

OWNERSHIP AND MAINTENANCE PLAN

for an EXTENDED DETENTION BASIN at SSRC

1. GENERAL PROJECT INFORMATION

A VACANT UNDEVELOPED LOT LOCATED AT THE RESORT BASE AREA AKA SKI TIMES SQUARE. THE PROPERTY HAS THE FOLLOWING LEGAL DESCRIPTION: TR IN SW4SW4 SEC 22-6-84 BOOK 407, PAGE 420 TOTAL .979A.

2. GENERAL FACILITY DESCRIPTION

THIS FACILITY IS AN EXTENDED DETENTION BASIN (EDB) THAT IS CAPABLE OF TREATING RUNOFF FOR WATER QUALITY CAPTURE VOLUME (WQCV) PER URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCD) REQUIREMENTS. THE FACILITY IS CAPABLE OF EFFECTIVELY REDUCING SEDIMENT LOADS AND OTHER POLLUTANTS ASSOCIATED WITH STORMWATER RUNOFF.

3. INSPECTION & MAINTENANCE FREQUENCY & PROCEDURE

THE FOLLOWING TABLE PROVIDES A MAINTENANCE SCHEDULE FOR THE PROPOSED GRASS LINED SWALE:

Extended Detention Basin Maintenance Considerations		
Required Action	Maintenance Objective	Frequency of Action
Mowing	Occasional mowing to limit unwanted Vegetation. Maintain irrigated turf grass As 2 to 4 inches tall and non-irrigated native Turf grasses at 4 to 6 inches.	Routine - Depending on aesthetic requirements.
Debris and litter removal	Remove debris and litter from the entire Pond to minimize outlet clogging and improve aesthetics. Outlet structure Trash racks should be clear of any blockage.	Routine - including just before annual storm seasons (that is, April and May) and Following significant rainfall Events.
Erosion and sediment control	Repair and revegetate eroded areas on slopes.	Nonroutine -Periodic and Repair as necessary based on Inspection.
Structural	Repair pond inlets, outlets, forebays, Low flow channel liners, and energy Dissipators whenever damage is discovered.	Nonroutine- Repair as needed based on regular inspections.
Inspections	Inspect basins to ensure that the basin Continues to function as initially intended. Examine the outlet for clogging, erosion, Slumping, excessive sedimentation Levels, overgrowth, embankment and Spillway integrity, and damage to any Structural element.	Routine -Annual inspection Hydraulic and structural facilities. Also check for obvious problems during routine maintenance visits, especially for plugging of Outlets.
Nuisance control	Address odor, insects, and overgrowth Issues associated with stagnant or Standing water in the bottom zone.	Nonroutine- Handle as necessary per inspection Or local complaints.

4. EQUIPMENT, STAFFING AND VEGETATION MANAGEMENT

GENERAL LANDSCAPING TOOLS SUCH AS LAWNMOWER, WEED WHACKER, SHOVEL, AND RAKE.

A. STAFFING: TBD BY OWNER

B. SEEDING: FOLLOWING COMPLETION OF CONSTRUCTION, A SEED MIX SHALL BE APPLIED TO ALL FINISHED GRADES THAT DO NOT HAVE A ROCK OR PAVEMENT FINISH. ADDITIONAL GRASS SEED SHOULD BE APPLIED TO BARE AREAS AS NEEDED WHILE VEGETATION ESTABLISHES.

C. MOWING: VEGETATION HEALTH SHOULD BE MAINTAINED IN THE EDB AREA WITH REGULAR MOWING AND/OR WEEDEATING. THE REQUIRED MOW AREA POST-CONSTRUCTION WAS ESTIMATED TO BE 0.02 ACRES.

D. UNDESIRABLE VEGETATION, WEEDS, AND DEBRIS: UNDESIRABLE VEGETATION AND NOXIOUS WEEDS SHOULD BE REMOVED REGULARLY BY THE LANDSCAPING STAFF. WEEDS SHOULD BE MOWED OR REMOVED. LEAVES AND OTHER DEBRIS SHOULD BE CLEARED OUT REGULARLY PER THE MAINTENANCE SCHEDULE.

1. SNOW AND ICE CONTROL

THE EDB WILL SERVE AS A SNOW STORAGE AREA DURING THE WINTER MONTHS. SNOW CAN BE PLOWED INTO THE EDB VIA THE PAVED DRIVE. PLOW OPERATORS SHALL TAKE CARE NOT TO DAMAGE THE EDB AND THE OUTLET STRUCTURE.

2. RIGHT-OF-WAY, ADJACENT OWNERSHIP & ACCESS

ACCESS INFORMATION AND DETAILS: ACCESS FROM SKI TIMES SQUARE DRIVE --> PAVED ACCESS DRIVE AND PUBLIC EASEMENT.

A. MAINTENANCE OPERATIONS MAY IMPACT THE PAVED ACCESS DRIVE. TRAFFIC CONES SHOULD BE USED AS NECESSARY TO MARK THE WORKING AND MOBILIZATION AREA AROUND THE ACCESS POINT. THE OWNER IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS SHOULD THEY BE NEEDED FOR ANY MAINTENANCE ACTIONS.

7. HYDRAULIC DESIGN

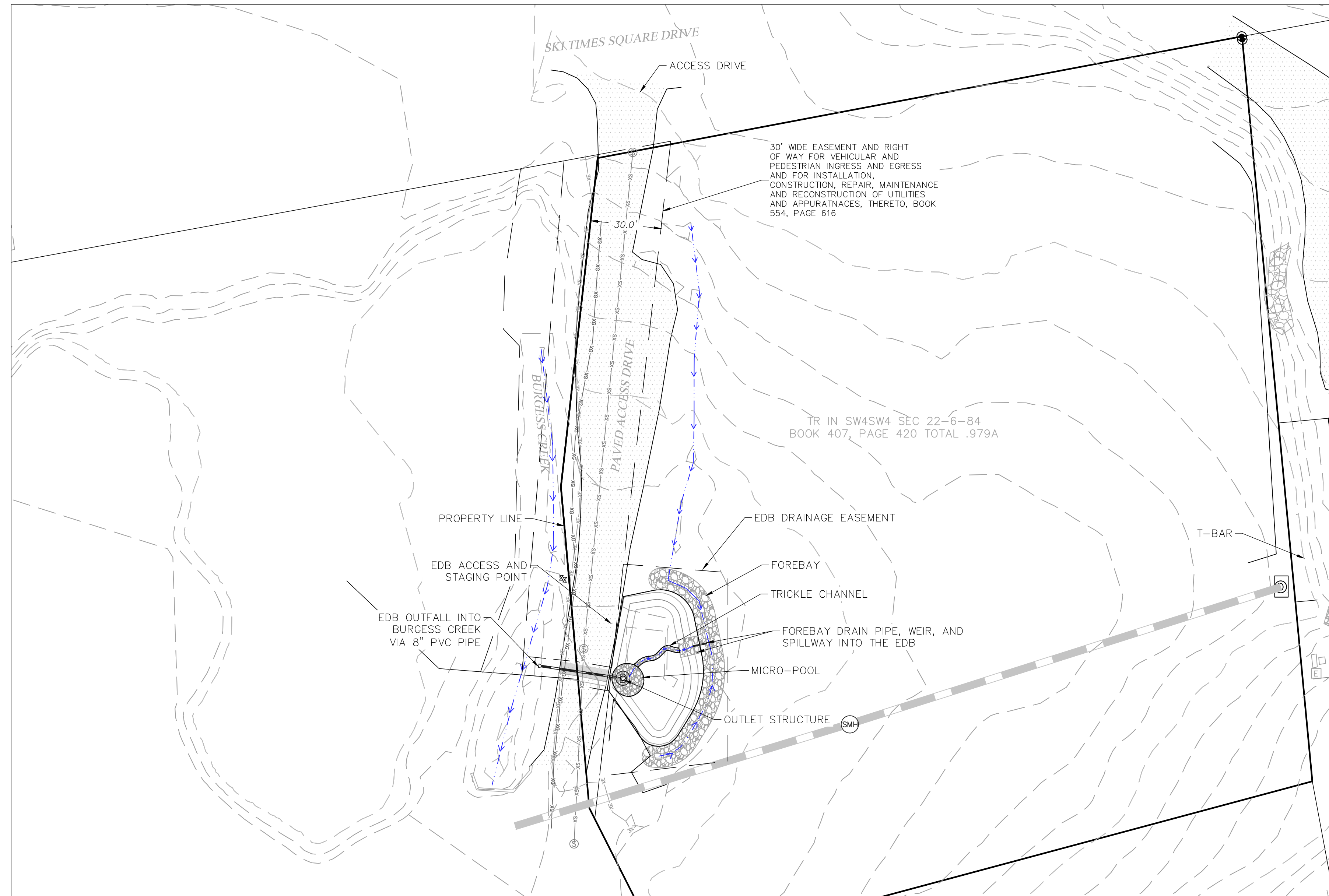
A. FLOWRATES (CFS)		
A.A. DESIGN EVENT (1.25 YEAR)		0.89 CFS
A.B. MINOR EVENT (5-YEAR)		2.50 CFS
A.C. MAJOR EVENT (100-YEAR)		9.80 CFS

8. SITE DISCHARGE AND RECEIVING WATERWAYS

THE EDB DISCHARGES INTO BURGESS CREEK AND THE YAMPA RIVER.

9. MISCELLANEOUS INFORMATION

A. PROJECT SURVEY: AN EXISTING CONDITIONS TOPOGRAPHIC SURVEY WAS PREPARED BY FOUR POINTS SURVEYING & ENGINEERING.



EXISTING CONDITIONS DRAINAGE/SITE PLAN

(SEE SHEET C2 FOR EDB DESIGN DETAILS)

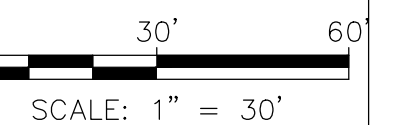


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INT	REVISIONS	DATE

SSRC - TORIAN PLUM EXTENDED
DETENTION BASIN
1965 SKI TIME SQUARE DR
STEAMBOAT SPRINGS, CO 80487

Horizontal Scale



SCALE: 1" = 30'

Contour Interval = 2 ft

DATE: 5/20/22
JOB #: 1670-001
DRAWN BY: JLW
DESIGN BY: JLW
REVIEW BY: RL

IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36" THE
GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING:
**OWNERSHIP,
OPERATION, AND
MAINTENANCE PLAN**

SHEET #

OMP