

GENERAL PROJECT DATA

PROJECT DESCRIPTION:

RENOVATION OF SINGLE STORY LOBBY IN AN 8 STORY APARTMENT BUILDING.

APPLICABLE CODES:

2018 IBC
2018 IMC
2018 IPC
2018 IECC
2018 IFC
2018 IEBC
2020 NEC
CITY OF STEAMBOAT CDC

MECHANICAL, ELECTRICAL,
PLUMBING AND STRUCTURAL

M.E.P. AND STRUCTURAL WILL BE DESIGN BUILD AS NEEDED.
G.C. AND SUB CONTRACTORS TO PROVIDE DRAWINGS FOR
REVIEW AND PERMIT.

BUILDERS NOTE

CONTRACTORS RESPONSIBILITIES

1. NOTE: THIS IS A BUILDERS SET OF DRAWINGS. OWNER & BUILDER TO PROVIDE & INSTALL ALL ELEMENTS OF THE BUILDING PER MANUFACTURER'S SPECIFICATIONS & REQUIREMENTS.

2. MECHANICAL, ELECTRICAL & PLUMBING TO BE DESIGN BUILD AND SHALL TO CONFORM TO THEIR CURRENT RESPECTIVE CODES ADOPTED BY ANY AND ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS PROJECT.

3. ARCHITECTURAL DETAILS THAT SHOW OR INDICATE STRUCTURAL SYSTEMS AND/OR COMPONENTS ARE FOR GERNERAL REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR SYSTEM SPECIFICATIONS, DESIGN, LAYOUT, ETC... RELATED TO THEIR TRADE.

4. THE CONTRACTOR SHALL VERIFY THAT THE BUILDING CODE REQUIREMENTS, AS ADOPTED BY THE LOCAL MUNICIPALITY, HAVE BEEN MET. ALL WORK CONTAINED WITHIN THESE DOCUMENTS SHALL CONFORM TO ALL CODES, REGULATIONS, ORDINANCES, LAWS, PERMITS & CONTRACT DOCUMENTS WHICH APPLY.

5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, LICENSES AND APPROVALS ASSOCIATED WITH THIS PROJECT.

6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EQUIPMENT SIZES AND LOCATIONS WITH MECHANICAL, PLUMBING, ELECTRICAL AND UTILITY COMPANIES.

7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FIRE MITIGATION REQUIREMENTS WITH THE MUNICIPALITY AND FOREST SERVICE.

8. THE CONTRACTOR MUST VERIFY THE BUILDING LAYOUT WITH THE OWNER OR ARCHITECT PRIOR TO DIGING THE FOOTINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.

9. THE CONTRACTOR MUST VERIFY THAT ALL DOORS, WALLS AND CEILINGS BETWEEN GARAGE AND LIVING SPACE S MEET ALL FIRE AND SAFETY CODES AND REGULATIONS.

10. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL FINISH GRADES ON SITE.

11. CONTRACTOR SHALL SUBMIT A LIST OF SUBCONTRACTORS TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

12. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

13. THE CONTRACTOR AND THEIR SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLETING ALL THE WORK WITHIN THESE DOCUMENTS, UNLESS NOTES OTHERWISE.

14. CONTRACTOR TO PROVIDE SMOKE DETECTORS & CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH LOCAL APPLICABLE CODES.

15. CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, AC EQUIPMENT, RECESSED ITEMS AND ALL OTHER ITEMS AS REQUIRED.

16. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.

17. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC.... VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION IF NOT NOTED ON PLANS.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE DRAWINGS AND OBTAINING THE PERMITS FOR THE FIRE SPRINKLER SYSTEM. THE SYSTEM SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES AND ORDINANCES. IF FIRE PROTECTION IS REQUIRED. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE ARCHITECT.

19. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT AND/OR ENGINEER. ALL SUCH PORTIONS OF THE WORK SHALL BE INSTALLED IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS AND SAMPLES.

20. THE CONTRACTOR SHALL CONFINE THEIR OPERATIONS ON THE SITE TO THE AREAS PERMITTED BY THESE DOCUMENTS AND THE PROPERTY OWNERS ASSOCIATION.

21. THE JOBSITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF THEIR OPERATION.

22. THE GENERAL CONTRACTOR AND OWNER ARE RESPONSIBLE FOR RADON TESTING IN THE FIELD & MUST INSTALL ALL NECESSARY EQUIPMENT TO PREVENT RADON BUILD-UP IN THE STRUCTURE.

23. MOISTURE IS THE PREVALENT CAUSE OF MOLD GROWTH. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE TO BE PROACTIVE IN THE MITIGATION OF MOISTURE DURING CONSTRUCTION. "TIGHT BUILDING" CONSTRUCTION IS ONE OF THE IMPLICATED CAUSES OF MOLD. ALL ROOFS AND OTHER UNCONDITIONED SPACES ARE TO BE VENTILATED ADEQUATELY. IF ACCESS MOISTURE IS NOTICED DURING CONSTRUCTION, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. ANY MODIFICATIONS TO THE PLANS REGARDING MOISTURE CONTROL DURING CONSTRUCTION SHALL BE REVIEWED BY THE ARCHITECT.

24. SOUND INSULATING GYPSUM BOARD PARTITIONS SHOULD BE INSTALLED PER ASTM E497, STANDARD PRACTICE FOR INSTALLING SOUND-INSULATING GYPSUM BOARD PARTITIONS, AND ASTM C919, STANDARD PRACTICE FOR USE OF SEALANTS IN ACOUSTICAL APPLICATIONS.

CHANGES TO THE DESIGN:

1. CHANGES OR SUBSTITUTIONS TO THE DESIGN OR PRODUCTS WHICH ARE SPECIFIED IN THESE DOCUMENTS WILL ONLY BE ALLOWED WITH WRITTEN APPROVAL FROM THE OWNER OR ARCHITECT AND FROM THE ARCHITECTURAL REVIEW BOARD.

STRUCTURAL CHANGES

1. ANY CHANGES IN THE FIELD TO THE STRUCTURAL PLANS SHALL RELIEVE THE ARCHITECT AND STRUCTURAL ENGINEER FROM ANY CONSEQUENCES WHICH MAY ARISE. ANY PROPOSED CHANGES TO THE STRUCTURAL DOCUMENTS MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER IN WRITING.

DISCREPANCIES

1. ANY DISCREPANCIES FOUND WITHIN THESE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. ANY FAILURE TO REPORT DISCREPANCIES SHALL RELIEVE THE ARCHITECT OF ANY CONSEQUENCES WHICH MAY ARISE.

2. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE. UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATIVE METHOD AND/OR MATERIALS.

DIMENSIONS

1. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. DRAWINGS SHOULD NEVER BE SCALED.

2. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.

3. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR TO FACE OF FINISH CEILING MATERIAL, UNLESS NOTED OTHERWISE.

4. ALL EXTERIOR WALLS TO BE 2X6 STUD WALLS (5 1/2") UNLESS NOTED OTHERWISE.

5. ALL INTERIOR WALLS TO BE 2X4 STUD WALLS (3 1/2") UNLESS NOTED OTHERWISE.

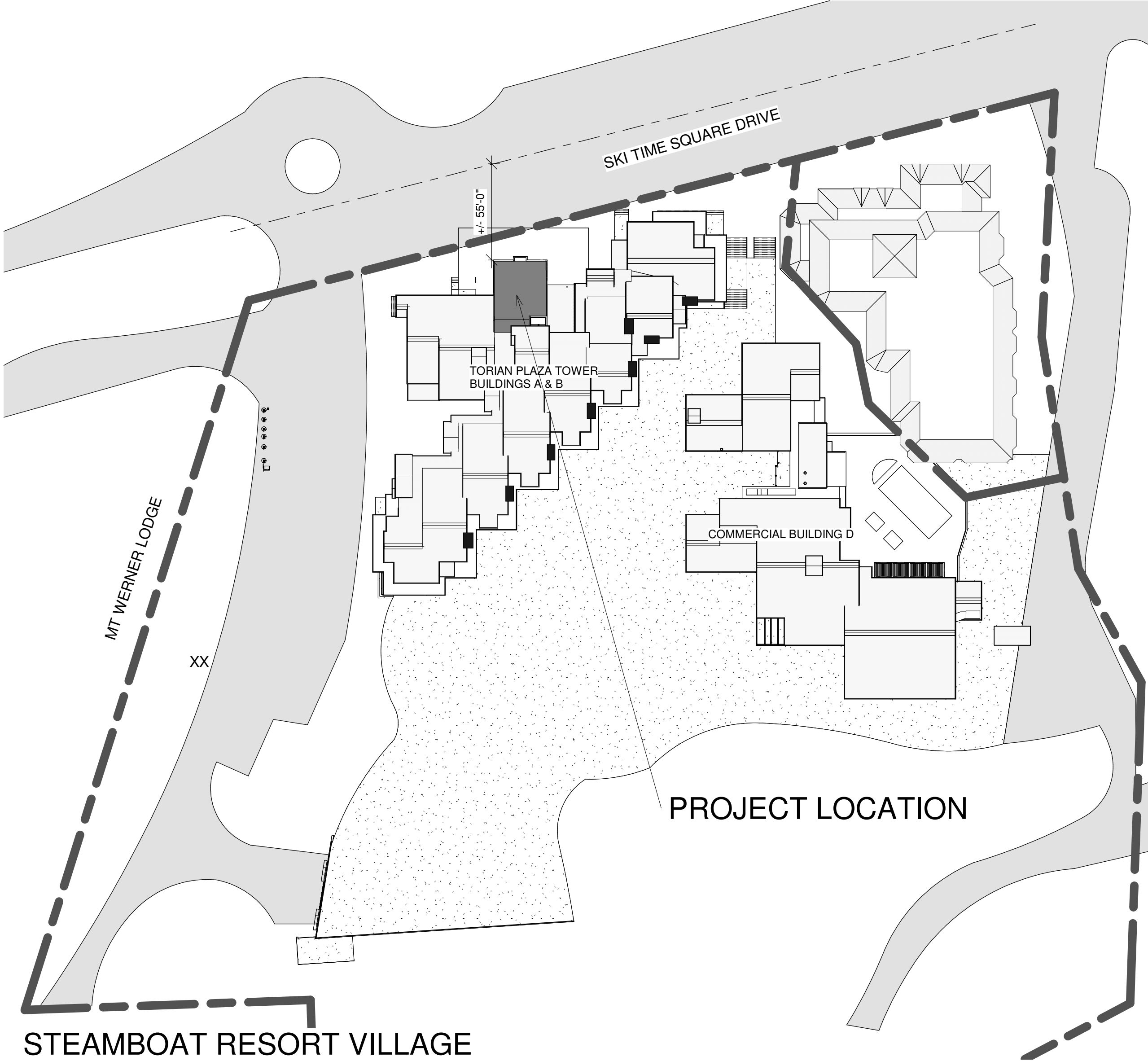
6. WHERE LARGER STUDS OR FURRING ARE INDICATED ON DRAWINGS TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.

CONSTRUCTION DOCUMENTS

FOR

LOBBY RENOVATION

AT TORIAN PLUM



SHEET INDEX

LOBBY RENOVATION

A100 DEMOLITION
A101 CONSTRUCTION
A110 FINISHES

CODE STUDY

PROJECT DESCRIPTION

RENOVATION OF SINGLE STORY LOBBY IN AN 8 STORY APARTMENT BUILDING.

NO CHANGE OF USE
NO CHANGE OF OCCUPANCY
NO CHANGE IN AREA
NO CHANGE IN MEANS OF EGRESS
EXISTING ACCESSIBLE TOILET ROOMS TO REMAIN UNCHANGED
EXTERIOR WINDOWS ADDED

2018 IEBC
LEVEL 2 RENOVATION

THE BUILDING WILL NOT BE MADE LESS SAFE BY THIS RENOVATION.
THE EXISTING FIRE PROTECTION SYSTEMS WILL BE MAINTAINED.
THE MEANS OF EGRESS WILL BE MAINTAINED.
THE NEW WINDOWS DO NOT NEED TO COMPLY WITH THE LIGHT AND VENTILATION REQUIREMENTS OF THE IBC.
THE NEW INTERIOR FINISHES WILL COMPLY WITH THE 2018 IBC.

SECTION 305.6 EXCEPTION 1
THE EXISTING RECEPTION DESK WILL BE DEMOLISHED AND REPLACED WITH NEW ACCESSIBLE RECEPTION DESK AND PACKAGE STORAGE. DEMOLITON AND CONSTRUCTION OF NEW RECEPTION DESK WILL EXCEED 20% OF CONSTRUCTION BUDGET. NO ADDITIONAL ACCESSIBILITY UPGRADES WILL BE REQUIRED.

1973 UBC

CONSTRUCTION TYPE
TYPE 1 CONSTRUCTION

OCCUPANCY
H - HOTELS AND APARTMENT BUILDINGS
F-DIVISION 2 - OFFICE

PER CONSTRUCTION DOCUMENTS DATED 1983, THE STRUCTURAL FRAME HAS 3 HOUR SPRAY ON FIRE PROOFING. REFERENCEING THE 1973 UBC, AN 8 STORY APARTMENT BUILDING OF TYPE I CONSTRUCTION, A 3 HOUR STRUTURAL FRAME IS REQUIRED AND ALL PARTITIONS TO BE 1 HOUR RATED. THE FIRE PROOFING WILL BE MAINTAINED. EXISTING INTERIOR PARTIONS WILL MAINTAIN THEIR 1 HOUR RATING.

2018 IBC

CONSTRUCTION TYPE
TYPE 1 A

OCCUPANCY
R-2 APARTMENT BUILDING
B - OFFICE, ACCESSORY USE

TABLE 601
A 3 HOUR RATED STRUCTURAL FRAME IS REQUIRED. INTERIOR NON-LOAD BEARING WALLS ARE NOT REQUIRED TO BE RATED. NEW INTERIOR PARTITIONS WILL NOT BE RATED. 3 HOUR FIRE RATING OF STRUCTURAL FRAME WILL BE MAINTAINED.

705.8
UNLIMITED AREA OF OPENING WHEN SETBACK EXCEED 30'. DISTANCE FROM BUILDING TO CENTERLINE OF SKI TIME SQUARE DRIVE EXCEEDS 30 FEET. NEW WINDOWS MEET CODE. WALL IS NOT LOAD BEARING, BUILDING HAS STRUCTURAL FRAME.

VICINITY MAP

STATE OF COLORADO
ERIC P. SMITH
B-1112
April 13, 2028
LICENSED ARCHITECT

NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.
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Eric Smith Associates, P.C.

REVISIONS
No. Description Date

TORIAN PLUM COMPLEX
LOBBY RENOVATION
1855 SKI TIME SQUARE DRIVE SUITE E100
STEAMBOAT SPRINGS, CO 80487

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5488, (303) 442-4748 FAX

Job Number: 23010
Date: 4/13/23
Drawn By: JP
Checked By: ESA

Project Phase
OWNER REVIEW

Sheet Title
COVER SHEET

Sheet Number
A001

[illegible]

**ORIAN PLUM COMPLEX
LOBBY RENOVATION**
SKI TIME SQUARE DRIVE SUITE E1
STEAMBOAT SPRINGS, CO 80487



Job Number:	23010
Date:	4/13/2
Drawn By:	JP
Checked By:	ESA

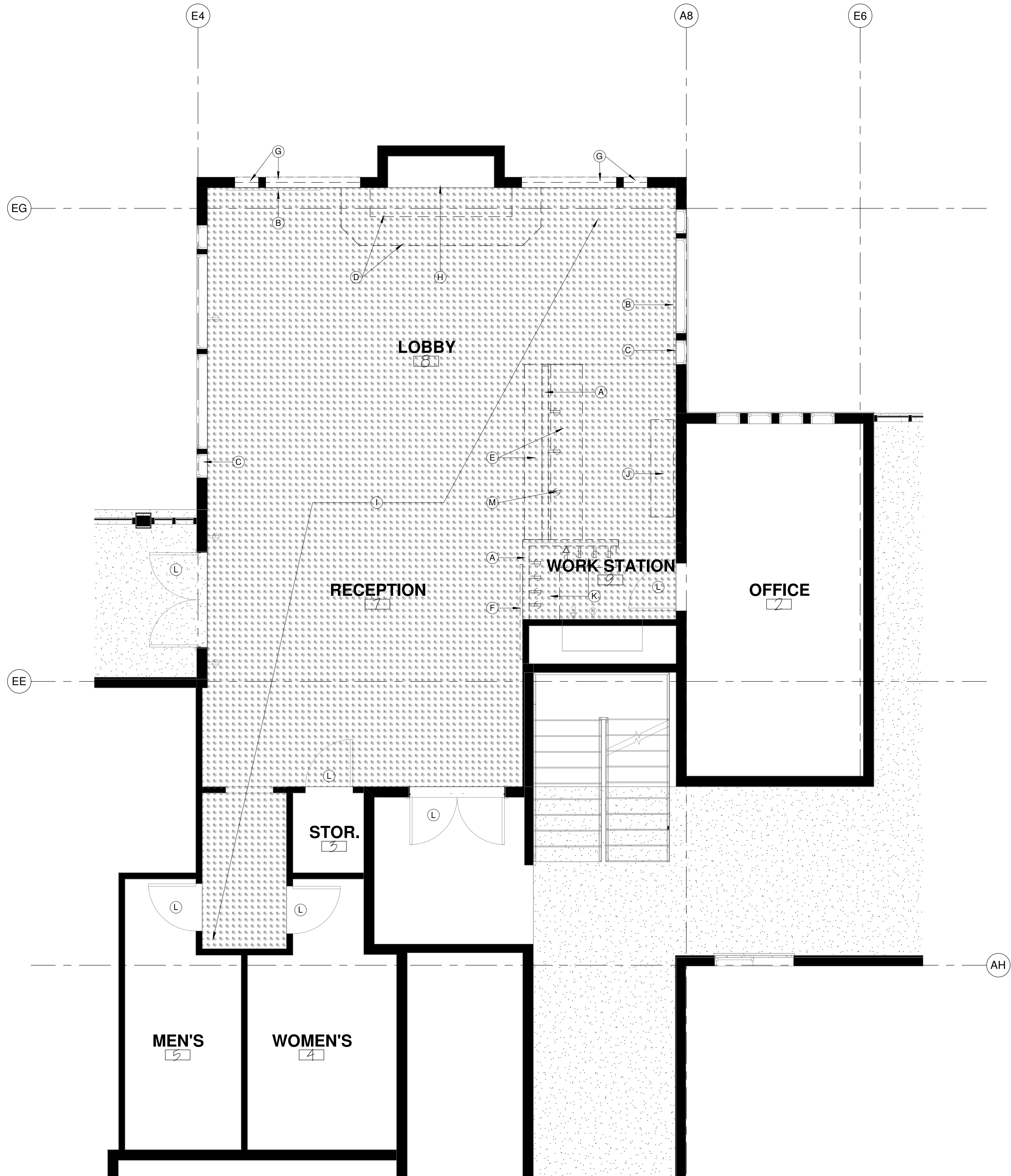
Project Phase
LOBBY RENOVATION

Sheet Title
DEMOLITION

Sheet Number

A100

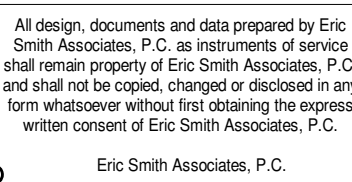
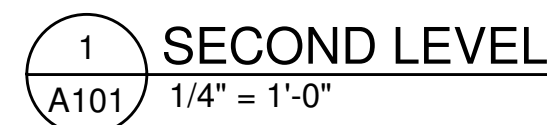
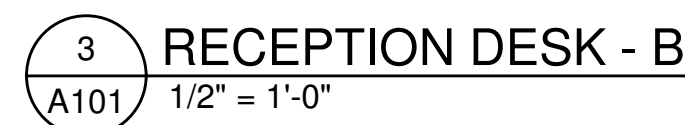
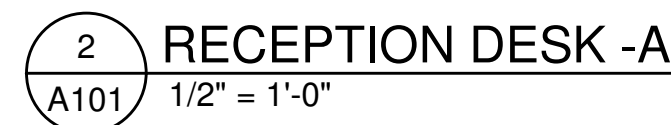
- A. REMOVE WALLS SHOWN DASHED. REPAIR ALL DEM SCARS.
- B. EXISTING BASE BOARD HEAT TO REMAIN.
- C. EXISTING PTAC UNIT TO REMAIN.
- D. REMOVE STONE FACADE AND HEARTH. PREP FOR NEW FINISH. SAVE MANTLE FOR RE-USE.
- E. REMOVE GRANITE TRANSACTION TOP AND SAVE FOR RE-USE. DEMO P-LAM WORK SURFACE. SAVE LOWER CABINETS FOR RE-USE.
- F. BASE BOARD HEAT TO BE REMOVED
- G. CUT OPENING FOR NEW WINDOWS. RE: STRUCTURAL
- H. REMOVE GAS FIRE PLACE INSERT. PREP FOR NEW TO CONNECT TO EXISTING GAS LINE
- I. DEMO FLOOR FINISH AND BASE IN AREA SHOWN SHADED. PREP FOR NEW FINISH SHOWN
- J. DEMO BACK COUNTER
- K. DEMO BUILT-IN WORKSTATION
- L. EXISTING DOOR TO REMAIN UNCHANGED
- M. ELECTRICAL DEVICE TO BE RELOCATED. TYPICAL



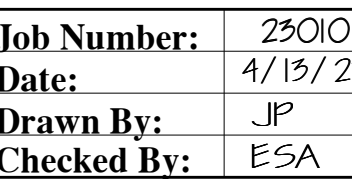
1 DEMOLITION PLAN
A100 1/4" = 1'-0"



1. NEW METAL STUD AND GYPSUM BOARD PARTITION. 3/8" 25ga METAL STUDS AT 24" O.C. WITH ONE LAYER 5/8" GYPSUM BOARD EACH SIDE TO HEIGHT NOTED. FINISH TO MATCH EXISTING WALLS.
2. INSTALL TRANSACTION TOP SAVED FROM DEMOLITION. MODIFY AS NEEDED.
3. NEW SOLID SURFACE COUNTER. SET AT 34" A.F.F. TO MEET ACCESSIBILITY REQUIREMENT. EXTEND FOR 3'-0" AS SHOWN FOR ACCESSIBLE COUNTER.
4. SUPPLY AND INSTALL NEW EXTERIOR WINDOWS.
5. SUPPLY AND INSTALL (3) 24" DEEP SHELVES ON MEDIUM DUTY STANDARDS AND BRACKETS.
6. POWER AND DATA LOCATIONS SHOWN FOR REFERENCE. VERIFY EXACT LOCATION WITH OWNER. NO NEW POWER ADDED. ALL LOCATIONS ARE RELOCATED FROM EXISTING.
7. NEW FIRE PLACE ENCLOSURE. VERIFY ALL REQUIREMENTS WITH FIREPLACE PROVIDER. ALL COMPONENTS TO MEET BUILDING CODE FOR MATERIALS AND FINISHES. INSTALL WOOD MANTEL SAVED FROM DEMOLITION.
8. PROVIDE NEW FINISHES AS NOTED IN FINISH DRAWINGS.
9. NEW GAS FIREPLACE INSERT. RE: INTERIOR DESIGN FOR SPECIFICATION

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**TORIAN PLUM COMPLEX
LOBBY RENOVATION**
1855 SKI TIME SQUARE DRIVE SUITE E100
STEAMBOAT SPRINGS, CO 80487

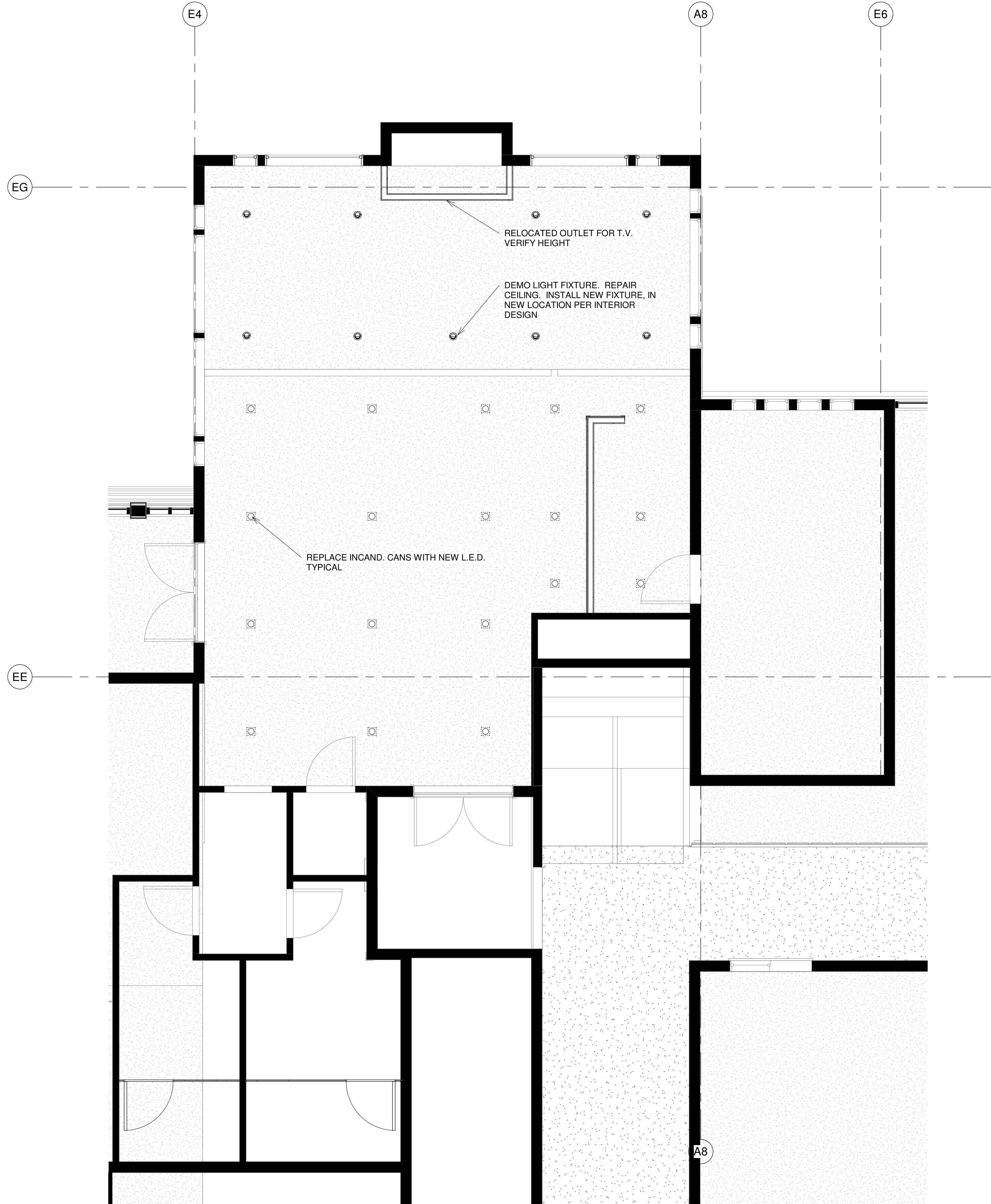


Project Phase
LOBBY RENOVATION

Sheet Title
CONSTRUCTION

Sheet Number

A101



1 SECOND LEVEL R.C.P.- BLDG A
A102 1/4" = 1'-0"

STATE OF COLORADO
ERIC P. SMITH
B-1112
April 13, 2023
LICENSED ARCHITECT

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REVISIONS		
No.	Description	Date

ES

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5488, (303) 442-4748 FAX

Job Number: 23010

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Project Phase

CONSTRUCTION

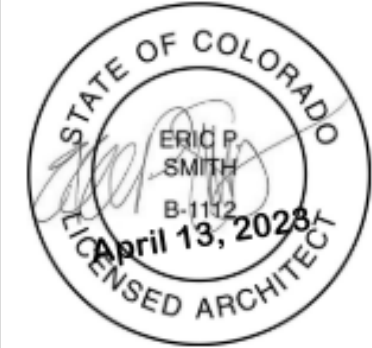
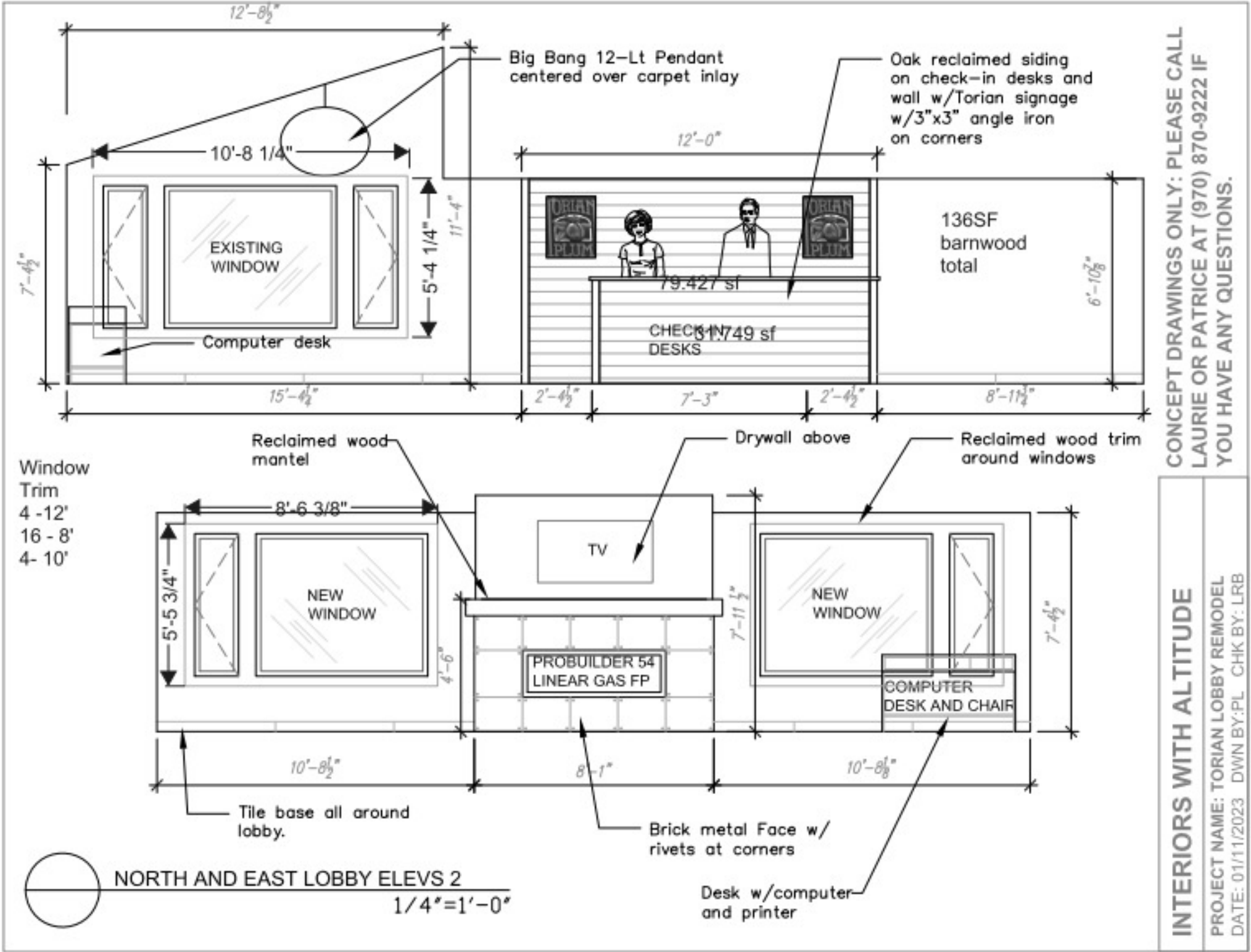
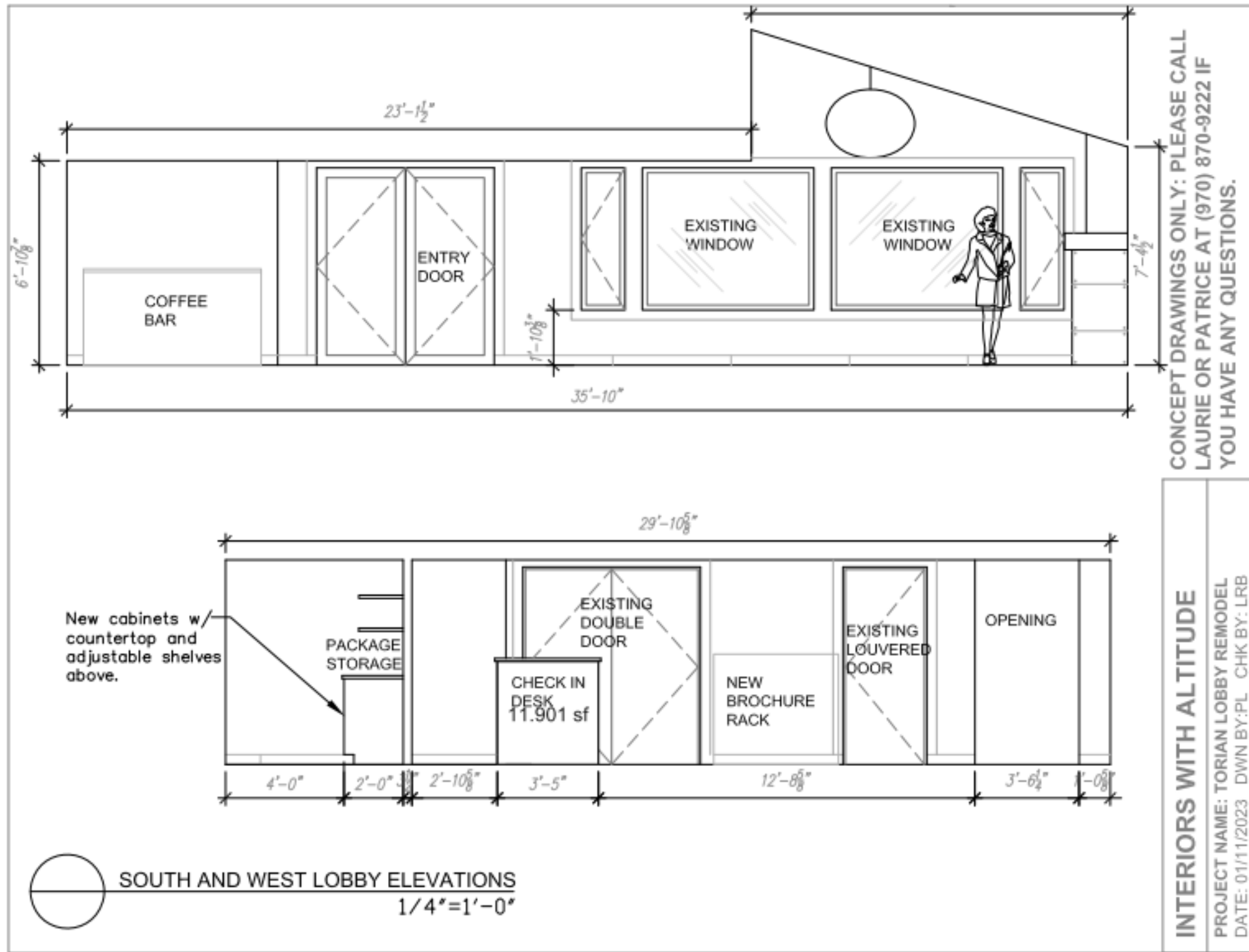
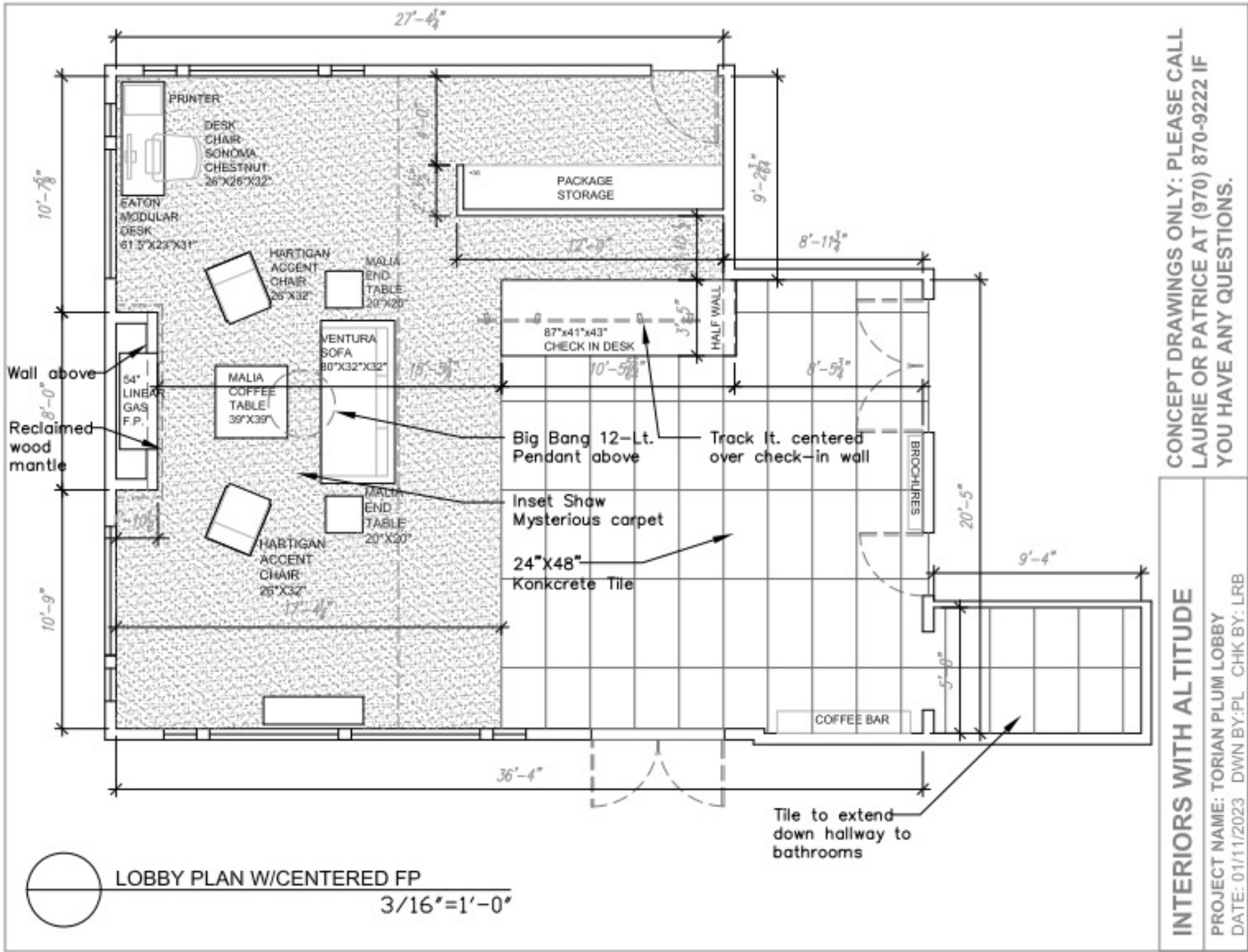
Sheet Title

R.C.P.

Sheet Number

A102

TORIAN PLUM COMPLEX
LOBBY RENOVATION
1855 SKI TIME SQUARE DRIVE SUITE E100
STEAMBOAT SPRINGS, CO 80487



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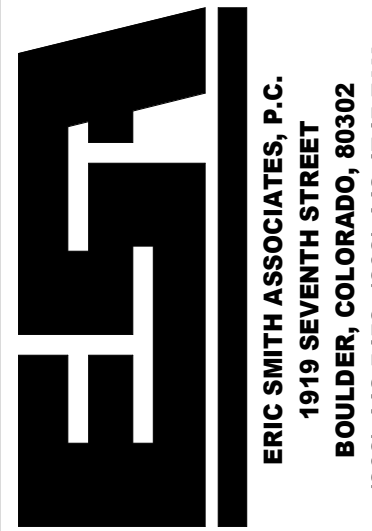
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**TORIAN PLUM COMPLEX
LOBBY RENOVATION**

1855 SKI TIME SQUARE DRIVE SUITE E100
STEAMBOAT SPRINGS, CO 80487



Job Number: 23010
Date: 4/13/23
Drawn By: JP
Checked By: ESA

Project Phase
LOBBY RENOVATION

Sheet Title
FINISHES

Sheet Number

A110