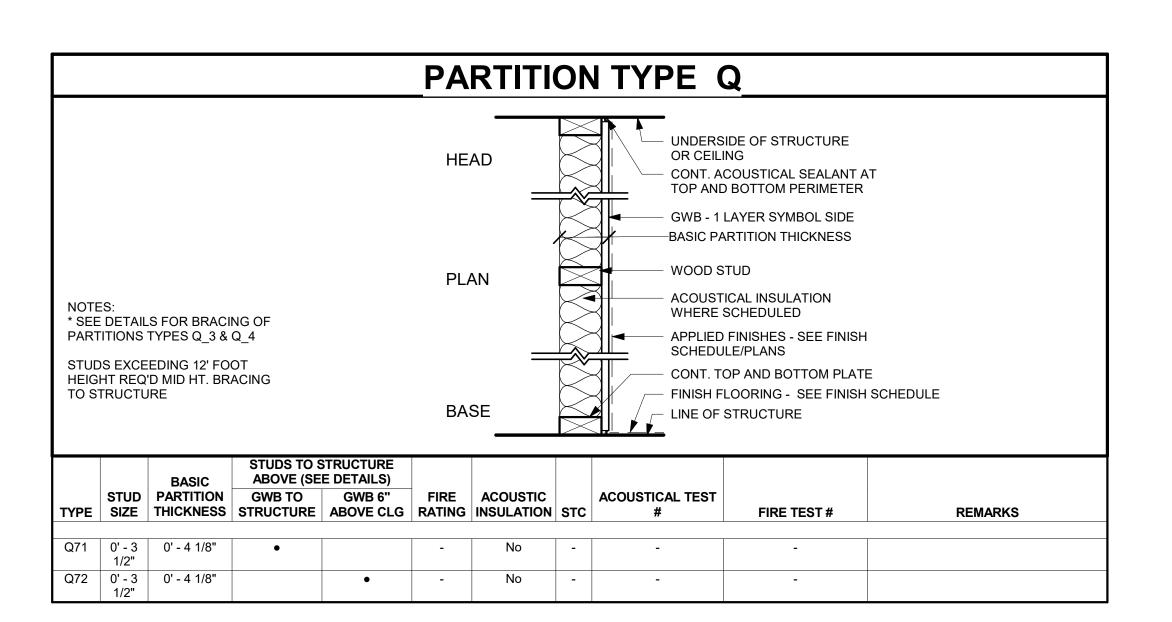
PROJECT NO:

DATE:









PARTITION GENERAL NOTES

A. REFERENCE ROOM FINISH SCHEDULE FOR BASES AND FINAL FINISHES NOT SHOWN ON PARTITION TYPES

- 2. FRAMING A. ALL BEARING PARTITIONS SHALL BE CONSTRUCTED PER STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- B. ALL NON-BEARING PARTITIONS SHALL BE CONSTRUCTED TO LIMIT DEFLECTION TO L/240 WITH UNIFORM 5 P.S.F. UNIFORM
- PROVIDE DOUBLE FRAMING AT ALL JAMBS OF FRAMES AND CASED OPENINGS.
- ISOLATE NON-BEARING FRAMING FROM STRUCTURAL ELEMENTS TO PREVENT THE TRANSFER OF LOADS TO PARTITION FRAMING.
- WHERE CONTROL JOINTS ARE REQUIRED BASED ON SPECIFIED FREQUENCY, AND ARE NOT SHOWN ON INTERIOR ELEVATIONS, LOCATE CONTROL JOINTS ON BOTH THE STRIKE AND SWING SIDE OF DOORS. WHEN PROVIDING CONTROL JOINTS AT DOORS DOES NOT MEET THE SPECIFIED FREQUENCY, PROVIDE DOUBLE STUD CONTROL JOINT CONSTRUCTION AND VERIFY LOCATION WITH THE ARCHITECT.
- SCREW ATTACHMENT OF STUDS TO RUNNER TRACKS TO OCCUR ON BOTH SIDES.
- PROVIDE ADEQUATE SHEET METAL OR STEEL BACKING FOR ALL WALL MOUNTED ARCHITECTURAL WOODWORK, FINISH CARPENTRY, TOILET PARTITIONS AND ACCESSORIES, RAILINGS AND SIMILAR MOUNTED ITEMS.
- ALL FRAMING SHALL COORDINATE WITH ALL BUILDING TRADES INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION.

3. GYPSUM BOARD

- ITEMS SHOWN OR SCHEDULED TO BE SEMI OR FULLY RECESSED SHALL BE INSTALLED FLUSH WITH THE FINISH FACE OF PARTITIONS UNLESS NOTED OTHERWISE. PARTITION DEPTH OR TYPE SHALL BE ADJUSTED TO ACCOMMODATE THE DEPTH OF RECESSED ITEM OR AS DIRECTED BY THE ARCHITECT.
- PROVIDE CEMENTITIOUS BACKER BOARD AT ALL SHOWER LOCATIONS AND WATER-RESISTANT BACKER BOARD AT ALL OTHER LAVATORY AND TOILET LOCATIONS.

4. FIRE RATED PARTITIONS

- PROVIDE PERMANENTLY STENCILED IDENTIFICATION ABOVE THE CEILING AT 4'-0" O.C. ON ALL CORRIDOR PARTITIONS, SMOKE PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES, AND FIRE RATED WALLS. THE IDENTIFICATION SHALL BE A MINIMUM OF 4" HIGH AND READ AS FOLLOWS: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS".
- RATED PARTITIONS ARE TO BE CONTSTRUCTED BEFORE NON-RATED PARTITIONS. ABUTT NON-RATED PARTITIONS TO RATED PARTITIONS.
- ALL FIRE-RESISTANCE RATED PARTITIONS SHALL BE CONSTRUCTED FROM TOP OF NON-FINISHED FLOOR CONSTRUCTION TO BOTTOM OF FLOOR CONSTRUCTION
- FIRE RATED HEAD CONDITONS AND THROUGH PENETRATIONS, WHETHER A SUB-PART OF THE REFERENCED RATED ASSEMBLY, OR AS SHOWN IN DETAIL REPRESENT TYPICAL HEAD-OF-WALL CONDITIONS. ATYPICAL CONDITIONS DISCOVERED DURING REQUIRED TRADE COORDINATION ARE REQUIRED TO MAINTAIN THE INTEGRITY OF THE FIRE-RESISTANCE RATING NOTED ON THE FLOOR PLANS. PROVIDE AND INDUSTRY RECOGNIZED FIRE RESISTANCE TEST OR LETTER OF ENGINEERING JUDGMENT, FOR ALL ATYPICAL CONDITIONS FOR REVIEW PRIOR TO CONSTRUCTION.
- ALL THROUGH PENETRATIONS IN FIRE-RESISTANCE RATED PARTITIONS SHALL BE SEALED WITH MATERIALS AND ASSEMBLIES NECESSARY TO MAINTAIN THE REQUIRED FIRE-RESISTANCE RATING OF THE PARTITION.

5. SOUND RESISTANCE RATING

- A. ALL PARTITIONS NOTED TO BE SOUND RESISTANCE RATED (SA), SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE REFERENCED TEST.
- GYPSUM BOARD PARTITIONS SHALL BE CONSTRUCTED WITH SOUND ATTENUATED INSULATION AS SCHEDULED. INSULATION SHALL BE CONTINUOUS AND WITHOUT INTERRUPTION.
- ALL THROUGH PENETRATIONS IN SOUND RESISTANCE RATED PARTITIONS SHALL BE SEALED WITH ACOUSTICAL SEALANT TO MAINTAIN REFERENCED SOUND RESISTANCE RATING.
 - THROUGH PENETRATIONS IN ALL PARTITIONS NOTED TO BE SOUND RESISTANCE RATED AND FIRE RESISTANCE RATED ARE REQUIRED TO BE SEALED WITH MATERIALS CAPABLE OF MEETING BOTH SOUND AND FIRE RESISTANCE RATINGS.

APPROVAL STAMPS:

8 02.06.23 REISSUED FOR PERMIT No. Date Description

SUBMISSIONS & REVISIONS OWNER

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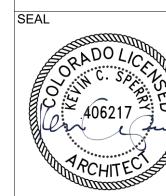
T. 303.444.6038 INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

> **PARTITION** SCHEDULES



11/15/21 DRAWN BY: CHECKED BY:

DATE:

A1000

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		DOOR HARDWARE SCHEDU	JLE	
QTY	ITEM	MODEL	FINISH	MFR
#01				
6 EA	HINGES BY SF MFR	PRE-HUNG DOOR & FRAME		
1 EA	RIM CYLINDER			
2 EA	PANIC HARDWARE			
2 EA	90 DEG OFFSET PULL			
2 EA	ОН ЅТОР			
2 EA	SURFACE CLOSER			
2 EA	MOUNTING PLATE			
2 EA	DOOR SWEEP			
1 EA	THRESHOLD			
1 EA	FLUSH BOLT SET			
	WEATHER SEAL BY			
	ALUMINIUM DOOR			
#02				
3 EA	HINGES BY SF MFR	PRE-HUNG DOOR & FRAME		
1 EA	RIM CYLINDER			
1 EA	PANIC HARDWARE			
1 EA	90 DEG OFFSET PULL			
1 EA	ОН ЅТОР			
1 EA	SURFACE CLOSER			
1 EA	MOUNTING PLATE			
1 EA	DOOR SWEEP			
1 EA	THRESHOLD			
	WEATHER SEAL BY			
	ALUMINIUM DOOR			
#03				
3 EA	HINGE			
	PANIC HARDWARE W/ KEY			
1 EA	LOCK LEVER			
1 EA	DOOR STOP			
1 EA	SURFACE CLOSER			
1 EA	MOUNTING PLATE			
1 EA	DOOR SWEEP			
1 EA	THRESHOLD			
#04				
		ALL HARDWARE BY MFR		
#11				
6 EA	HINGES BY SF MFR	PRE-HUNG DOOR & FRAME		
2 EA	PANIC HARDWARE			
2 EA	90 DEG OFFSET PULL			
2 EA	OH STOP			
2 EA	SURFACE CLOSER			
2 EA	MOUNTING PLATE			
2 EA	DOOR SWEEP			
1 EA	THRESHOLD			
1 EA	FLUSH BOLT SET			
#12				
3 EA	HINGE			
1 EA	OFFICE LOCK			
1 EA	DOOR STOP			
#13				
3 EA	HINGE			
1 EA	PRIVACY LOCK			
1 EA	DOOR STOP			
#14				
2 EA	DOUBLE ACTING HINGE			
#15				
1 EA	SLIDING BYPASS HARDWARE			
2 EA	SLIDING DOOR HANDLE			
#16				
3 EA	HINGE			
1 EA	PASSAGE LATCH			
1 EA	DOOR STOP			
#17				
3 EA	HINGES BY SF MFR	PRE-HUNG DOOR & FRAME		
1 EA	RIM CYLINDER			
1 EA	PANIC HARDWARE			
1 EA	90 DEG OFFSET PULL			
1 EA	OH STOP			
1 EA	SURFACE CLOSER			
1 EA	MOUNTING PLATE			
1 EA	DOOR SWEEP			
1 EA	THRESHOLD			
#18				
3 EA	HINGE			
1 EA	STOREROOM LOCK			
1 EA	DOOR STOP			
#19				
6 EA	HINGE			
2 EA	BALL LATCH			
2 EA	DUMMY SET			
2 EA	DOOR STOP			
-		·		

	- WOOD TRIM TO MATCH EXISTING
	REPLACE OR REPAIR SIDING TO MATCH EXISTING AROUND NEW DOOR
	- EXISTING STONE BASE, REPAIR AS NEEDED AFTER DEMO FOR NEW DOOR
	- STONE TRIM TO MATCH EXISTING AND OPENING EDGE

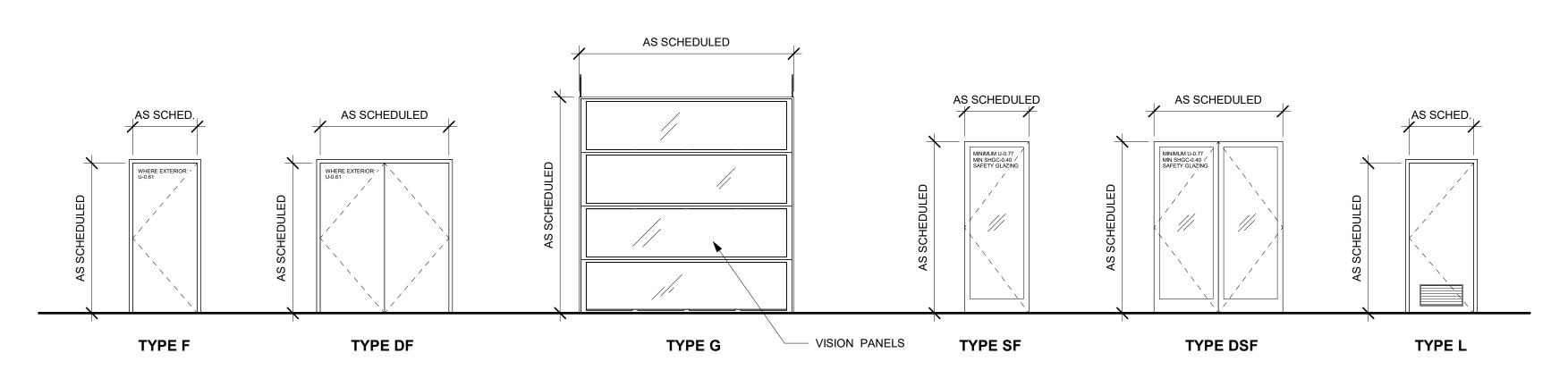
TYPICAL ENLARGED ELEVATION AT NEW EXTERIOR DOOR IN EXISTING WALL

| A1001 | 1/2" = 1'-0"

NOTE: EX DOOORS ARE EXISTING TO REMAIN, NOT SCHEDULED HERE

							I	INTERIOR DO	OOR SCHED	ULE						
		Loc	ation					Door				Frame				
Door #	Level	From Room: Number	To Room: Number	Door Type	Material	Finish	Width	Height	Thickness	Hardware Set	Fire Rating	Material	Head	Jamb	Sill	Comments
IN100	GROUND LEVEL	A120	A121 🛕	QF.	AL	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	BY MFR	NR /8	AL				
	GROUND LEVEL	A122	A121 /8	SF F	HM		3' - 0"	7' - 0"	0' - 1 3/4"	17	45 MIN	HM				
	GROUND LEVEL	A123			HM		3' - 0"	7' - 0"	0' - 1 3/4"	17	45 MIN	HM				
	GROUND LEVEL	A126	A124	SF	НМ		3' - 0"	7' - 0"	0' - 1 3/4"	18 🔼	NR	НМ				SALVAGED DOOR
N104	GROUND LEVEL	A127	A128	F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	16	NR	НМ				
N110	GROUND LEVEL	A102	A107	F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	17	NR	НМ				
N111	GROUND LEVEL	A105	A107	F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	17	NR	НМ				
N112	GROUND LEVEL	A113	A107	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	18	NR	НМ				
N113	GROUND LEVEL	A107	A108	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	13	NR	HM				BATHROOM STALL
N114	GROUND LEVEL	A108	A112	F	HM	PTD	2' - 10"	7' - 0"	0' - 1 3/4"	13	NR	НМ				BATHROOM STALL
N115	GROUND LEVEL	A108	A111	F	HM	PTD	2' - 10"	7' - 0"	0' - 1 3/4"	13	NR	HM				BATHROOM STALL
N116	GROUND LEVEL	A108	A110	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	13	NR	НМ				
N117	GROUND LEVEL	A125	A108	F	HM	PTD	2' - 10"	7' - 0"	0' - 1 3/4"	13	NR	НМ				
V118	GROUND LEVEL	A108	A109	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	17	NR	HM				
V119	GROUND LEVEL	A102	A109	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	17	NR	НМ				
N212	GROUND LEVEL	A105	A106	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	18	NR	НМ				SALVAGED DOOR

							E	XTERIOR D	OOR SCHED	ULE						
		Loc	cation		Door							Frame				
Door #	Level	From Room: Number	To Room: Number	Door Type	Material	Finish	Width	Height	Thickness	Hardware Set	Fire Rating	Material	Head	Jamb	Sill	Comments
X100	GROUND LEVEL	A121		F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	03	NR	НМ	H1	J1	S1	
X101	GROUND LEVEL		A121	G	AL	PTD	7' - 10"	9' - 0"	0' - 1 1/2"	04	NR	AL	H2	J2	S2	ROLL UP DOOR
X103	GROUND LEVEL	A105		SF	AL	PTD	3' - 0"	7' - 2"	0' - 1 3/4"	BY MFR	NR	AL	H3	J3	S3	STOREFRONT
X105	GROUND LEVEL		A102	G	AL	PTD	8' - 10"	10' - 0"	0' - 1 1/2"	04	NR	AL	H2	J2	S2	ROLL UP DOOR
X106	GROUND LEVEL	A102		G	AL	PTD	8' - 10"	10' - 0"	0' - 1 1/2"	04	NR	AL	H2	J2	S2	ROLL UP DOOR
X107	GROUND LEVEL	A102		SF	AL	PTD	3' - 0"	9' - 8"	0' - 1 3/4"	04	NR	AL	H3	J3	S3	STOREFRONT
X108	GROUND LEVEL		A109	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	03	NR	НМ	H1	J1	S1	
X109	GROUND LEVEL		A105	F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	03	NR	НМ	H1	J1	S1	
X200	SECOND LEVEL					N/A	4' - 0"	1' - 0"		BY MFR	NR					4'X4' ROOF HATCH



DOOR ELEVATION LEGEND 1/4" = 1'-0"

APPROVAL STAMPS:

No. Date Description SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES
2201 Wisconsin Ave NW Suite 200
Washington, DC 20007
www.mayriegler.com

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE 3318 N. Columbus Street Arlington, VA 22207 T.312.636.3248 / 312.636.4252 www.kasa-arch.com

GENERAL CONTRACTOR

CIVIL ENGINEER

LANDMARK ENGINEERING 141 9th Street, PO Box 774943 Steamboat Springs, CO 80477 T.970.871.9494

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

KL&A ENGINEERS & BUILDERS 1717 Washington Ave. Golden, CO 80401 T. 303.384.9910

M.E.P. & F.P. ENGINEERS

BOULDER ENGINEERING 1717 15th Street Boulder, CO 80302 T. 303.444.6038

INTERIOR DESIGNER:

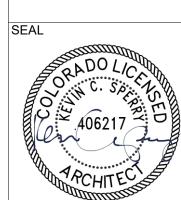
JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

> DOOR TYPES & SCHEDULE

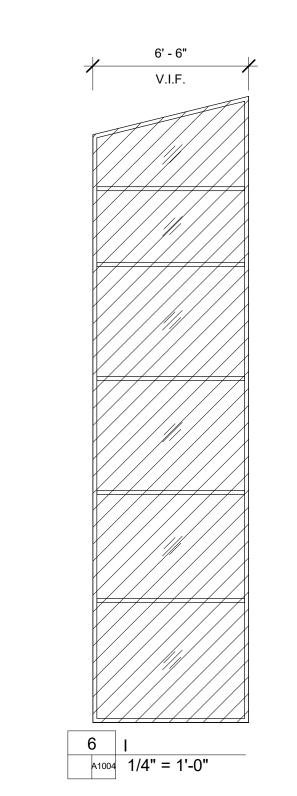


DRAWN BY: CHECKED BY: PROJECT NO:

DATE: 11/15/21

WINDOW SCHEDULE								
Type Mark	Width	Height	Operation	Manufacturer	Model	Color/Finish	Contact	Notes
A	6' - 6"	21' - 2"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
В	9' - 8"	4' - 11"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
С	9' - 8"	9' - 8"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
D	3' - 4"	3' - 4"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
E	6' - 10"	6' - 8"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
Н	3' - 4"	3' - 10"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
I	6' - 6"	26' - 1 1/4"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
J	5' - 7 1/4"	21' - 2"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
Ja	2' - 5"	4' - 11"	FIXED		MATC	CH EXISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS

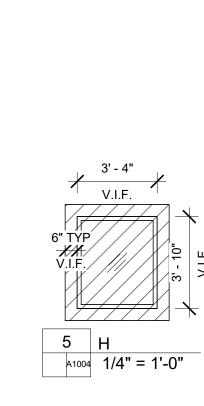
NOTE: ALL NEW WINDOWS AND STOREFRONT TO BE DARK BRONZE COLOR

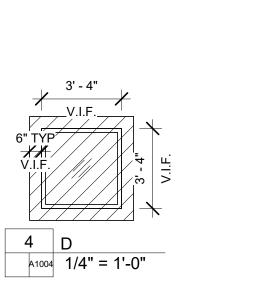


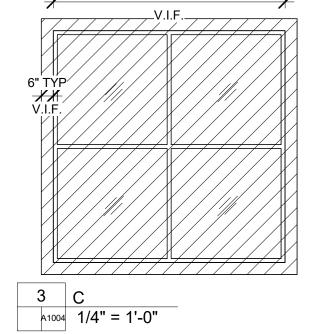
5' - 7 1/4"

3' - 3 3/4"—

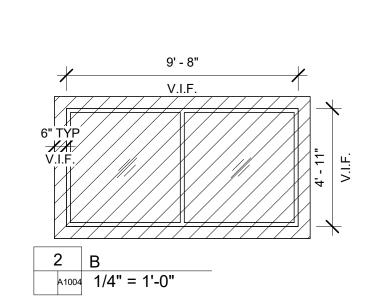
7 J V.I.F.
A1004 1/4" = 1'-0"

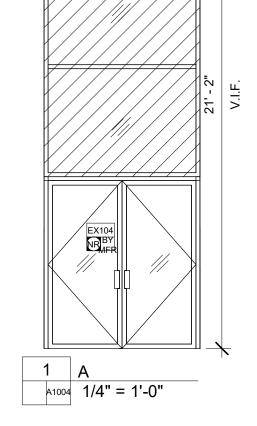






9' - 8"





6' - 6" V.I.F.

No. Date Description

APPROVAL STAMPS:

SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES
2201 Wisconsin Ave NW Suite 200
Washington, DC 20007
www.mayriegler.com

ARCHITECT



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GENERAL CONTRACTOR

CIVIL ENGINEER

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PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

WINDOW TYPES & SCHEDULE



A1004

CHECKED BY:

PROJECT NO:

DATE: 11/15/21 DRAWN BY: