



Routt County  
City of Steamboat Springs

September 15th, 2022

Project: Steamboat On Mountain Improvements Projects

**CPX LIFT MODIFICATIONS**  
**Amendment to CSMP 9/15/22**

This CSMP is specific to the **Steamboat CPX Modifications. Permit Submission by ESA. Permit further updated through ASI #01 and ASI #02**

Work per the approved CSMP dated 6/8/22 has been carried out to date. Project has undergone weekly and post storm event inspections through Jardon Engineering as well as periodic inspections through the City of Steamboat.

Important to note the acreage of disturbance has been reduced. The vegetation around Steamboat Gondola that was installed last phase is beginning to grow and the team decided not to touch that area. This is an approx. 20% reduction in grading from the original 6 acres.

The previous plan reflected numerous sediment traps to be installed throughout the main runoff swale. Construction of these sediment traps progressed to a point for parties to perform field review of the grading activities. In conclusion of a field review with Jardon, SSRC, and the City of Steamboat – the size and quantity of sediment traps are to be condensed. The amended SWMP plan attached herein provides the new guidelines in which will be implemented for stabilization prior to this winter season. As always the implementation of this plan will be observed periodically as it takes shape and adjustments may be made to better serve actual field conditions.

Page 2, 3      **CSMP Checklist** No Change

Page 4      **Access Point #2 @ Thunderhead Lot** No Change  
This is the main point of access for CPX Grading activities. FOD pad track out, dumpsters, staging, and washout is located in this area.

Page 5      **CSMP Site Overview** Revised.  
Identifies existing drainage pattern, flow direction, and BMPs to control flow and filter sediment.

A handwritten signature in blue ink, appearing to read 'Josh Boh'.

**Josh Boh**  
Project Manager, Saunders Construction  
[J.boh@saundersinc.com](mailto:J.boh@saundersinc.com)

At Saunders,  
our reputation  
and relationships  
are based on:

Care  
Collaboration  
Commitment  
Community



## Construction Site Management Plan Checklist

Prior to the approval of a building/ROW permit, any commercial, multi-family, or applicable single family/duplex project must complete an approved Construction Site Management Plan (CSMP). Below are the required items to be included in the CSMP. Please check "yes" if the item is included, "no" if it is not, and "N/A" if not-applicable. Please provide an explanation for any "No" answers at the bottom of the checklist.

**Project Name:** *Christy Peak Express*

**Date:** *6/8/2022*

**Estimated Construction Start Date:** *6/10/2022*

**End Date:** *12/15/2022*

**Individual responsible for CSMP monitoring and compliance**

**Name:** *Reno Romagnoli*

**Phone # (local):** *845-420-8910*

	Yes	No	N/A
<b>1. General</b>			
a. CSMP is shown on the proposed site plan	X		
b. Schedule Pre-Construction Meeting ( <i>required only for commercial, industrial, and multifamily projects</i> )			X
c. Right of Way permit (i.e. work or obstruction within ROW). <i>If required, describe below and include estimated start and stop dates.</i>			X
<b>2. Erosion and Sedimentation Control Plan showing</b>			
a. Topographic Information – including sufficient detail to characterize the site	X		
b. Areas and extent of soil disturbance (show any phasing)	X		
c. Location of all on site and adjacent water bodies, wetlands, drainages, and storm water systems	X		
d. Vehicle tracking control measures (vehicle track pad, vehicle wash station, etc.)	X		
e. Inlet protection	X		
f. Perimeter control measures (BMPs)	X		
g. Standard details for all proposed control measures	X		
<b>3. Site Construction Facilities (Identify the following):</b>			
a. Staging areas	X		
b. Stockpile areas	X		
c. Dumpsters and trash receptacles	X		
d. Material recycling (wood, metal, plastics, etc.)	X		
e. Sanitary facilities	X		
f. Loading/Unloading areas	X		
g. Trailers and field offices (show access) <i>Field Office Located at Sheraton Ballroom</i>		X	
<b>4. Parking:</b>			
a. Location and number of onsite and any offsite stabilized parking areas	X		
b. Is project located downtown or at ski resort base area? <i>If so, describe below where contractor parking will occur:</i>			

*Contractor Parking for Lower Mountain Construction will be at Meadows Lot.  
Contractor Parking for Mid Station Terminal Shown at Green Horn Ranch.*

<b>5. External Traffic Control Plan showing:</b>			
a. Show/label all traffic control devices (MUTCD compliant)			X
b. Site access points; show existing adjacent streets and driveways; identify any changes and associated signage	X		
c. Sidewalks and trails; identify any changes and associated signage		X	
d. Use of the public Right of Way (ROW) - generally not permitted (for constrained sites show any proposed use of ROW)		X	
e. Crane use details, including but not limited to, ROW encroachment, swing radius, loading locations (Crane will require ROW permit from the City)			X
<b>6. Internal Access Control showing</b>			
a. Emergency access- <u>24' wide all weather surface for emergency access thru site</u> (to be maintained at all times)	X		
<b>7. CSMP Standard Notes:</b>			
a. Standard CSMP notes included on the site plan or Civil Plan Sheets	X		
<b>8. Dust Control</b>			
Provide narrative describing efforts to reduce fugitive dust from construction activities:  <i>Utilize Mt Werner Water Hydrant for dust suppression if necessary.</i> <i>Chemical Dust Suppression on Dirt Haul Roads - Mag Chloride</i>			
Provide explanation for any "No" or "N/A" answers: <i>Steamboat Resort will take lead in creating adequate sign-age for public transit and trail routing</i>			

**\*\* Plans shall be phased and updated as the project evolves and site conditions change.**

**\*\* Please notify adjacent property owners prior to mobilization.**

**\*\* Refer to chapter 36 of the Community Development Code for more information.**



**PROJECT ACCESS POINT #2**  
**Thunderhead Lot**

**Hard Surface Staging/Storage**

**Aggregate Base Staging/Storage**

**Wash Out**

**Dumpsters and Recycle**

**CWA**

**SF**

**WD**

**RCD**

**IP**

**Stormwater Retention Basin Pending Design**

**Street Sweeping as necessary**

**To CPX Haul Rd. and SH**

**Legend:**  
 Fencing/Gate ———  
 Haul Route ———  
 Metal Corrals ———  
 Orange Barricades / Top Fence ———












**SAUNDERS**  
 22 Phase 2 CSMP

### Aggregate Base Staggering/Storage

## Wash Out

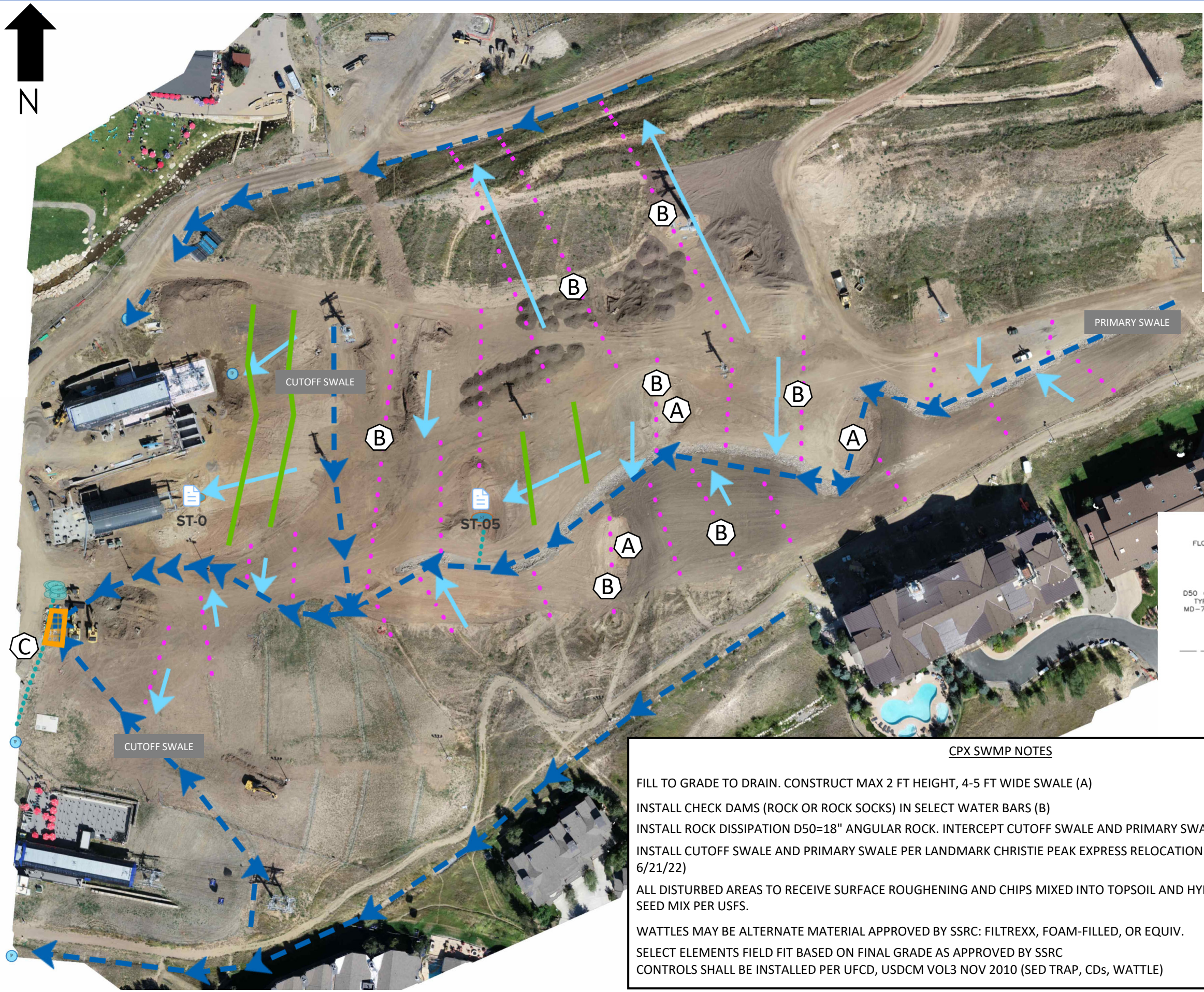
## Dumpsters and Recycle

**Legend:**

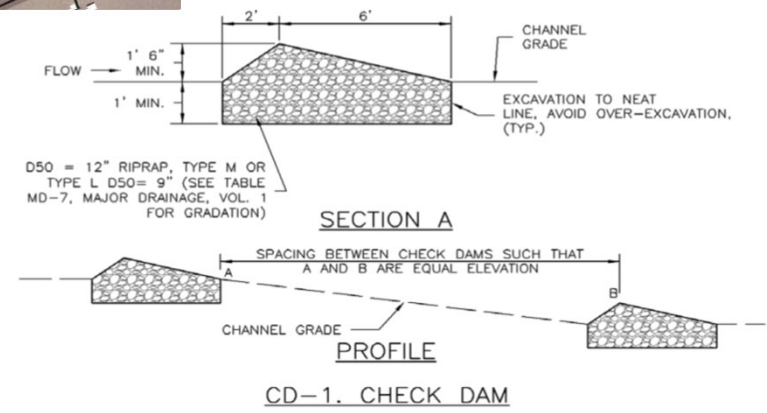
- Fencing/Gate  
- Haul Route 
- Metal Corrals 
- Orange Barricades / Top Fence 
- Burgess Creek 
- Public Access 
- Ambassador 
- FD Access 
- Flagger 
- Hydrant 

## 2022 Phase 2 CSMP Access Point #2 Thunderhead Lot





Existing Drainage	
Flow Direction	
Rock Sock (RS)	
Temp Diversion	
CPX Wattle	
Rock Dissipation	
Sed Trap	
Water Bar	
IP	



**CPX SWMP NOTES**

FILL TO GRADE TO DRAIN. CONSTRUCT MAX 2 FT HEIGHT, 4-5 FT WIDE SWALE (A)

INSTALL CHECK DAMS (ROCK OR ROCK SOCKS) IN SELECT WATER BARS (B)

INSTALL ROCK DISSIPATION D50=18" ANGULAR ROCK. INTERCEPT CUTOFF SWALE AND PRIMARY SWALE © WIDEN EX N-S SWALE

INSTALL CUTOFF SWALE AND PRIMARY SWALE PER LANDMARK CHRISTIE PEAK EXPRESS RELOCATION PLANS (4/27/22; REVISED 6/21/22)

ALL DISTURBED AREAS TO RECEIVE SURFACE ROUGHENING AND CHIPS MIXED INTO TOPSOIL AND HYDROMULCH WITH SEED. SEED MIX PER USFS.

WATTLES MAY BE ALTERNATE MATERIAL APPROVED BY SSRC: FILTREXX, FOAM-FILLED, OR EQUIV.

SELECT ELEMENTS FIELD FIT BASED ON FINAL GRADE AS APPROVED BY SSRC

CONTROLS SHALL BE INSTALLED PER UFCD, USDCM VOL3 NOV 2010 (SED TRAP, CDs, WATTLE)

CPX SWMP

Figure 1  
Site Overview & Plan

Jardon  
Engineering & Inspections LLC