

PROPERTY BOUNDARY	
ADJACENT PROPERTY BOUNDARY	
EASEMENT	
SECTION LINE	
CENTERLINE	
SET NO. 5 REBAR W/ ALUMINUM CAP STAMPED "LANDMARK LS 29039" UNLESS NOTED OTHERWISE	
RECOVERED NO. 5 REBAR W/ YELLOW PLASTIC CAP STAMPED "DISMUKE LS 7736"	
BUILDING	
ROOF LINE/OVERHANG	
DECK	
WALL	
FENCE	
MAJOR CONTOUR	
MINOR CONTOUR	
ASPHALT	
CONCRETE	
GRAVEL	
SIGN	
SANITARY SEWER	
SANITARY SEWER MANHOLE AND CLEANOUT WATER LINE	
FIRE HYDRANT, GATE VALVE & CURB STOP	
GAS	
GAS METER AND MANHOLE/VAULT	
CABLE	
CABLE PEDESTAL	
FIBER OPTIC	
TELEPHONE	
TELEPHONE PEDESTAL AND MANHOLE/VAULT	
ELECTRIC	
ELECTRIC PED., JUNCTION BOX AND METER	
LIGHT POLE AND LIGHT POLE W/ MAST	
OVERHEAD	
UTILITY POLE AND GUY WIRE	
DITCH/SWALE	
CULVERT W/ END SECTIONS	
INLET AND STORM MANHOLE	
FLOW ARROW	
CONIFEROUS AND DECIDUOUS TREE	
AS RECORDED BEARING & DISTANCE	
AS MEASURED BEARING & DISTANCE	

1. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
2. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO THE LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RIGHTS, EASEMENTS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO RIGHT TO GRANT THE SAME.
3. UTILITIES ARE SHOWN PER SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
4. BASIS OF BEARINGS: THE W LINE OF THE NW1/4 SECTION 27, T8N, R46W, 6TH P.M., BEING MONTECALMO HILLS ADDITION AND BEARING N01°46'00"E BASED ON NAD83(2011) COLORADO NORTH ZONE COORDINATE SYSTEM.
5. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-6-508, C.R.S.
6. THIS SITE CONTAINS A CALCULATED AREA OF 27.131 SQUARE FEET OR 0.62 ACRES.
7. THE LAST FIELD INSPECTION OF THIS SITE WAS ON DECEMBER 13, 2019. AT THE TIME OF SURVEY SNOW COVERED THE GROUND. DUE TO SNOW CONDITIONS SOME IDENTIFICATIONS AND FEATURES MAY HAVE BEEN OBSCURED AND MAY NOT BE SHOWN HEREON.
8. THERE ARE NO BUILDINGS ON THE SUBJECT PROPERTY.
9. THE SUBJECT PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DETERMINED BY THE F.E.M.A. (FEDERAL EMERGENCY MANAGEMENT AGENCY) MAP NUMBER 08107C0885D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
10. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
11. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.

PROPERTY DESCRIPTION

A TRACT OF LAND SITUATED IN THE COUNTY OF ROUTT AND STATE OF COLORADO, AND BEING A TRACT OF LAND IN THE NW1/4 NW1/4 SW1/4 OF SECTION 27, TOWNSHIP 6 NORTH RANGE 84 WEST OF THE 6TH P.M., BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

BE BEGINNING AT THE NW CORNER OF THE SW 1/4 OF SAID SECTION 27, THENCE S01° 53'4" E
ALONG THE WEST LINE OF THE SW 1/4 OF SAID SECTION 27 A DISTANCE OF 340.59 FEET;
THENCE N86°20'46" E A DISTANCE OF 258.68 FEET TO THE TRUE POINT OF BEGINNING;
THENCE N86°20'46" E A DISTANCE OF 108.60 FEET;
THENCE N03°39'14" W A DISTANCE OF 290.00 FEET;
THENCE S86°20'46" W A DISTANCE OF 91.40 FEET;
THENCE S01° 53'4" E A DISTANCE OF 290.51 FEET TO THE TRUE POINT OF BEGINNING.

LESS A TRACT OF LAND CONVEYED ON BOOK 422, PAGE 452, DESCRIBED AS FOLLOWS

BEGINNING AT THE NORTHERMOST NORTHWEST CORNER OF LOT 3, SUNRAY MEADOWS FILING NO. 1, AS SHOWN BY LOCATING MAP FILE WITH THE CLERK AND RECORDER OF THE COUNTY OF ROUTT, STATE OF COLORADO, FILE NO. 7279, THENCE S03°24'21"E, 71.63 FEET ALONG THE WESTERLY LINE OF SAID LOT 3, SAID LINE ALSO BEING THE EAST LINE OF A PARCEL OF LAND CONVEYED BY DEED RECORDED IN BOOK 390, PAGE 463, OF THE RECORDS OF THE CLERK AND RECORDER OF THE COUNTY OF ROUTT, STATE OF COLORADO; THENCE S86°20'46"W 46.0 FEET ALONG THE SOUTH LINE OF SAID PARCEL; THENCE N26°32'46"E 92.13 FEET MORE OR LESS TO A POINT ON THE EASTERLY LINE OF SAID PARCEL; THENCE S03°24'21"E 8.0 FEET ALONG SAID LINE TO THE POINT OF BEGINNING.

CALL UTILITY NOTIFICATION CENTER OF
COLORADO



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.



PROJECT:	2136-017	NO.	DATE:	BY:	DESCRIPTION:
DATE:	3/14/22				
CONTACT:	Ryan Spaulst				
EMAIL:	ryans@landmark.co.com				

Village Dr Townhomes Civil Construction Drawings

Existing Conditions Plan

SHEET

C.003

OF 9 SHEETS



NOTES:

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4. BASIS OF BEARINGS: THE W LINE OF THE NW1/4 SECTION 27, T8N, R68W, 6TH P.M., BEING MONUMENTED AS SHOWN HEREON AND BEARING N01°40'00"E BASED ON NAD83(2011) COLORADO NORTH ZONE COORDINATE SYSTEM.
5. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
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8. THERE ARE NO BUILDINGS ON THE SUBJECT PROPERTY.
9. THE SUBJECT PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DETERMINED BY THE F.E.M.A. RISK MANAGEMENT RATE MAP NUMBER 0810703B63D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
10. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
11. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.

PROPERTY DESCRIPTION:

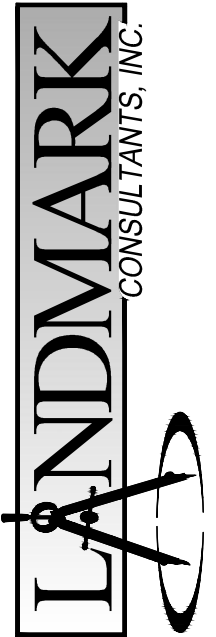
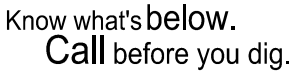
A TRACT OF LAND SITUATED IN THE COUNTY OF ROUTT AND STATE OF COLORADO, AND BEING A TRACT OF LAND IN THE NW1/4 NW1/4 SW1/4 OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

BE BEGINNING AT THE NW CORNER OF THE SW 1/4 OF SAID SECTION 27, THENCE S0° 15'34"E ALONG THE WEST LINE OF THE SW 1/4 OF SAID SECTION 27 A DISTANCE OF 340.59 FEET; THENCE N86°20'46"E A DISTANCE OF 258.68 FEET TO THE TRUE POINT OF BEGINNING; THENCE N86°20'46"E A DISTANCE OF 108.60 FEET; THENCE N03°39'14"W A DISTANCE OF 290.00 FEET; THENCE S86°20'46"W A DISTANCE OF 91.40 FEET; THENCE S00° 15'34"E A DISTANCE OF 290.51 FEET TO THE TRUE POINT OF BEGINNING.

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BEGINNING AT THE NORTHERMOST NORTHWEST CORNER OF LOT 3, SUNRAY MEADOWS FILING NO. 1, AS SHOWN BY LOCATING MAP FILE WITH THE CLERK AND RECORDER OF THE COUNTY OF ROUTT, STATE OF COLORADO, FILE NO. 7279, THENCE S03°24'21"E, 71.63 FEET ALONG THE WESTERLY LINE OF SAID LOT 3, SAID LINE ALSO BEING THE EAST LINE OF A PARCEL OF LAND CONVEYED BY DEED RECORDED IN BOOK 390, PAGE 463, OF THE RECORDS OF THE CLERK AND RECORDER OF THE COUNTY OF ROUTT, STATE OF COLORADO; THENCE S86°20'46"W 46.0 FEET ALONG THE SOUTH LINE OF SAID PARCEL; THENCE N26°32'46"E 92.13 FEET MORE OR LESS TO A POINT ON THE EASTERLY LINE OF SAID PARCEL; THENCE S03°24'21"E 8.0 FEET ALONG SAID LINE TO THE POINT OF BEGINNING.

CALL UTILITY NOTIFICATION CENTER OF
COLORADO



These drawings are instruments of service provided by Landmark Consultants, Inc. and are not to be used for any type of construction or contracting unless signed and sealed by a Professional Engineer in the employ of Landmark Consultants, Inc.

PROJECT:	NO.	DATE:	BY:	DESCRIPTION:
2396-417				
DATE: 3/14/22				
CONTACT: Ryan Spasiat				
EMAIL: ryans@landmark-co.com				

Village Dr Townhomes Civil Construction Drawings

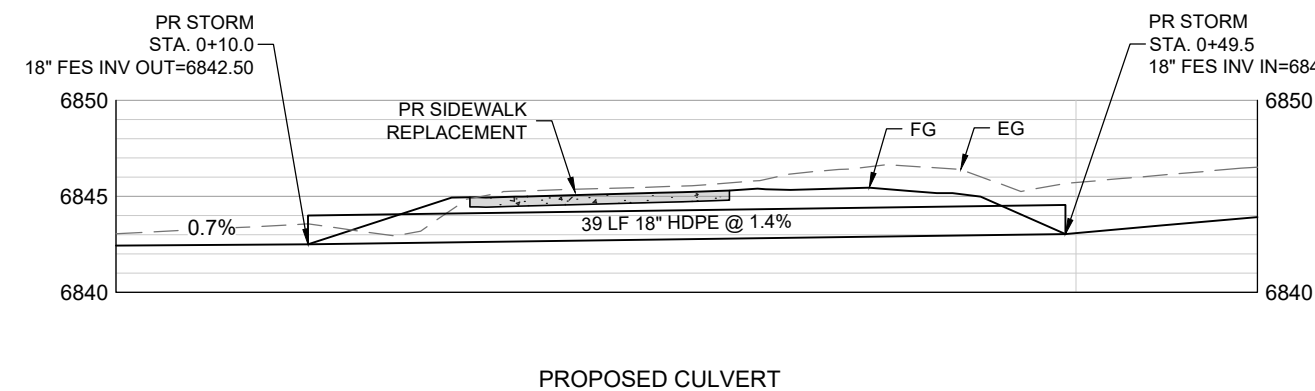
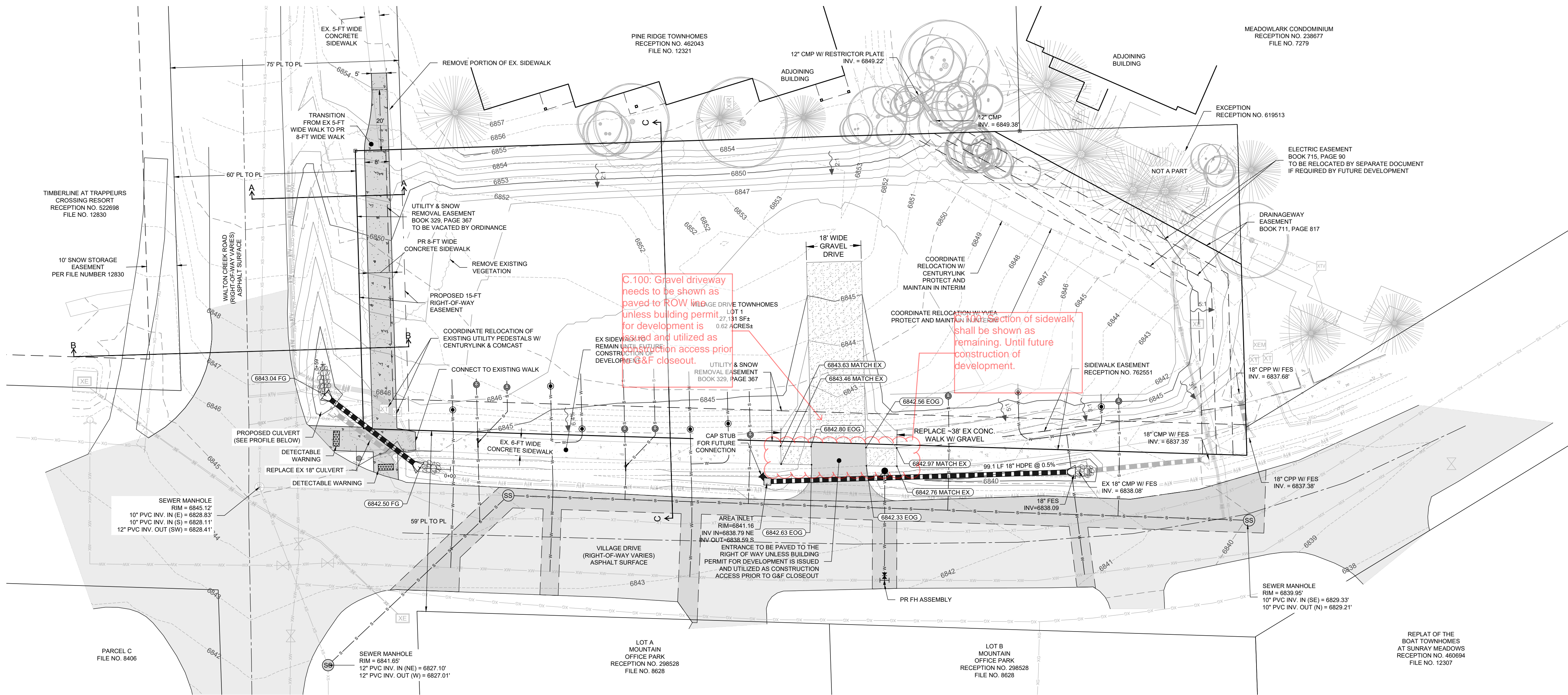
Existing Conditions Plan

SHEET

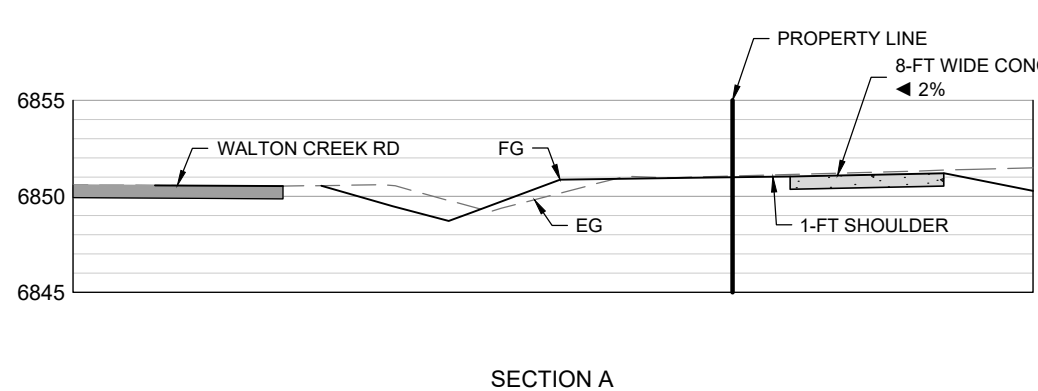
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OF 9 SHEETS

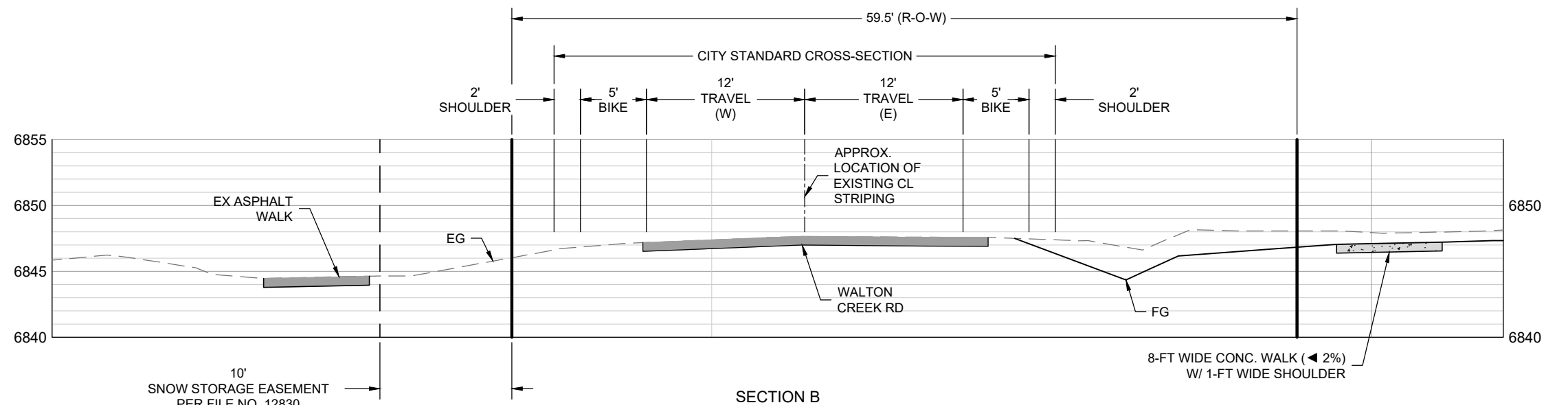
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LIST OF REVISIONS: (X) (MAY) (G) (E) (M) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z) (AA) (AB) (AC) (AD) (AE) (AF) (AG) (AH) (AI) (AJ) (AK) (AL) (AM) (AN) (AO) (AP) (AQ) (AR) (AS) (AT) (AU) (AV) (AW) (AX) (AY) (AZ) (BA) (BB) (BC) (BD) (BE) (BF) (BG) (BH) (BI) (BJ) (BK) (BL) (BM) (BN) (BO) (BP) (BQ) (BR) (BS) (BT) (BU) (BV) (BW) (BX) (BY) (BZ) (CA) (CB) (CC) (CD) (CE) (CF) (CG) (CH) (CI) (CJ) (CK) (CL) (CM) (CN) (CO) (CP) (CQ) (CR) (CS) (CT) (CU) (CV) (CW) (CX) (CY) (CZ) (DA) (DB) (DC) (DD) (DE) (DF) (DG) (DH) (DI) (DJ) (DK) (DL) (DM) (DN) (DO) (DP) (DQ) (DR) (DS) (DT) (DU) (DV) (DW) (DX) (DY) (DZ) (EA) (EB) (EC) (ED) (EE) (EF) (EG) (EH) (EI) (EJ) (EK) (EL) (EM) (EN) (EO) (EP) (EQ) (ER) (ES) (ET) (EU) (EV) (EW) (EX) (FY) (FZ) (GA) (GB) (GC) (GD) (GE) (GF) (GG) (GH) (GI) (GJ) (GK) (GL) (GM) (GN) (GO) (GP) (GQ) (GR) (GS) (GT) (GU) (GV) (GW) (GX) (GY) (GZ) (HA) (HB) (HC) (HD) (HE) (HF) (HG) (HH) (HI) (HJ) (HK) (HL) (HM) (HN) (HO) (HP) (HQ) (HR) (HS) (HT) (HU) (HV) (HW) (HX) (HY) (HZ) (IA) (IB) (IC) (ID) (IE) (IF) (IG) (IH) (II) (IJ) (IK) (IL) (IM) (IN) (IO) (IP) (IQ) (IR) (IS) (IT) (IU) (IV) (IW) (IX) (IY) (IZ) (JA) (JB) (JC) (JD) (JE) (JF) (JG) (JH) (JI) (JJ) (JK) (JL) (JM) (JN) (JO) (JP) (JQ) (JR) (JS) (JT) (JU) (JV) (JW) (JX) (JY) (JZ) (KA) (KB) (KC) (KD) (KE) (KF) (KG) (KH) (KI) (KJ) (KK) (KL) (KM) (KN) (KO) (KP) (KQ) (KR) (KS) (KT) (KU) (KV) (KW) (KX) (KY) (KZ) (LA) (LB) (LC) (LD) (LE) (LF) (LG) (LH) (LI) (LJ) (LK) (LL) (LM) (LN) (LO) (LP) (LQ) (LR) (LS) (LT) (LU) (LV) (LW) (LX) (LY) (LZ) (MA) (MB) (MC) (MD) (ME) (MF) (MG) (MH) (MI) (MJ) (MK) (ML) (MN) (MO) (MP) (MQ) (MR) (MS) (MT) (MU) (MV) (MW) (MX) (MY) (MZ) (NA) (NB) (NC) (ND) (NE) (NF) (NG) (NH) (NI) (NJ) (NK) (NL) (NM) (NO) (NP) (NQ) (NR) (NS) (NT) (NU) (NV) (NW) (NX) (NY) (NZ) (OA) (OB) (OC) (OD) (OE) (OF) (OG) (OH) (OI) (OJ) (OK) (OL) (OM) (ON) (OO) (OP) (OQ) (OR) (OS) (OT) (OU) (OV) (OW) (OX) (OY) (OZ) (PA) (PB) (PC) (PD) (PE) (PF) (PG) (PH) (PI) (PJ) (PK) (PL) (PM) (PN) (PO) (PP) (PQ) (PR) (PS) (PT) (PU) (PV) (PW) (PX) (PY) (PZ) (QA) (QB) (QC) (QD) (QE) (QF) (QG) (QH) (QI) (QJ) (QK) (QL) (QM) (QN) (QO) (QP) (QQ) (QR) (QS) (QT) (QU) (QV) (QW) (QX) (QY) (QZ) (RA) (RB) (RC) (RD) (RE) (RF) (RG) (RH) (RI) (RJ) (RK) (RL) (RM) (RN) (RO) (RP) (RQ) (RR) (RS) (RT) (RU) (RV) (RW) (RX) (RY) (RZ) (SA) (SB) (SC) (SD) (SE) (SF) (SG) (SH) (SI) (SJ) (SK) (SL) (SM) (SN) (SO) (SP) (SQ) (SR) (SS) (ST) (SU) (SV) (SW) (SX) (SY) (SZ) (TA) (TB) (TC) (TD) (TE) (TF) (TG) (TH) (TI) (TJ) (TK) (TL) (TM) (TN) (TO) (TP) (TQ) (TR) (TS) (TT) (TU) (TV) (TW) (TX) (TY) (TZ) (UA) (UB) (UC) (UD) (UE) (UF) (UG) (UH) (UI) (UJ) (UK) (UL) (UM) (UN) (UO) (UP) (UQ) (UR) (US) (UT) (UU) (UV) (UW) (UX) (UY) (UZ) (VA) (VB) (VC) (VD) (VE) (VF) (VG) (VH) (VI) (VJ) (VK) (VL) (VM) (VN) (VO) (VP) (VQ) (VR) (VS) (VT) (VU) (VV) (VW) (VX) (VY) (VZ) (WA) (WB) (WC) (WD) (WE) (WF) (WG) (WH) (WI) (WJ) (WK) (WL) (WM) (WN) (WO) (WP) (WQ) (WR) (WS) (WT) (WU) (WV) (WW) (WX) (WY) (WZ) (XA) (XB) (XC) (XD) (XE) (XF) (XG) (XH) (XI) (XJ) (XK) (XL) (XM) (XN) (XO) (XP) (XQ) (XR) (XS) (XT) (XU) (XV) (XW) (XX) (XY) (XZ) (YA) (YB) (YC) (YD) (YE) (YF) (YG) (YH) (YI) (YJ) (YK) (YL) (YM) (YN) (YO) (YP) (YQ) (YR) (YS) (YT) (YU) (YV) (YW) (YX) (YY) (YZ) (ZA) (ZB) (ZC) (ZD) (ZE) (ZF) (ZG) (ZH) (ZI) (ZJ) (ZK) (ZL) (ZM) (ZN) (ZO) (ZP) (ZQ) (ZR) (ZS) (ZT) (ZU) (ZV) (ZW) (ZX) (ZY) (ZZ)



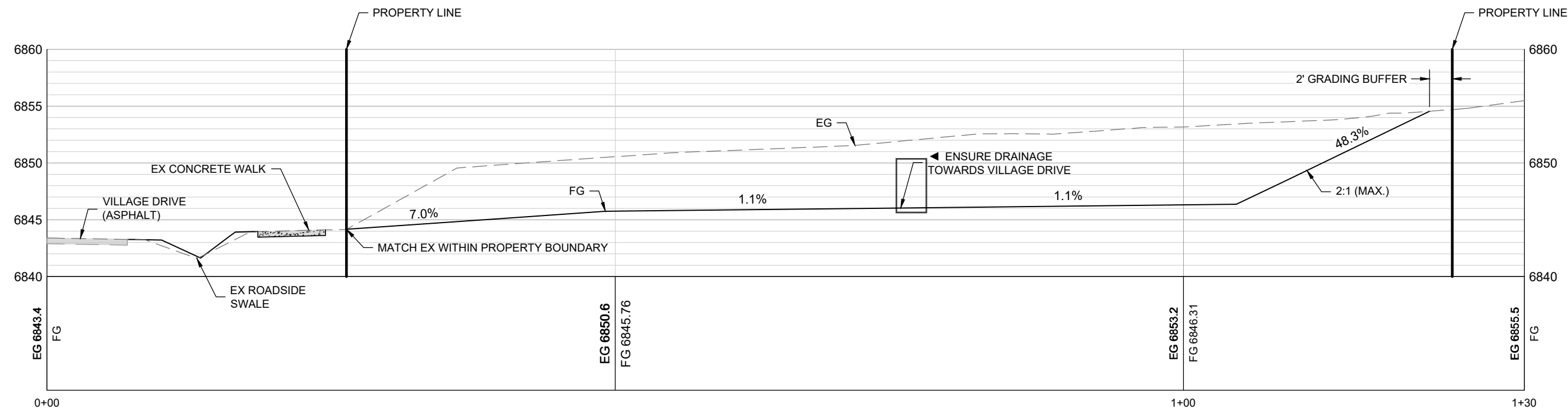
PROPOSED CULVERT



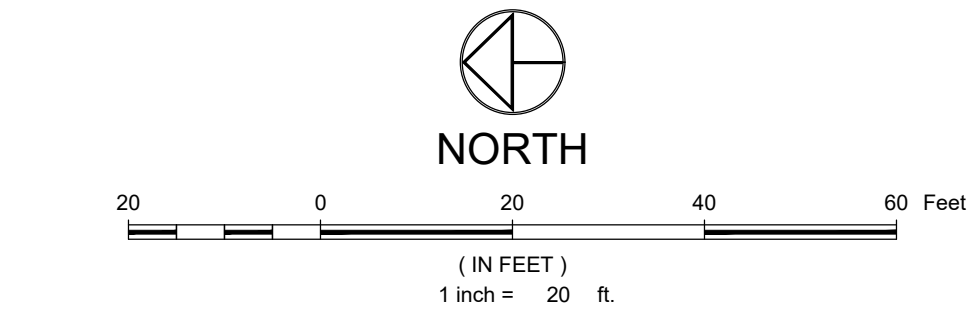
SECTION A



SECTION B



SECTION C

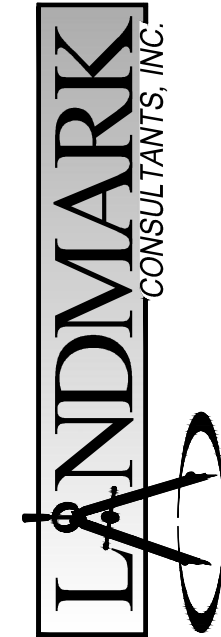
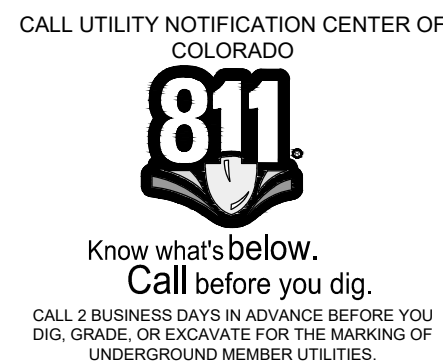


LEGEND:

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EASEMENT
- SECTION LINE
- CENTERLINE
- FOUND MONUMENT
- FOUND SECTION CORNER
- BUILDING
- ROOF LINE/OVERHANG
- DECK
- WALL
- FENCE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ASPHALT
- CONCRETE
- SNOWMELT CONCRETE
- GRAVEL
- SIGN
- PROPOSED SANITARY SEWER W/ MH
- EXISTING SANITARY SEWER W/ MH
- PROPOSED WATER
- PROPOSED GV, FH & CS
- EXISTING WATER
- GAS
- GAS METER AND MANHOLE/VAULT
- CABLE
- CABLE PEDESTAL
- FIBER OPTIC
- TELEPHONE
- TELEPHONE PEDESTAL AND MANHOLE/VAULT
- ELECTRIC
- ELECTRIC PED. JUNCTION BOX AND METER
- LIGHT POLE AND LIGHT POLE W/ MAST
- OVERHEAD ELECTRIC
- UTILITY POLE AND GUY WIRE
- DITCH/SWALE
- EXISTING STORM SEWER W/ FES
- PROPOSED STORM SEWER W/ FES
- INLET AND STORM MANHOLE
- OVERLAND AND CHANNEL FLOW ARROWS
- CONIFEROUS AND DECIDUOUS TREE

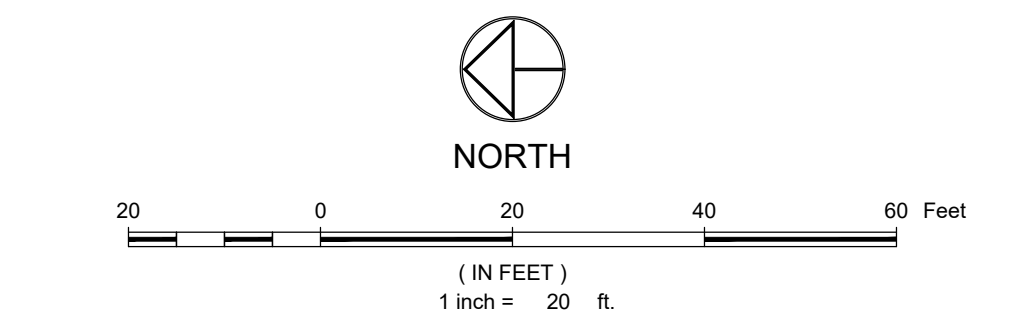
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- THIS SITE CONTAINS A CALCULATED AREA OF 27,131 SQUARE FEET OR 0.62 ACRES.
- THE LAST FIELD INSPECTION OF THIS SITE WAS ON DECEMBER 13, 2019.
- THE LAST FIELD INSPECTION OF THE SITE WAS ON DECEMBER 13, 2019. AT TIME OF SURVEY, SNOW COVERED THE GROUND. DUE TO SNOW CONDITIONS, SOME IMPROVEMENTS AND FEATURES MAY HAVE BEEN OBTAINED AND MAY NOT BE SHOWN HEREON.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DETERMINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 081070383D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
- THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
- ALL DRIVEWAYS SHALL BE SNOWMELTED.
- PROJECT SHALL USE ROLL OUT CURB SIDE TRASH SERVICES.



THIS DRAWING IS THE PROPERTY OF LANDMARK CONSULTANTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LANDMARK CONSULTANTS, INC.

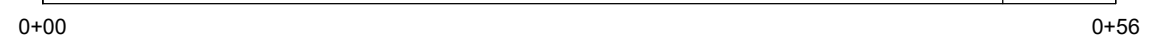
NO.	DATE	BY	DESCRIPTION
1	2/13/2017		PROJECT: 27131-017
2	3/14/22		DATE: 3/14/22
3			CONTACT: Ryan Stausat
4			EMAIL: ryan@landmark-co.com



PROPOSED SANITARY SEWER W/ MH & C.O.
EXISTING SANITARY SEWER W/ MH & C.O.
PROPOSED WATER
PROPOSED GV, FH & CS
EXISTING WATER
ASPHALT
CONCRETE
SNOWMELT CONCRETE
GRAVEL

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROPRIATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
- MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
- MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
- ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- SEWER SERVICE SHALL HAVE A MINIMUM OF 4'-FT OF COVER.
- WATER SERVICE SHALL HAVE A MINIMUM OF 4'-FT OF COVER.
- ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVICO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
- ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
- ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.





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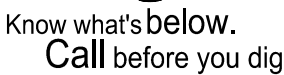
[illegible]

PROPERTY BOUNDARY

- [illegible]

1. ALL REFERENCES HEREON TO BOOKS, PAGES, FILE. RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
2. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE GRANTOR THE SAME.
3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
4. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFEACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
5. THIS SITE CONTAINS A CALCULATED AREA OF 27,131 SQUARE FEET OR 0.62 ACRES.
6. THE LAST FIELD INSPECTION OF THIS SITE WAS ON DECEMBER 13, 2019
7. THE LAST FIELD INSPECTION OF THE SITE WAS ON DECEMBER 13, 2019 AT TIME OF SURVEY. SNOW COVERED THE GROUND. DUE TO SNOW CONDITIONS, SOME IMPROVEMENTS AND FEATURES MAY HAVE BEEN OBSERVED AND MAY NOT BE SHOWN HEREON.
8. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE IN THE 1% ANNUAL CHANCE FLOODPLAIN, AS DETERMINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 08107CR083D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
9. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
10. ALL DRIVEWAYS SHALL BE SNOWMELEDED.
11. PROJECT SHALL USE ROLL OUT CURB SIDE TRASH SERVICES.

CALL UTILITY NOTIFICATION CENTER OF



2 BUSINESS DAYS IN ADVANCE BEFORE
GRADE, OR EXCAVATE FOR THE MARK
UNDERGROUND MEMBER UTILITIES



LANDMARK
CONSULTANTS INC.

These drawings are instruments of service provided by Landmark Consultants, Inc. and are not to be used for any type of construction or contracting unless signed and sealed by a Professional Engineer in the employ of Landmark Consultants, Inc.

[illegible]

PROJECT:	2138-017
DATE:	3/14/22
CONTACT:	Ryan Spaustat
EMAIL:	ryans@landmark-co.com

Water Plan & Profile

SHEET
C.120
OF 9 SHEETS

DRAWING FILENAME: P:\2136-017\DWG\Asa\Production Drawings\2136-017-FP-Water.dwg LAYOUT NAME: C-220 DATE: May 24, 2022 - 12:38pm CAD OPERATOR: Matt
 LIST OF XREFS: [2136-017-A-Blog] [2136-017-H-Hatch] [2136-017-S-Hatch] [2136-017-X-Ed] [881 - Log] [2136-017-X-Log] [2020 02 13 Village Dr. Townhouse Dev site plan] [2136-017-BORDER.dwg]

