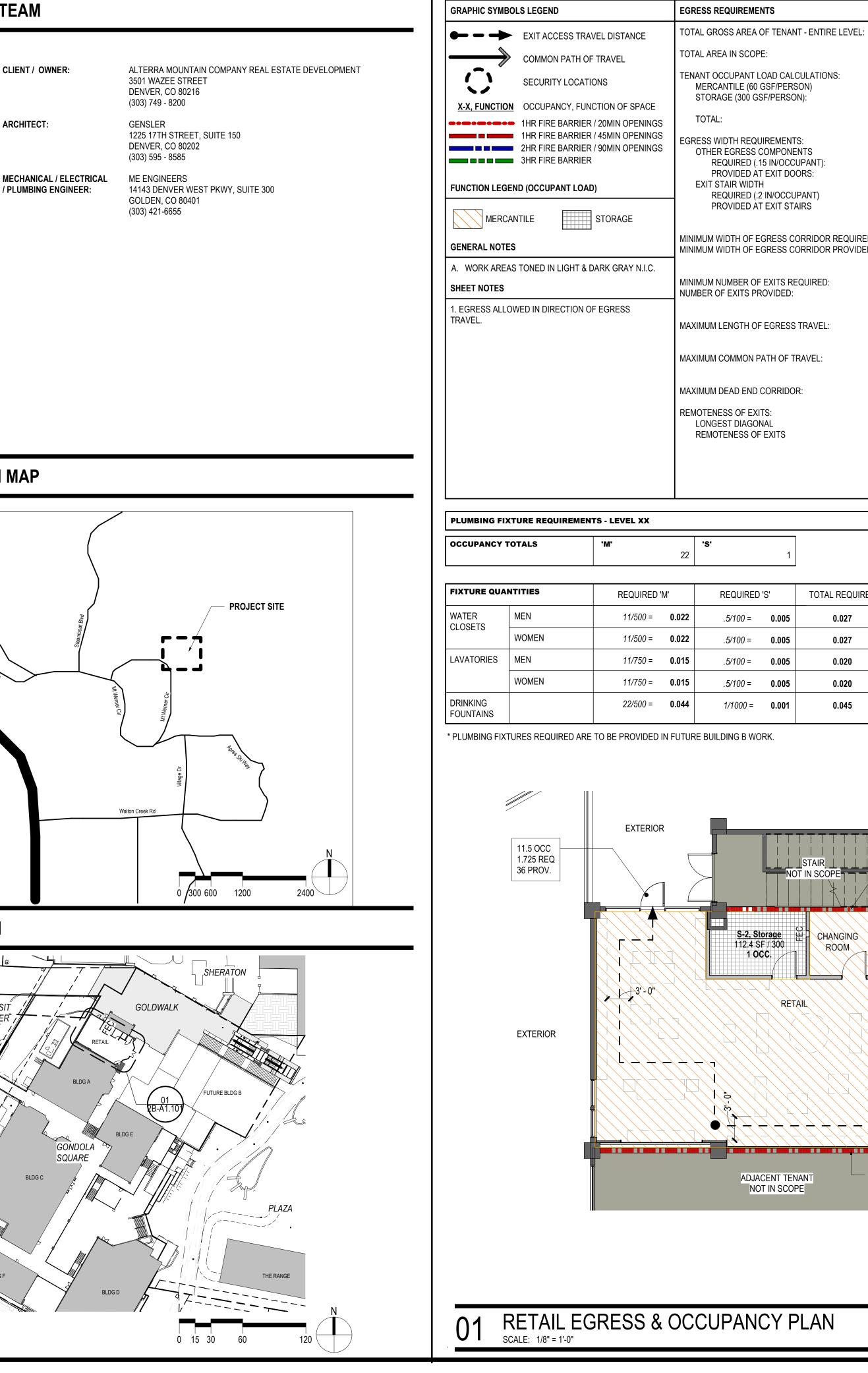


PROJECT TEAM PROJECT INFORMATION FOLLOWING ARE THE PLANS OUTLINING THE SCOPE OF WORK REQUIRED FOR THE NEW CONSTRUCTION AND RENOVATION OF THE STEAMBOAT BASE VILLAGE. CLIENT / OWNER: THE WORK OF PROJECT IS DEFINED BY THE CONTRACT DOCUMENTS. THE WORK IS TO INCLUDE THE INTERIOR RENOVATION OF THE EXISTING BUILDING A STORAGE SPACE TO CREATE A NEW MERCANTILE OCCUPANCY RETAIL SPACE. **ARCHITECT:** THE WORK WILL INCLUDE NEW PARTITIONS, CEILINGS, FINISHES, MECHANICAL, AND ELECTRICAL. NO EXTERIOR RENOVATIONS ARE INCLUDED IN THIS PROJECT. THE DRAWINGS, IN CONCERT WITH THE PROJECT MANUAL, COMPRISE THE CONTRACT DOCUMENTS OUTLINING THE DESIGN INTENT AND PROJECT SCOPE, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT / PLUMBING ENGINEER: THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, RIGHT TO LEFT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION IN THE PROJECT MANUAL, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE G SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK. BUILDING ADDRESS: 2305 MOUNT WERNER CIRCLE STEAMBOAT SPRINGS, CO 80487 BUILDING JURISDICTION: ROUTT COUNTY, STEAMBOAT SPRINGS, COLORADO APPLICABLE CODES: 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL FIRE CODE 2020 NATIONAL ELECTRIC CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE ASHRAE 90.1 2016 2009 ICC A117.1, ACCESSIBILITY REQUIREMENTS 2010 ADA ACCESSIBILITY GUIDELINES ANSI/ASME A17.1, SAFETY CODE FOR ELEVATORS 2013 USEABLE BUILDING & FACILITIES CODE LOCATION MAP STEAMBOAT SPRINGS AND ROUTE COUNTY CODE AMENDMENTS OCCUPANCY TYPE: M-MERCANTILE, S-2 STORAGE SEPARATED USE: NON SEPARATED MIXED OCCUPANCY CONSTRUCTION TYPE: TYPE IIA FIRE SUPPRESSION: FIRE RESISTIVE, (100% SPRINKLERED) FIRE ALARM SYSTEM: FIRE ALARM AND SMOKE DETECTION SYSTEM PER IBC 907.2 & NFPA 72 DEFERRED SUBMITTALS: FIRE ALARM SYSTEM FIRE SPRINKLER SYSTEM ACCESS CONTROL HARDWARE NUMBER OF STORIES IN BUILDING: 4 STORIES (ABOVE GRADE) 1 STORY (BELOW GRADE) STEAMBOAT TOTAL FLOOR AREA: 32,340 SF SPRINGS SCOPE OF WORK AREA: 1,406 SF LEED CERTIFICATION: NONE SITE PLAN # TRANSIT CENTER GONDOLA SQUARE BLDG F

STEAMBOAT SKI & RESORT CORPORATION

SSRC | BASE AREA IMPROVEMENTS 2305 Mount Werner Circle Steamboat Springs, CO 80487

Building A: Retail - ISSUE FOR CONSTRUCTION 2022.05.20

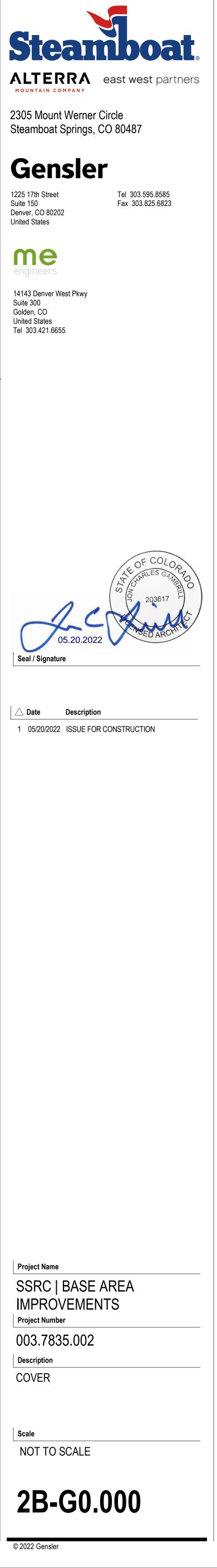


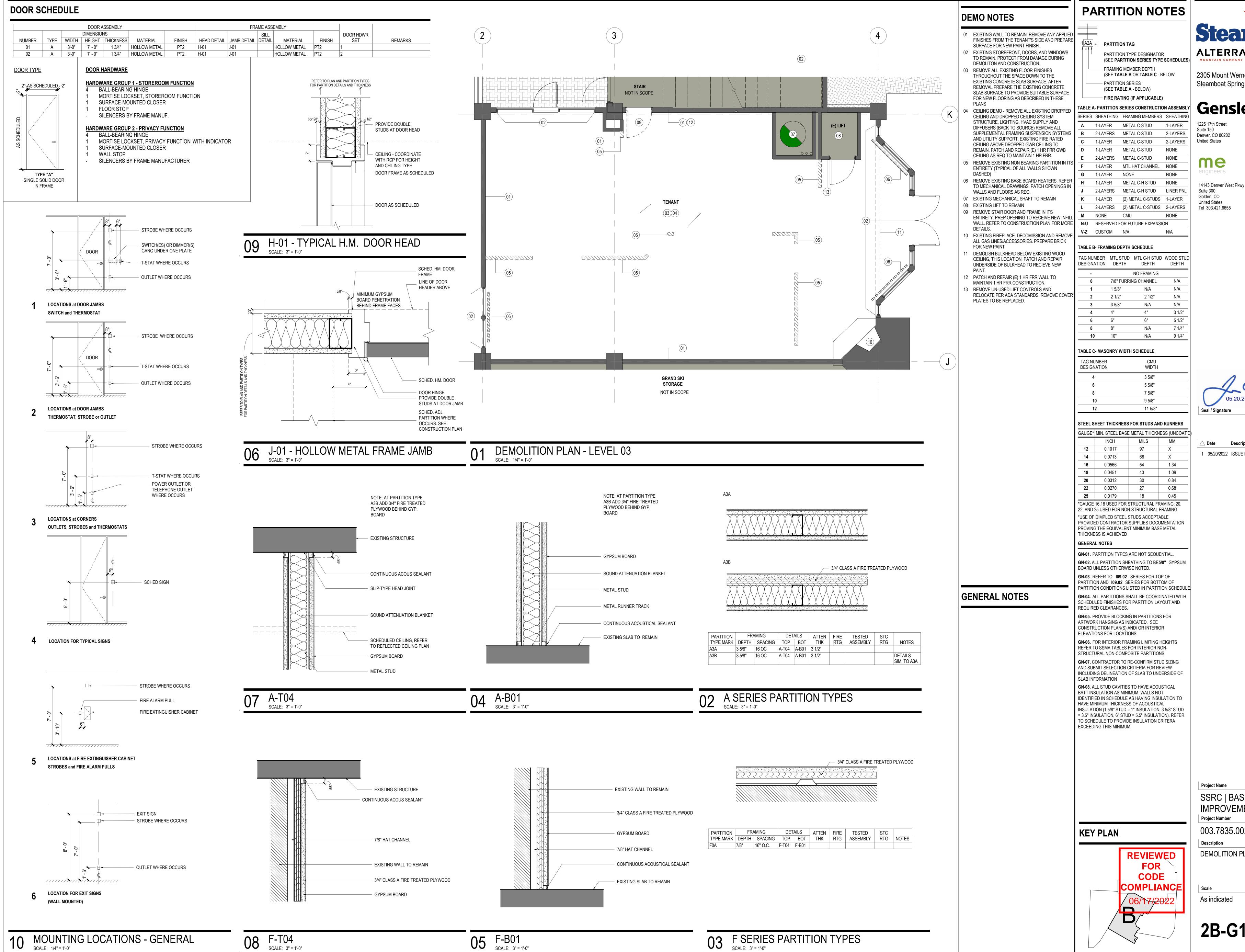
: /	APPROX. 1,406 SF	
1	APPROX. 1,406 SF	
I	BC TABLE 1004.1.2	
	22 OCCUPANTS 1 OCCUPANTS	
	23 OCCUPANTS	
I	BC 1005.3.2	
	3.45 INCHES 108 INCHES	
l	BC 1005.3.1 NA	
	NA	
I ED:	BC 1020.2 36 INCHES	
ED:	NA	
	BC TABLE 1006.3.3(2) 1 EXITS 2 EXITS	
I	BC TABLE 1017.2 FOOTNOTE C 250 FEET (MERCANTILE)	
I	BC 1006.2.1 FOOTNOTE A 75 FEET (MERCANTILE)	
	BC 1020.4 EXCEPTION 2	
	50 FEET (MERCANTILE)	
I	NA, SINGLE EXIT	
]
		J
RED	PROVIDED	
	0*	
	0*	
	0*	
	0*	
	0*	
	EXISTING WALL AT	
	EXISTING	
	SHAFT W	ALLS
	MECH (E) LIFT	
		11.5 OCC
<u>ال</u>		1.725 REQ 72 PROV.
$\langle \rangle \rangle$		
		DISPLAY RACKS
		SHOWN FOR REFERENCE ONLY.
\bigcirc	<u>M, Mercantile</u>	
	1292.5 SFV 60 22 OCC.	EXTERIOR
X		
$ \searrow $		EGRESS TRAVEL DISTANCE: 45'
	STING 1 HR.	(E) MASONRY FIREPLACE TO BE
		DECOMISSIONED. REMOVE GAS LINE
		AND ACCESSORIES TO PREPARE FOR
		NEW WOOD INFILL
		WALL.

DRAWING INDEX

	Sheet Name	Current Revision to IFC (If applicable)		
Sheet Number		Latest	Description	Date
01 - GENERAL	-			
2B-G0.000	COVER	1	ISSUE FOR CONSTRUCTION	05/20/2022
01 - GENERAL				_
2B-G1.101	DEMOLITION PLAN AND SCHEDULES	1	ISSUE FOR CONSTRUCTION	05/20/2022
05 - ARCHITEC				
2B-A1.101	CONSTRUCTION PLAN, RCP, SECTION, & ELEVATIONS	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-A1.102	INTERIOR ELEVATIONS & DETAILS	1	ISSUE FOR CONSTRUCTION	05/20/2022
08 - MECHANIC				
2B-M0-001	MECHANICAL GENERAL NOTES	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-M0-002	MECHANICAL CONTROLS	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-M0-201	MECHANICAL PLAN - LEVEL 02	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-M0-301	MECHANICAL PIPING PLAN - LEVEL 02	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-M0.000	MECHANICAL LEGEND	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-M8-000	MECHANICAL DETAILS	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-MEP0-000	MECHANICAL SCHEDULES	1	ISSUE FOR CONSTRUCTION	05/20/2022
10 - ELECTRIC/	AL			
2B-E0-000	ELECTRICAL LEGEND	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-E0-001	ELECTRICAL ONE-LINE	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-E0-002	ELECTRICAL SCHEDULES	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-E1-201	ELECTRICAL PLAN - LEVEL 03	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-E1-301	LIGHTING PLAN - LEVEL 03	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-E8-000	ELECTRICAL DETAILS	1	ISSUE FOR CONSTRUCTION	05/20/2022
15 - TECHNOLO) GY			
2B-T0.000	TECHNOLOGY LEGEND	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-T0.001	TECHNOLOGY GENERAL NOTES & ABBREVIATIONS	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-T1.201	TECHNOLOGY PLAN - LEVEL 03	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-T8.000	TECHNOLOGY DETAILS	1	ISSUE FOR CONSTRUCTION	05/20/2022
2B-T8.001	TECHNOLOGY DETAILS	1	ISSUE FOR CONSTRUCTION	05/20/2022









© 2022 Gensler

FINISH MATERIAL SCHEDULE

CEILINGS

CL1 09 51 00 ACOUSTICAL CEILINGS NAME: ULTIMA GRID SIZE: SUPRAFINE 9/16" GRID COLOR: WHITE GRID STYLE: BEVELED TEGULAR TILE MANUFACTURER: ARMSTRONG WORLD INDUSTRIES INC. TILE SIZE: 12" X 24" TILE COLOR: WHITE

CARPET

CP1 09 68 16 SHEET CARPETING MANUFACTURER: INTERFACE NUMBER: 105596 COLOR: CHARCOAL STITCH PATTERN NAME: STITCH IN TIME

DECORATIVE METALS

MT1 05 50 00 METAL FABRICATIONS DESCRIPTION: BLACKENED STEEL PANEL SIZE: 1/4" THICK

PAINT

PT1 09 91 13 INTERIOR PAINTING MANUFACTURER: BENJAMIN MOORE NUMBER: OC-65 COLOR: CHANTILLY LACE FINISH: WALLS TO BE EGGSHELL, CEILINGS TO BE FLAT, RESTROOMS TO BE SATIN, RUDDING BASE AND TRIM TO BE SEMI-GLOSS, DOORS AND FRAMES TO BE SEMI-GLOSS STYLE: ULTRA SPEC 500

PT2

09 91 13 INTERIOR PAINTING MANUFACTURER: BENJAMIN MOORE NUMBER: 2108-40 COLOR: STARDUST FINISH: WALLS TO BE EGGSHELL, CEILINGS TO BE FLAT, RESTROOMS TO BE SATIN, RUDDING BASE AND TRIM TO BE SEMI-GLOSS, DOORS AND FRAMES TO BE SEMI-GLOSS STYLE: ULTRA SPEC 500

PT3

09 91 13 INTERIOR PAINTING MANUFACTURER: BENJAMIN MOORE NUMBER: 2120-10 COLOR: JET BLACK FINISH: WALLS TO BE EGGSHELL, CEILINGS TO BE FLAT, RESTROOMS TO BE SATIN, RUDDING BASE AND TRIM TO BE SEMI-GLOSS, DOORS AND FRAMES TO BE SEMI-GLOSS STYLE: ULTRA SPEC 500

CONSTRUCTION

GRAPHIC SYMBOLS (CONT.)

REFLECTED CEILING

REFLECTED	CEILING	CONSTR
	ACOUSTICAL CEILING AND GRID	
xx'-xx"	CEILING HEIGHT CHANGE SYMBOL	
X'-X"	FINISH CEILING HEIGHT SYMBOL	
\bullet	GRID STARTPOINT SYMBOL	
AT1	CEILING FINISH TAG	
MS	MOTION SENSOR	
S	CEILING MOUNTED SPEAKER	
	CEILING MOUINTED CAMERA	
.	CEILING MOUNTED SPRINKLER HEAD	
×	CEILING MOUNTED SMOKE DETECTOR CEILING MOUNTED STROBE LIGHT	
 ♦ \$\exists\$ \$\ex	CEILING MOUNTED EXIT SIGNS	 1^
	WALL MOUNTED EXIT SIGNS - PARALLEL	2 A11.XX
• • • • •	WALL MOUNTED EXIT SIGNS - PERPENDICULAR	\sim
E	DENOTES EXISTING TO REMAIN	
R	DENOTES EXISTING TO BE RELOCATED	NAME
	ACCESS DOOR	(01)
LIGHT FIXTURES		1A3A -
	FLORESCENT LIGHT FIXTURE	
	FLORESCENT LIGHT FIXTURE / EMERGENCY CIRCUIT	
	EXISTING LIGHT FIXTURE TO BE REMOVED	$\langle XX \rangle$
	UNDER CABINET FLORESCENT FIXTURE FLORESCENT STRIP FIXTURE	
	FLORESCENT PENDANT FIXTURE	XX
0 ô	RECESSED DOWNLIGHT RECESSED ADJUSTABLE DOWNLIGHT	< <u>MW01</u> >
⊝	RECESSED WALL WASHER	•
$\overline{\Phi}$	TRACK LIGHTING SURFACE MOUNTED LIGHT FIXTURE	+6"
Ď	WALL SCONCE	0"
\$	LIGHT SWITCH	MATCH LINE SEE 2
D \$	DIMMER SWITCH	
[↓] MECHANICAL FIXTURES		WALL MOUNTED I
	RETURN AIR	
	SUPPLY AIR	HX
0	CIRCULAR DIFFUSER	
		FEC
0	EXHAUST FAN	
		\bigcirc

- COLUMN GRID REFERENCE NUMBER COLUMN GRID LINES AND REFERENCE NUMBER - 4 EXISTING CONSTRUCTION TO REMAIN _ _ _ _ _ _ _ EXISTING CONSTRUCTION TO BE DEMOLISHED _ _ _ _ _ _ _ NEW PARTITION **1 HR. RATED PARTITION** - - - - - -__ . . ___ 2 HR. RATED PARTITION **3 HR. RATED PARTITION** _ . . . _ _ 4 HR. RATED PARTITION - - - - - ---- \square - MILLWORK — MILLWORK ABOVE - DETAIL NUMBER 🛛 ХХ 🖍 XX.XXX SIM DESCRIPTION OF SIMILAR OR OPPOSITE AREA TO BE DETAILED - LOCATION ON SHEET WHERE ELEVATION IS SHOWN - DIRECTION OF ELEVATION A11.XX -— SHEET NUMBER WHERE ELEVATION IS SHOWN

INTERIOR AND EXTERIOR ELEVATION MARKER - REVISION REFERENCE NUMBER

- REVISION CLOUD DEPICTING AREA REVISED

ROOM NAME ROOM NUMBER SHEETNOTE REFERENCE

XX/-

1 A3A 🔫

— WALL TYPE REFERENCE

FIRE RATING DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)

 DOOR NUMBER - DOOR TYPE XXX/ WINDOW REFERENCE NUMBER (REFER TO WINDOW SCHEDULE) MILLWORK REFERENCE NUMBER (REFER TO MILLWORK SCHEDULE)

ELEVATION DATUM REFERENCE

FLOOR ELEVATION TRANSITION

CH LINE SEE XX/XX MATCH LINE SYMBOL ALIGN WITH ESTABLISHED / ADJACENT SURFACES

L MOUNTED LIFE SAFETY EQUIPMENT AND DEVICES

- FIRE WARDEN STATION SYMBOL
- WALL MOUNTED FIRE ALARM STROBE SYMBOL
- FIRE ALARM PULL SYMBOL
- WALL MOUNTED, FIRE EXTINGUISHER CABINET
- WALL MOUNTED FIRE EXTINGUISHER
- WALL MOUNTED FIRE HOSE CABINET
- WALL MOUNTED FIRE VALVE
- WALL MOUNTED FIRE VALVE CABINET

WB1 SIZE: 4" TALL FINISH: TO MATCH ADJACENT WALL

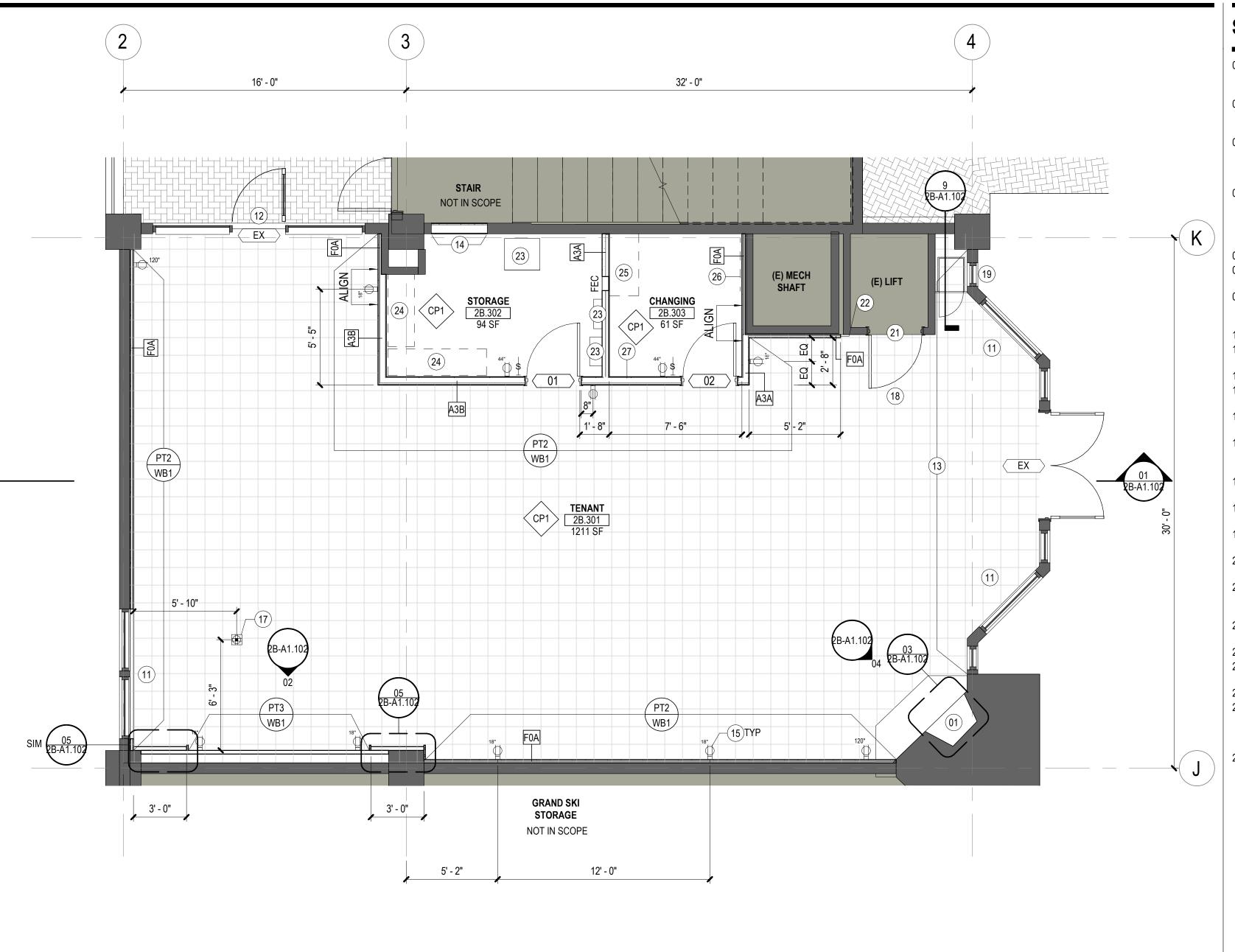
WD1

WOOD BASE, INTERIOR

06 40 23 WOOD BASE COLOR: TO MATCH ADJACENT WALL

WOOD WALL

INTERIOR ARCHITECTURAL WOODWORK DESCRIPTION: CUSTOM FEATURE WALL, END CUT ASPEN TREE. PAINT SUBSTRATE WALL PT3 SIZE: ROUNDS TO VARY BETWEEN 4" AND 16" DIA., BETWEEN 1/2" AND 1 1/2" THICK NOTE: CLASS C FIRE RATED FINISH



FINISH

XXXX XXXX
XXXX
XXXX
XXXX
~~

BASE FINISH TAG – EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG

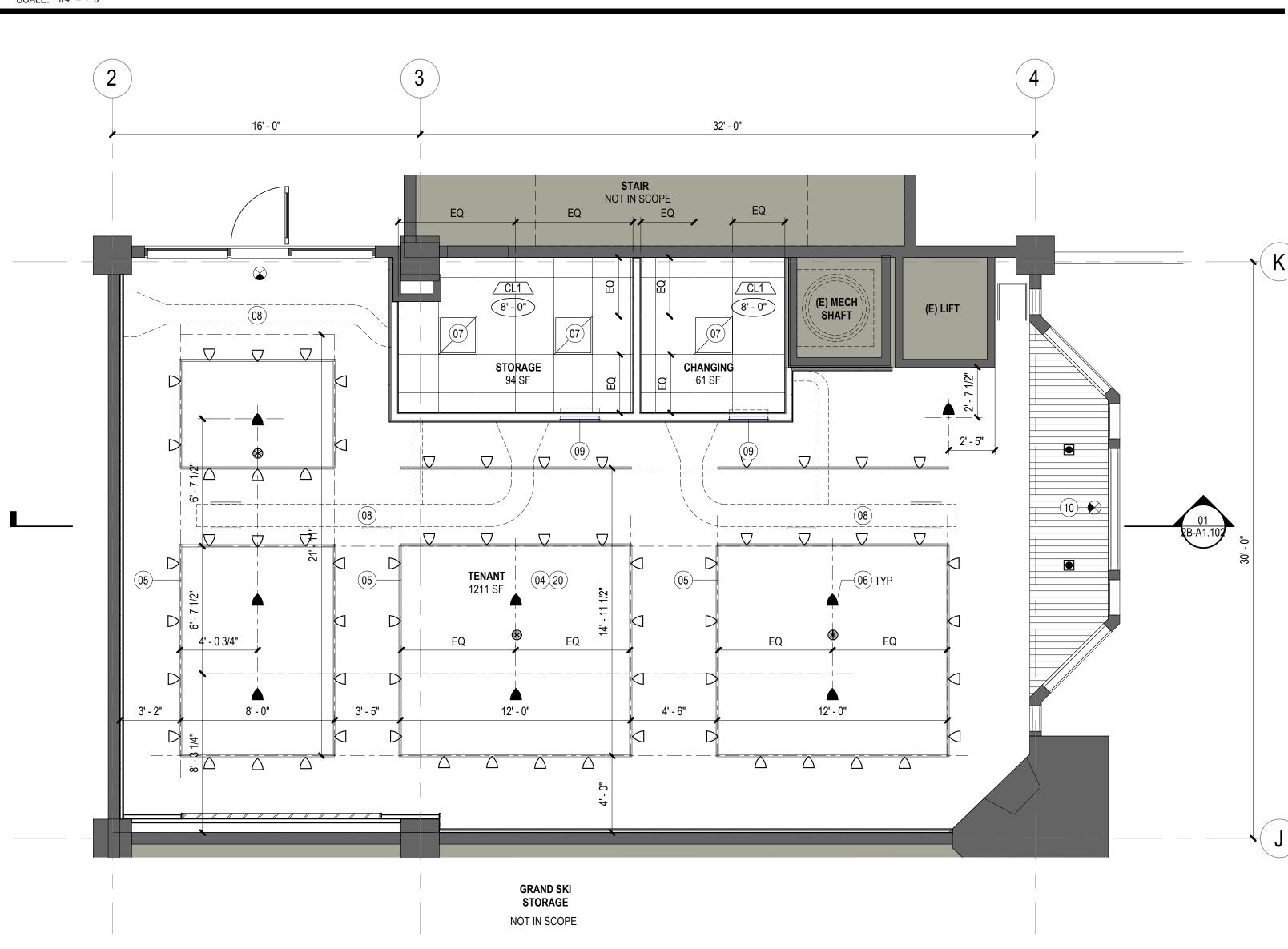
WALL FINISH TAG

FLOOR FINISH TAG

CEILING FINISH TAG

CHANGE IN FLOOR FINISH

CONSTRUCTION PLAN SCALE: 1/4" = 1'-0"



02 REFLECTED CEILING PLAN

SHEET NOTES

- 01 EXISTING FIREPLACE. DECOMISSION AND REMOVE ALL GAS LINES/ACCESSORIES. PAINT BRICK PT2. INFILL OPENING WITH WD1.
- 04 EXISTING RATED CEILING TO REMAIN. PATCH AND REPAIR (E) 1 HR FRR GWB CEILING AS REQUIRED TO MAINTAIN 1 HR FRR. FINISH TO BE PT1
- 05 HANGING TRACK LIGHT. MOUNT LIGHT AS HIGH AS POSSIBLE UNDER MEP AND SPRINKLERS. GC TO VERIFY EXISTING CONDITIONS IN FIELD AND COORDINATE HEIGHT WITH ARCHITECT. RE: MEP
- 06 PENDANT LIGHT WITH SURFACE MOUNTED JUNCTION BOX. MOUNT LIGHT AS HIGH AS POSSIBLE UNDER MEP AND SPRINKLERS. GC TO VERIFY EXISTING CONDITIONS IN FIELD AND
- COORDINATE HEIGHT WITH ARCHITECT. RE: MEP 07 RECESSED 2' X 2' LIGHT FIXTURE. RE: MEP 08 EXPOSED DUCTWORK. MOUNT TIGHT TO CEILING. RE : MEP
- 09 WALL LOUVER TO UNITS OVER RESTROOM/STORAGE CEILING. CENTER OVER DOORS. RE: MEP
- 10 EXISTING WOOD CEILING TO REMAIN. PAINT PT1 11 BASEBOARD HEATER, REFER TO MECHANICAL DRAWINGS
- 12 EXISTING EGRESS DOOR.
- 13 EXISTING EXTERIOR DOORS AND WINDOWS. PAINT WOOD FRAME PT1 14 INFILL WALL, MATCH EXISTING FINISHES. WALL
- SHALL BE 1 HR FRR ASSEMBLY. 15 DUPLEX POWER OUTLET. REFER TO ELECTRICAL
- DRAWINGS FOR ADDITIONAL ELECTRICAL AND TECHNOLOGY INFORMATION 17 FLOOR FOURPLEX RECEPTACLE. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION
- 18 SLOPE FLOOR UP TO LIFT ELEVATION UNDER CARPET, 1:20 MAX.
- 19 ADD BLACKOUT FILM ON INTERIOR FACE OF EXISTING GLASS
- 20 ALL ABANDONED MEP DUCTWORK, PIPES, CONDUIT, ETC TO BE CAPPED AND REMOVED.
- 21 EXISTING LIFT DOOR TO REMAIN. PAINT PT1. REMOVE ALL UN-USED CONTROLS, REPLACE SWITCHPLATES WITH NEW.
- 22 RETURN GYP BACK TO EXISTING WALL AT EDGE OF F0A PARTITION 23 MEP EQUIPMENT. RE : MEP
- 24 STORAGE SHELVING AND CLOTHING RACKS ON CASTERS TO BE PROVIDED BY OTHERS
- 25 ADA BENCH TO BE PROVIDED BY OTHERS 26 WOOD FRAMED FULL LENGHT MIRROR TO BE PROVIDED BY OTHERS. BOD : WEST ELM, ANTON FLOOR MIRROR, BURNT WAX, 30" X 72". MOUNT AT
- ADA HEIGHT, SECURE TO WALL. 27 COAT HOOK. BRADLEY, 9943 BRADEX, STAINLESS STEEL, 2" PROJECTION, TO BE MOUNTED CENTERED BETWEEN DOOR AND WALL AT ADA HEIGHT

GENERAL NOTES

A. REF. GENERAL SHEETS FOR GRAPHIC SYMBOLS GENERAL NOTES AND ABBREVIATIONS, ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS.

B. ALL PARTITIONS TO BE TYPE "A" U.O.N.

C. PROVIDE LVL 4 FINISH AT ALL GYP.BD SURFACES, U.O.N.

D. ALL EXISTING PARTITIONS, INCLUDING AT PERIMETER TO BE MODIFIED / EXTENDED AS REQ'D TO BE FULLY FINISHED (GYP. BOARD, TAPED, MUDDED AND PAINTED) TO 12" BELOW DECK ABOVE TO COVER EXPOSED WALL STRUCTURE. COORD. SPECIFIC

REQUIREMENTS & LOCATIONS W/ RCP SHEETS. E. ALL POWER OUTLETS AT WALLS TO BE MOUNTED AT 18" AFF U.O.N. REFER TO GENERAL MOUNTING

LOCATIONS.

F. PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON CENTERLINE OF WINDOW MULLION JON

G. INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES. INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS A DISSIMILAR FINISH MATERIAL & PROVIDE SEALANT AS REQ'D.

H. PROVIDE MIN. 20 GA. BACKING STUDS AND/OR 18 GA. BY 6" WIDE BACK'G PLATES WHEN REQUIRED FOR SUPPORT U.O.N.

J. NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.

K. ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.

L. PREP SLAB AS REQUIRED FOR SPECIFIED FINISH.

M. DOOR JAMB LOCATIONS SHALL BE TYP. 4" FROM ADJ. WALL.

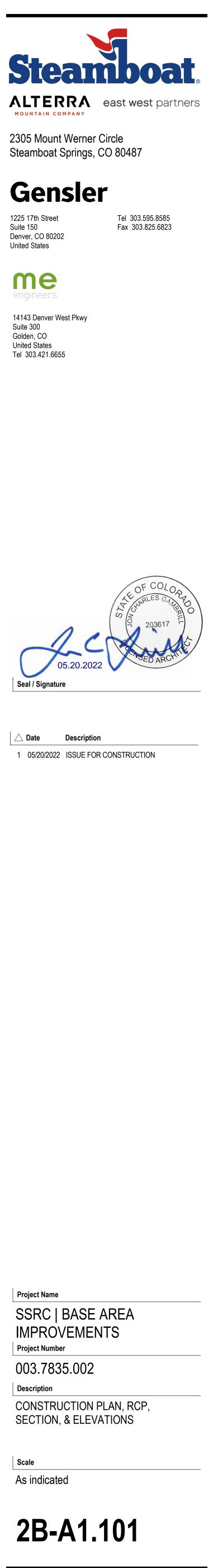
N. PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH & REPAIR EXIST SURFACES SURFACES AS REQ'D TO RECEIVE NEW FINISH.

P. PROVIDE PAINTED LAYOUT FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION OF TRACK AND STUDS. LAYOUT TO INCLUDE PARTITIONS, MILLWORK, SOFFITS, LIGHTS AND ALL SIGNIFICANT ARCHITECTURAL FEATURES.

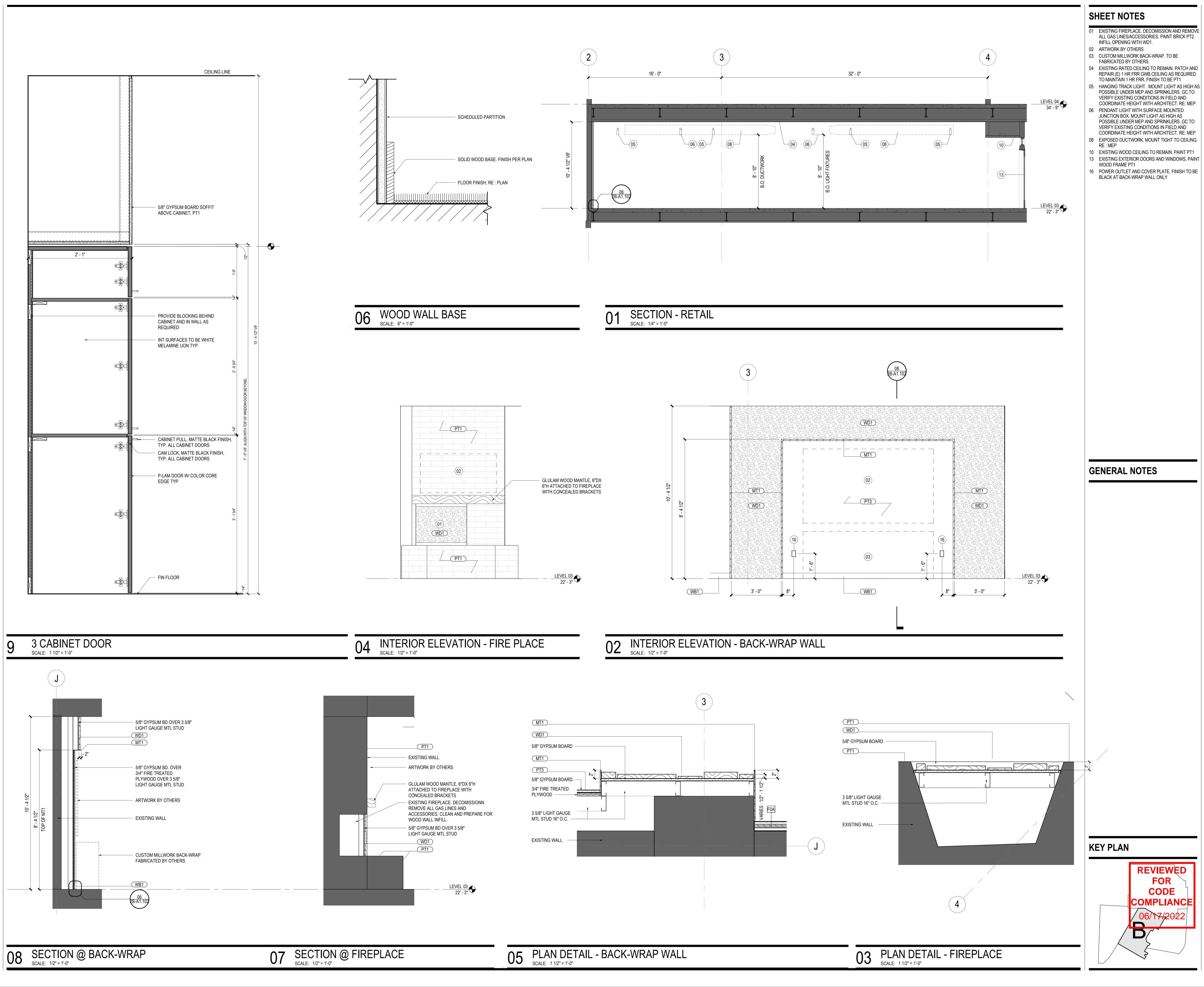
Q. ALL PARTITIONS TO BE PAINTED PT1 WITH WB1 U.O.N. ALL CEILINGS TO BE PAINTED PT1 U.O.N.

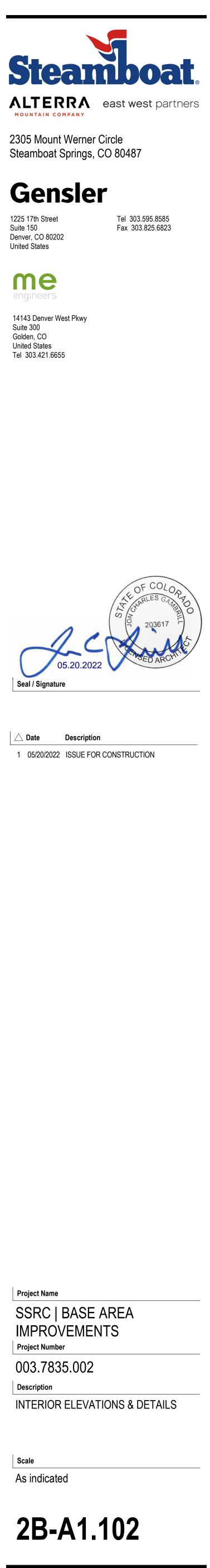
KEY PLAN





© 2022 Gensler





© 2022 Gensler