

1 LOWER LEVEL DEMO PLAN

1/4" = 1'-0"

GEN DEMO NOTES:

1. ALL ACTIVITY ON SITE SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
2. DEMOLITION IN THIS PHASE IS TO REVIEW CONDITIONS OF STRUCTURAL WALLS AND OTHER COMPONENTS. A SECOND PHASE OF DEMOLITION WILL BE REQUIRED FOR NEW CONSTRUCTION.
3. GENERAL CONTRACTOR SHALL ENSURE THE EXISTING STRUCTURAL INTEGRITY OF THE BUILDING IS MAINTAINED. ALL PLYWOOD ON EXTERIOR WALLS AND INTERIOR SHEAR WALLS WILL REMAIN IN PLACE. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE.
4. GENERAL CONTRACTOR TO PROTECT ALL ITEMS THAT ARE TO REMAIN OR BE RE-USED.
5. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ALL UTILITIES FOUND DURING CONSTRUCTION REQUIRING REMOVAL WHICH HAVE NOT OTHERWISE BEEN NOTED FOR REMOVAL IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH ARCHITECT AND OWNER.
6. GENERAL CONTRACTOR TO ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. NOTIFY OWNER AND THE AFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
7. GENERAL CONTRACTOR TO CONTACT FIRE MARSHALL WHEN DEMOLITION WORK IMPACTS USE OF EXISTING FIRE MITIGATION SYSTEM.
8. WHERE THE TERM "REMOVE" IS USED, THE CONTRACTOR SHALL DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE.
9. WHERE THE TERMS "REMOVE AND SALVAGE" ARE USED, THE CONTRACTOR SHALL DETACH ITEMS FROM EXISTING CONSTRUCTION AND REUSE THE EQUIPMENT ON THIS PROJECT OR RETURN TO THE OWNER. REUSED EQUIPMENT AND DEVICES ARE TO BE CLEANED OF ALL FOREIGN MATERIAL.
10. WHERE THE TERMS "REMOVE AND REINSTALL" ARE USED, THE CONTRACTOR SHALL DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE THEM FOR REUSE AND REINSTALL THEM WHERE INDICATED.
11. WHERE THE TERMS "EXISTING TO REMAIN" ARE USED, THE EXISTING ITEMS OF CONSTRUCTION ARE NOT TO BE REMOVED.
12. UNLESS OTHERWISE NOTED, REMOVE DESIGNATED CEILINGS, FLOORING, WINDOWS, DOORS AND FRAMES, PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
13. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION, NOTIFY ARCHITECT AND OWNER IMMEDIATELY. ISOLATE THE AFFECTED AREA AND DO NOT PROCEED WITHOUT FURTHER INSTRUCTIONS. THE WORK AREA SHALL BE COMPLETELY SEALED OFF DURING ABATEMENT. THE ARCHITECT SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE.
14. STRUCTURAL DEMOLITION, AS SHOWN ON THE DRAWINGS, SHALL BE REVIEWED ON SITE WITH THE ARCHITECT AND/OR ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
15. WHEREVER MECHANICAL, ELECTRICAL AND PLUMBING DEVICES ARE REMOVED, ALL PIPING AND/OR CONDUITS THAT ARE ABANDONED SHALL BE CAPPED OFF BELOW THE FLOOR, INSIDE THE WALLS, OR ABOVE THE CEILING EXCEPT WHERE NOTED OTHERWISE.
16. MECHANICAL/ELECTRICAL CONTRACTOR TO REMOVE ALL UNUSED WIRING TO PANEL BOXES.
17. REMOVE ABANDONED HVAC EQUIPMENT, DUCTWORK, ELECTRICAL DEVICES AND CONDUIT, WIRING DEVICES, LIGHT FIXTURES, PLUMBING LINES, PIPING, RISERS, DUCTS AND GRILLES FROM ALL AREAS, EXCEPT WHERE OTHERWISE INDICATED ON THE DRAWINGS. CAP AND IDENTIFY EXPOSED UTILITIES.
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20. REMOVE SIDING FROM EXISTING EXTERIOR WALLS. VERIFY INTEGRITY OF EXISTING SHEATHING AND REPLACE AS REQUIRED.
21. LEAVE ROOFING, FASCIA, GUTTERS, UNTIL NEW WORK COMMENCES. GUTTERS WILL BE DEMO'D IN THIS PHASE.

SHEET KEY NOTES

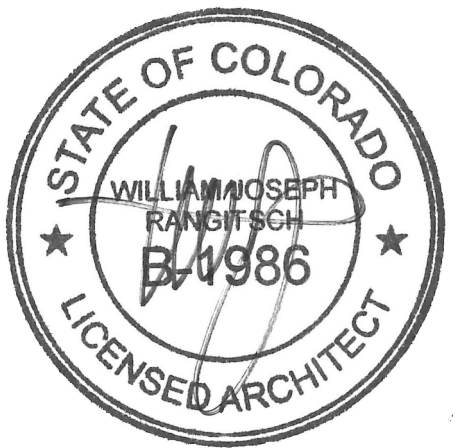
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DEMO LEGEND

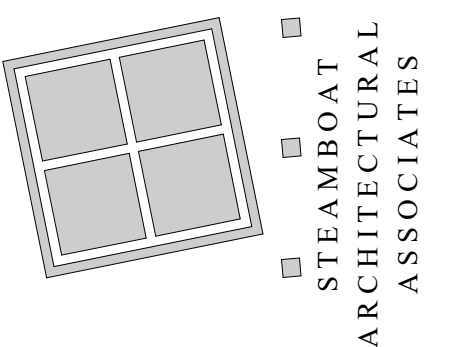
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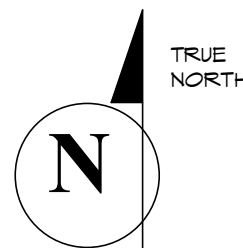
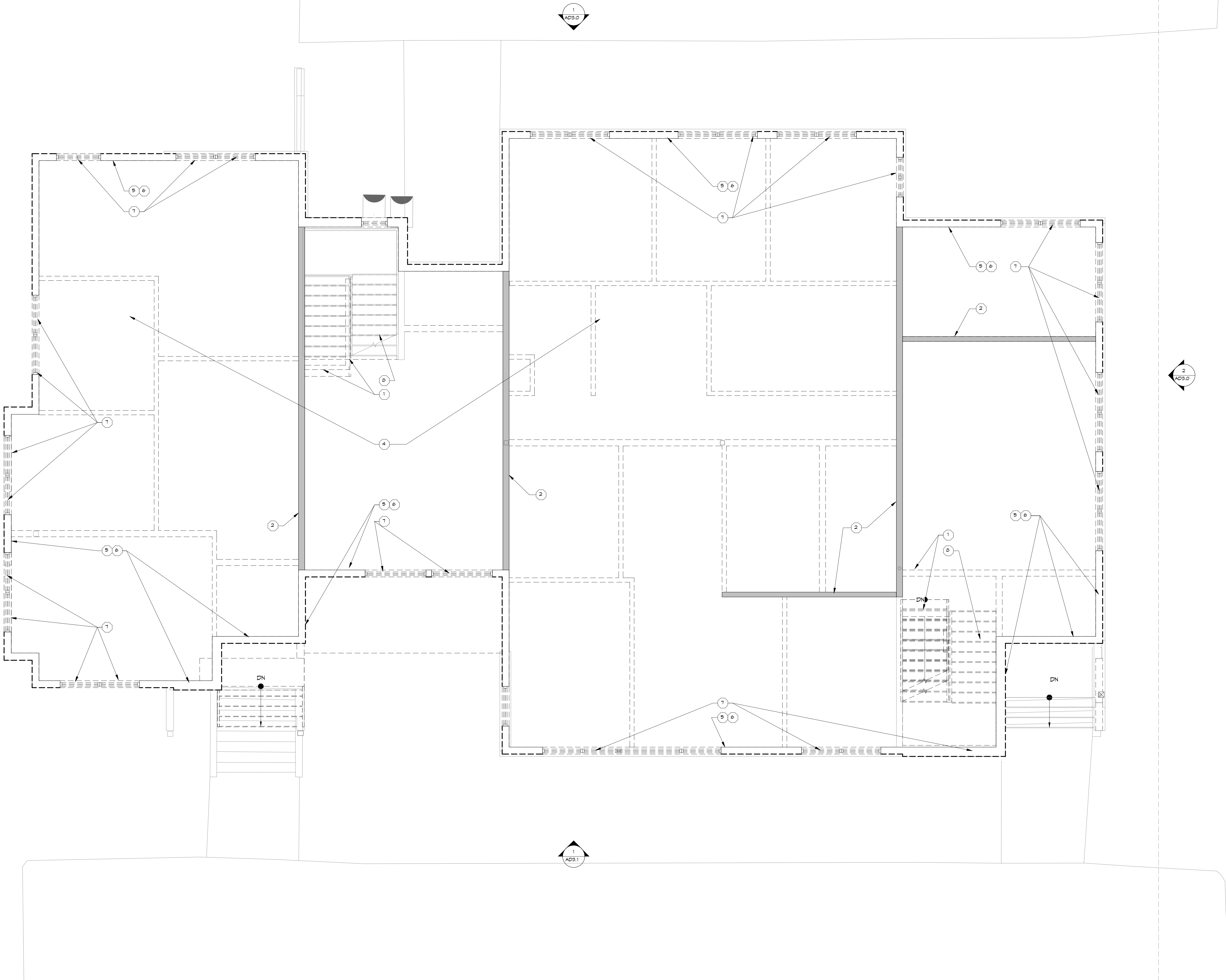
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A Townhouse Development at the
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1 MAIN LEVEL DEMO PLAN

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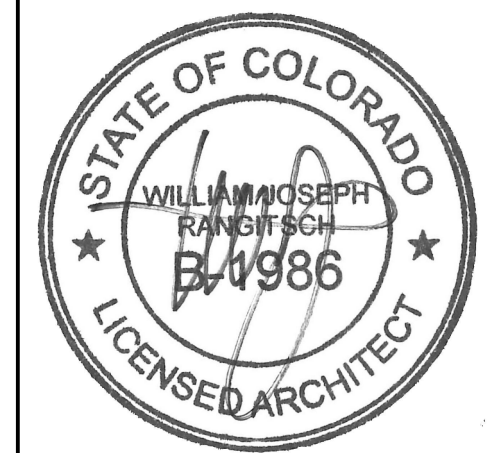
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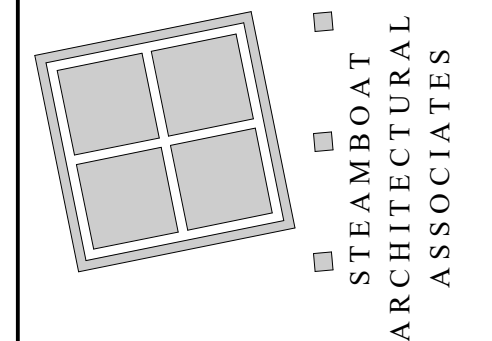
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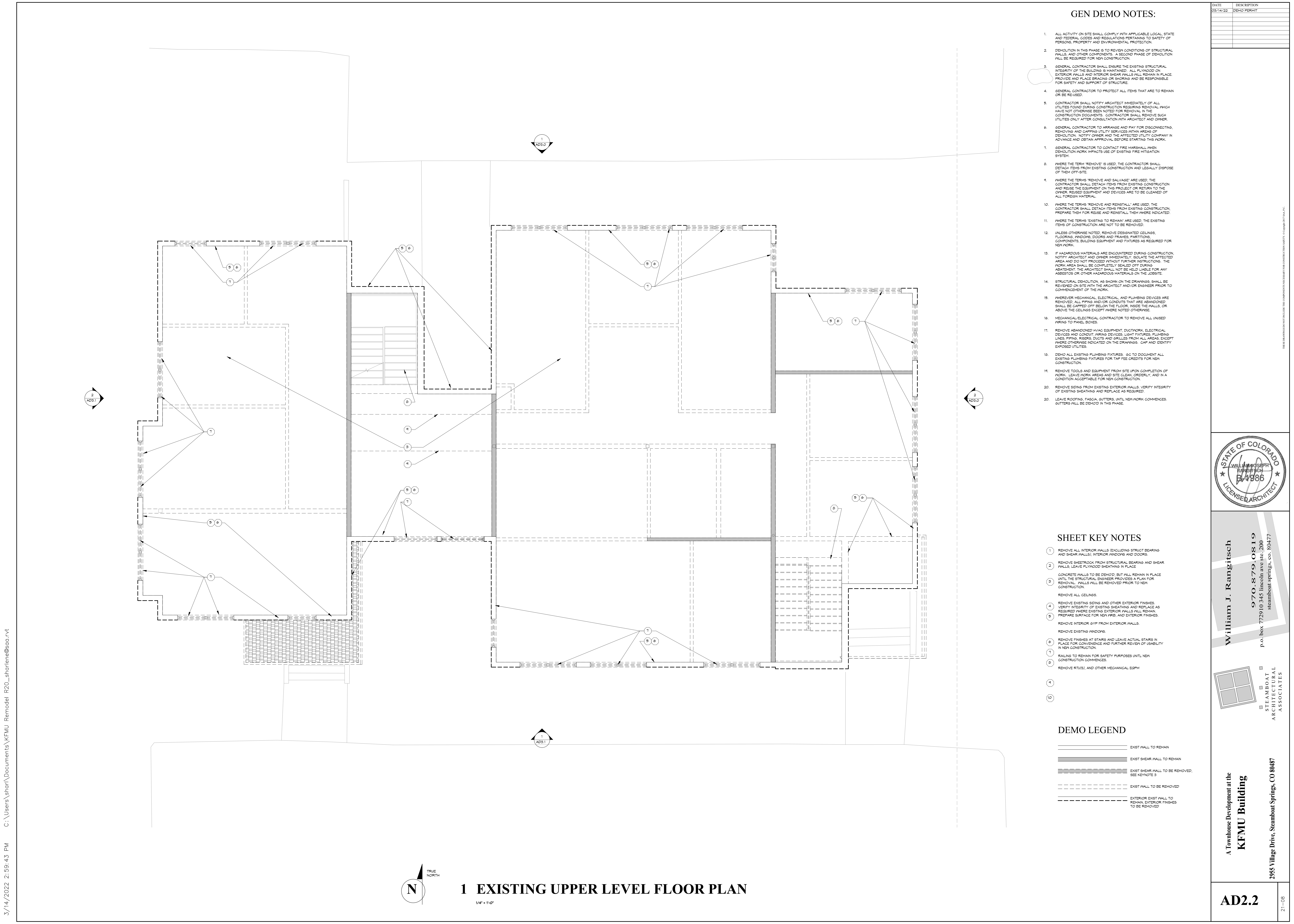
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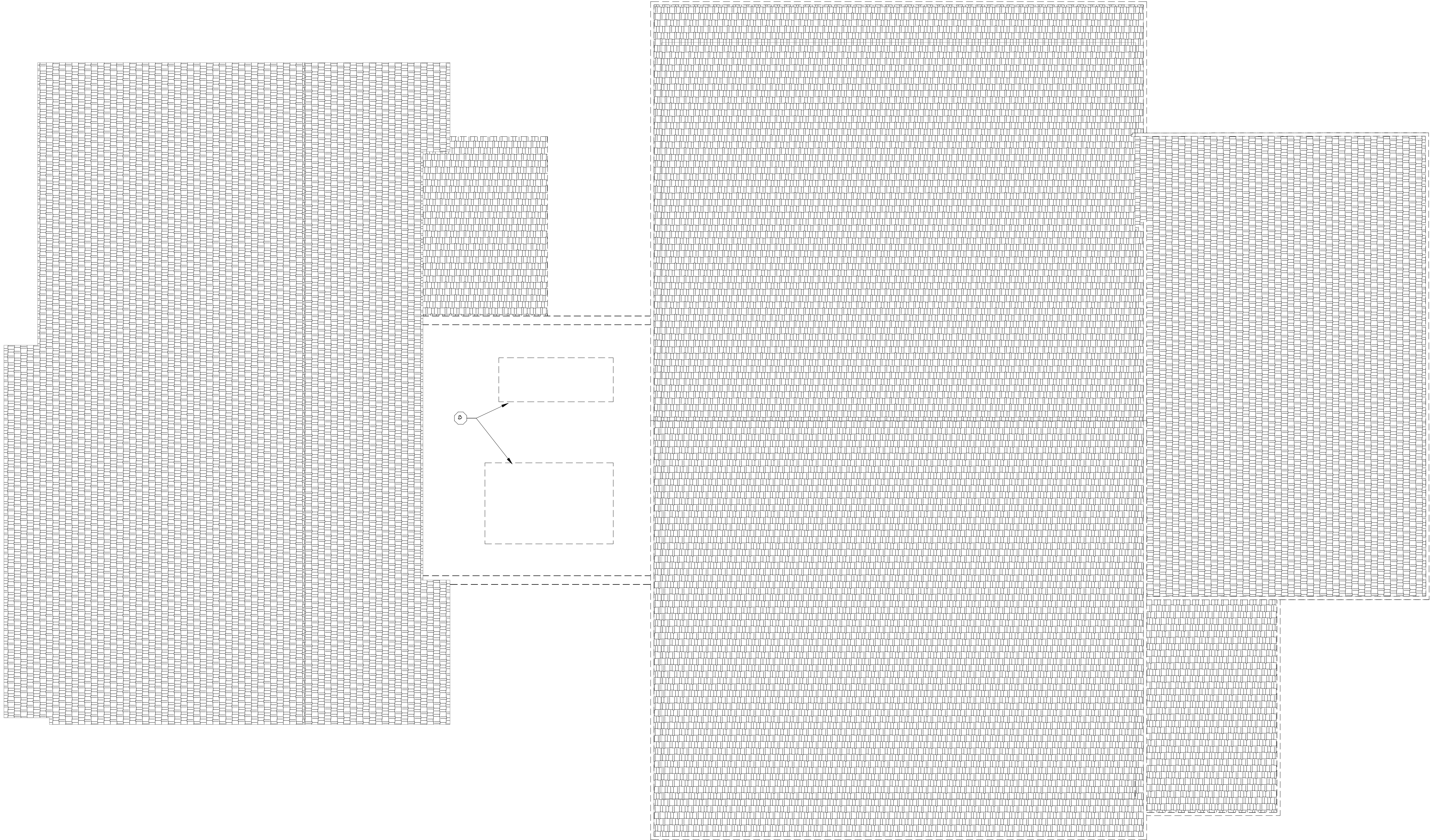
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STEAMBOAT
ARCHITECTURAL
ASSOCIATES

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AD2.2

21-08



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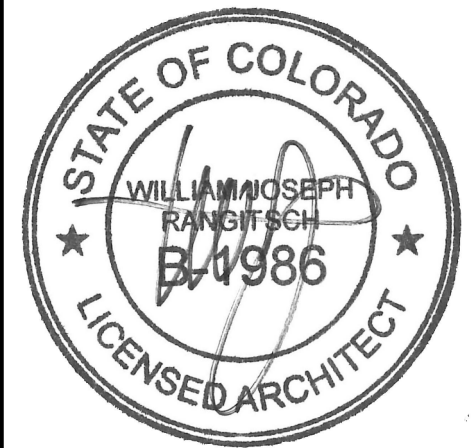
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2. CONTRACTOR TO PROTECT EXISTING ROOF DURING CONSTRUCTION AS NECESSARY.
3. WHERE PENETRATIONS OCCUR IN EXISTING ROOF DUE TO NEW CONSTRUCTION, ROOF SHALL BE TEMPORARILY PATCHED AND REPAIRED. UNTIL NEW ROOFING AND FLASHING CAN BE INSTALLED.
4. EXISTING ROOFING MEMBRANE TO BE DEMOLISHED FOR ENTIRE EXISTING BUILDING. VERIFY INTEGRITY OF EXISTING SHEATHING AND REPLACE AS REQUIRED.
5. CONTRACTOR TO VERIFY CONDITION OF ROOF COMPONENTS BELOW MEMBRANE AND NOTIFY ARCHITECT AND OWNER PRIOR TO INSTALLING NEW ROOF MEMBRANE.
6. DO NOT OVERCUT OPENINGS IN ROOF.
7. REFER TO STRUCTURAL FOR ADDITIONAL STEEL REINFORCEMENT OF EXISTING ROOF AT NEW ROOF TOP EQUIPMENT LOCATIONS.
8. REMOVE EXISTING RTUB AND OTHER MECHANICAL EQUIPMENT.

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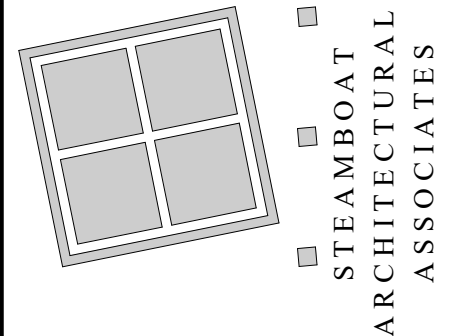
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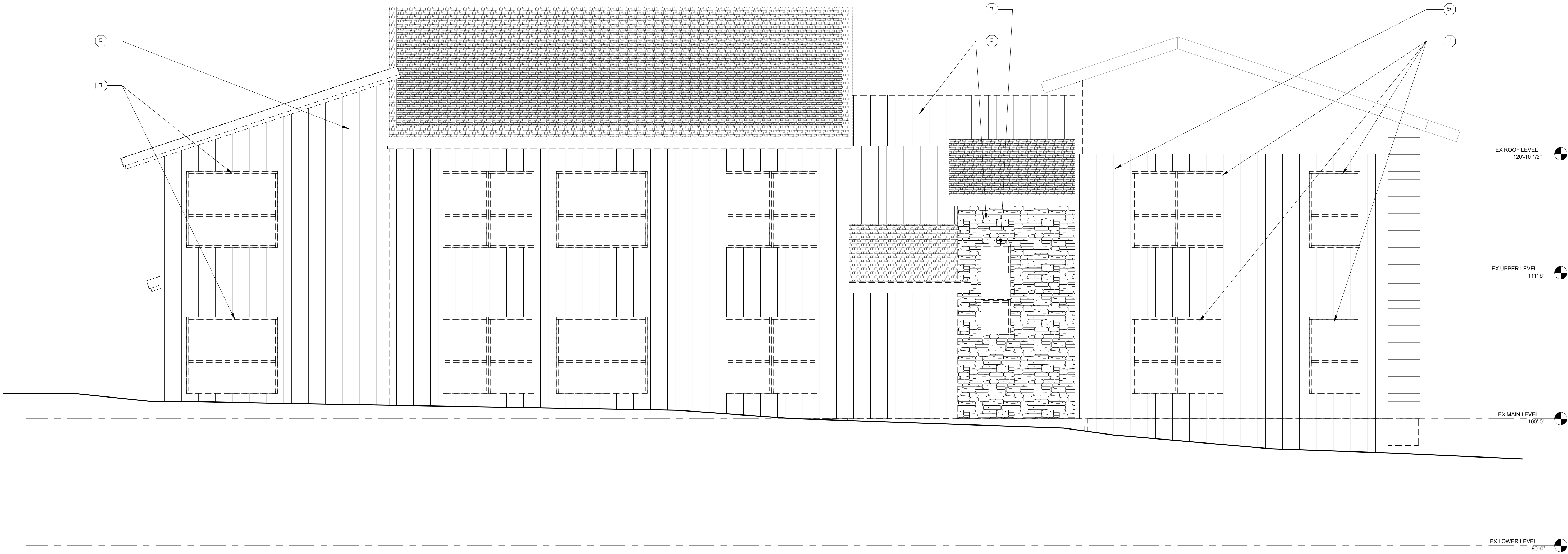
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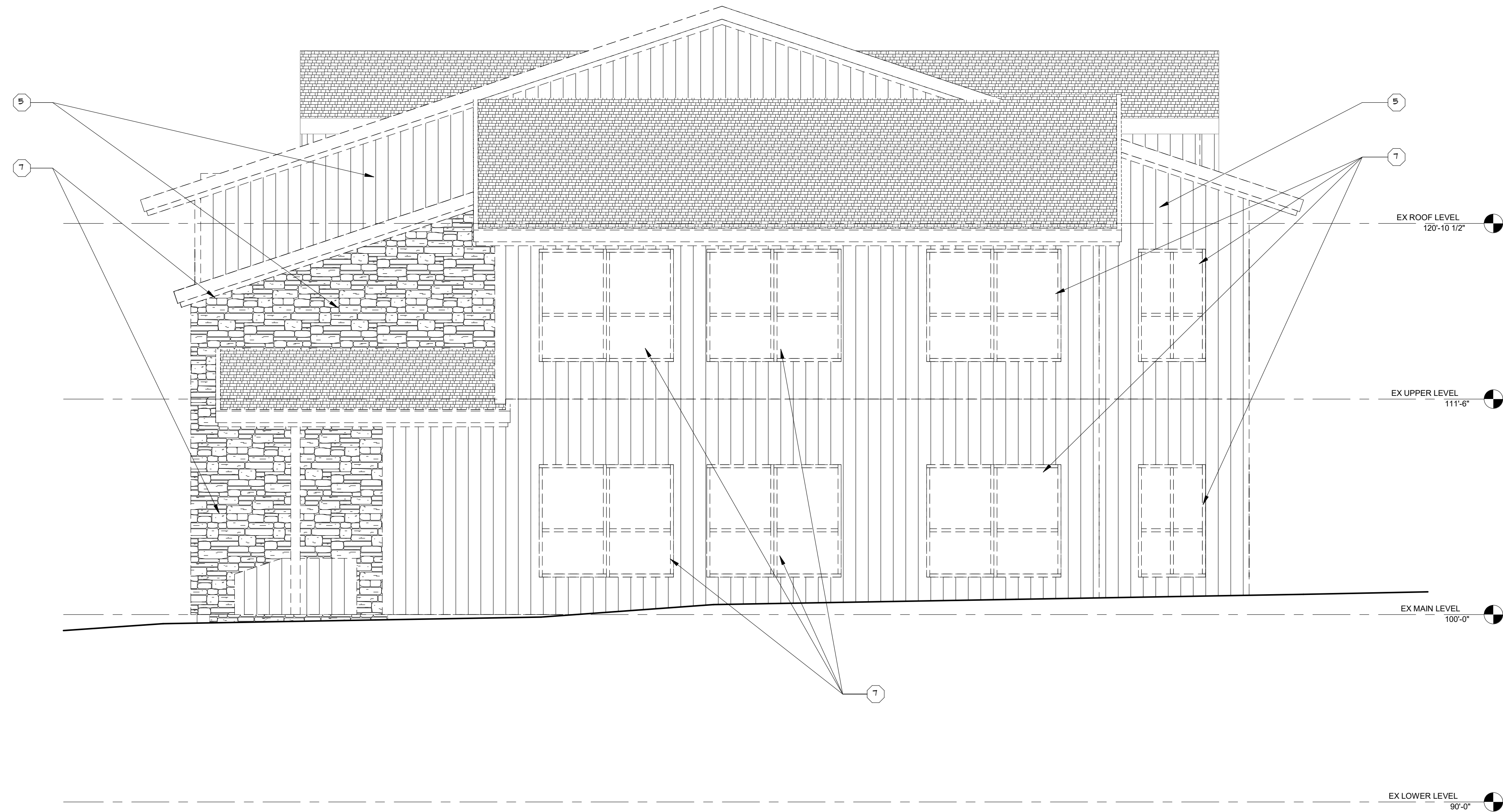


A Townhouse Development at the
KFMU Building
2955 Village Drive, Steamboat Springs, CO 80487



1 NORTH ELEVATION

1/4" = 1'-0"



2 EAST ELEVATION

1/4" = 1'-0"

GEN DEMO NOTES:

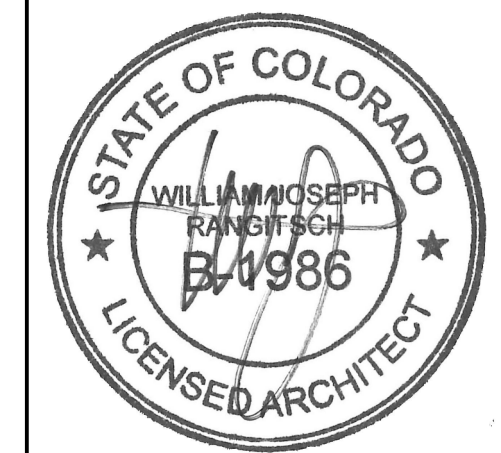
1. ALL ACTIVITY ON SITE SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
2. DEMOLITION IN THIS PHASE IS TO REVIEW CONDITIONS OF STRUCTURAL WALLS AND OTHER COMPONENTS. A SECOND PHASE OF DEMOLITION WILL BE REQUIRED FOR NEW CONSTRUCTION.
3. GENERAL CONTRACTOR SHALL ENSURE THE EXISTING STRUCTURAL INTEGRITY OF THE BUILDING IS MAINTAINED. ALL PLYWOOD ON EXTERIOR WALLS AND INTERIOR SHEAR WALLS WILL REMAIN IN PLACE. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE.
4. GENERAL CONTRACTOR TO PROTECT ALL ITEMS THAT ARE TO REMAIN OR BE RE-USED.
5. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ALL UTILITIES FOUND DURING CONSTRUCTION REQUIRING REMOVAL WHICH HAVE NOT OTHERWISE BEEN NOTED FOR REMOVAL IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH ARCHITECT AND OWNER.
6. GENERAL CONTRACTOR TO ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. NOTIFY OWNER AND THE AFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
7. GENERAL CONTRACTOR TO CONTACT FIRE MARSHALL WHEN DEMOLITION WORK IMPACTS USE OF EXISTING FIRE MITIGATION SYSTEM.
8. WHERE THE TERM "REMOVE" IS USED, THE CONTRACTOR SHALL DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE.
9. WHERE THE TERMS "REMOVE AND SALVAGE" ARE USED, THE CONTRACTOR SHALL DETACH ITEMS FROM EXISTING CONSTRUCTION AND REUSE THE EQUIPMENT ON THIS PROJECT OR RETURN TO THE OWNER. REUSED EQUIPMENT AND DEVICES ARE TO BE CLEANED OF ALL FOREIGN MATERIAL.
10. WHERE THE TERMS "REMOVE AND REINSTALL" ARE USED, THE CONTRACTOR SHALL DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE THEM FOR REUSE AND REINSTALL THEM WHERE INDICATED.
11. WHERE THE TERMS "EXISTING TO REMAIN" ARE USED, THE EXISTING ITEMS OF CONSTRUCTION ARE NOT TO BE REMOVED.
12. UNLESS OTHERWISE NOTED, REMOVE DESIGNATED CEILINGS, FLOORING, WINDOWS, DOORS AND FRAMES, PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
13. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION, NOTIFY ARCHITECT AND OWNER IMMEDIATELY. ISOLATE THE AFFECTED AREA AND DO NOT PROCEED WITHOUT FURTHER INSTRUCTIONS. THE WORK AREA SHALL BE COMPLETELY SEALED OFF DURING ABATEMENT. THE ARCHITECT SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE.
14. STRUCTURAL DEMOLITION, AS SHOWN ON THE DRAWINGS, SHALL BE REVIEWED ON SITE WITH THE ARCHITECT AND/OR ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
15. WHEREVER MECHANICAL, ELECTRICAL AND PLUMBING DEVICES ARE REMOVED, ALL PIPING AND/OR CONDUITS THAT ARE ABANDONED SHALL BE CAPPED OFF BELOW THE FLOOR, INSIDE THE WALLS, OR ABOVE THE CEILING EXCEPT WHERE NOTED OTHERWISE.
16. MECHANICAL/ELECTRICAL CONTRACTOR TO REMOVE ALL UNUSED WIRING TO PANEL BOXES.
17. REMOVE ABANDONED HVAC EQUIPMENT, DUCTWORK, ELECTRICAL DEVICES AND CONDUIT, PIPING DEVICES, LIGHT FIXTURES, PLUMBING LINES, PIPING, RISERS, DUCTS AND GULLIES FROM ALL AREAS, EXCEPT WHERE OTHERWISE INDICATED ON THE DRAWINGS. CAP AND IDENTIFY EXPOSED UTILITIES.
18. DEMO ALL EXISTING PLUMBING FIXTURES. GC TO DOCUMENT ALL EXISTING PLUMBING FIXTURES FOR TAP FEE CREDITS FOR NEW CONSTRUCTION.
19. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE WORK AREAS AND SITE CLEAN, ORDERLY, AND IN A CONDITION ACCEPTABLE FOR NEW CONSTRUCTION.
20. REMOVE SIDING FROM EXISTING EXTERIOR WALLS. VERIFY INTEGRITY OF EXISTING SHEATHING AND REPLACE AS REQUIRED.
21. LEAVE ROOFING, FASCIA, GUTTERS, UNTIL NEW WORK COMMENCES. GUTTERS WILL BE DEMED IN THIS PHASE.

SHEET KEY NOTES

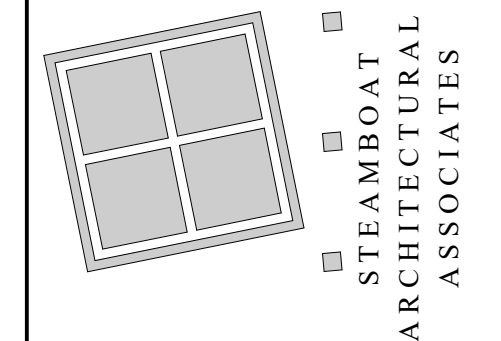
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3. CONCRETE WALLS TO BE DEMO'D, BUT WILL REMAIN IN PLACE UNTIL THE STRUCTURAL ENGINEER PROVIDES A PLAN FOR REMOVAL. WALLS WILL BE REMOVED PRIOR TO NEW CONSTRUCTION.
4. REMOVE ALL CEILING.
5. REMOVE EXISTING SIDING AND OTHER EXTERIOR FINISHES. VERIFY INTEGRITY OF EXISTING SHEATHING AND REPLACE AS REQUIRED WHERE EXISTING EXTERIOR WALLS WILL REMAIN. PREPARE SURFACE FOR NEW KEB, AND EXTERIOR FINISHES.
6. REMOVE INTERIOR GYP FROM EXTERIOR WALLS.
7. REMOVE EXISTING WINDOWS.
8. REMOVE FINISHES AT STAIRS AND LEAVE ACTUAL STAIRS IN PLACE FOR CONVENIENCE AND FURTHER REVIEW OF USABILITY IN NEW CONSTRUCTION.
9. RAILING TO REMAIN FOR SAFETY PURPOSES UNTIL NEW CONSTRUCTION COMMENCES.
10. REMOVE RTU(S), AND OTHER MECHANICAL EQPM.

DATE	DESCRIPTION
23/14/22	DEMOS PERMIT

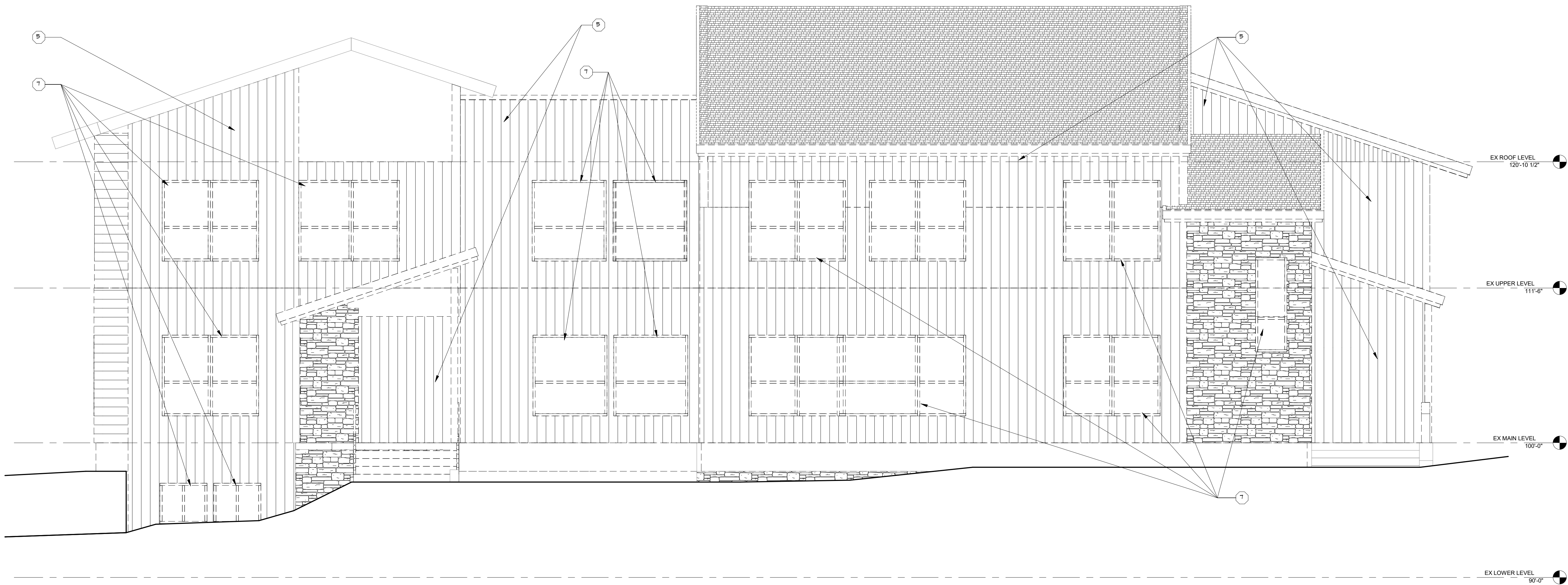
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steamboat springs, co. 80477

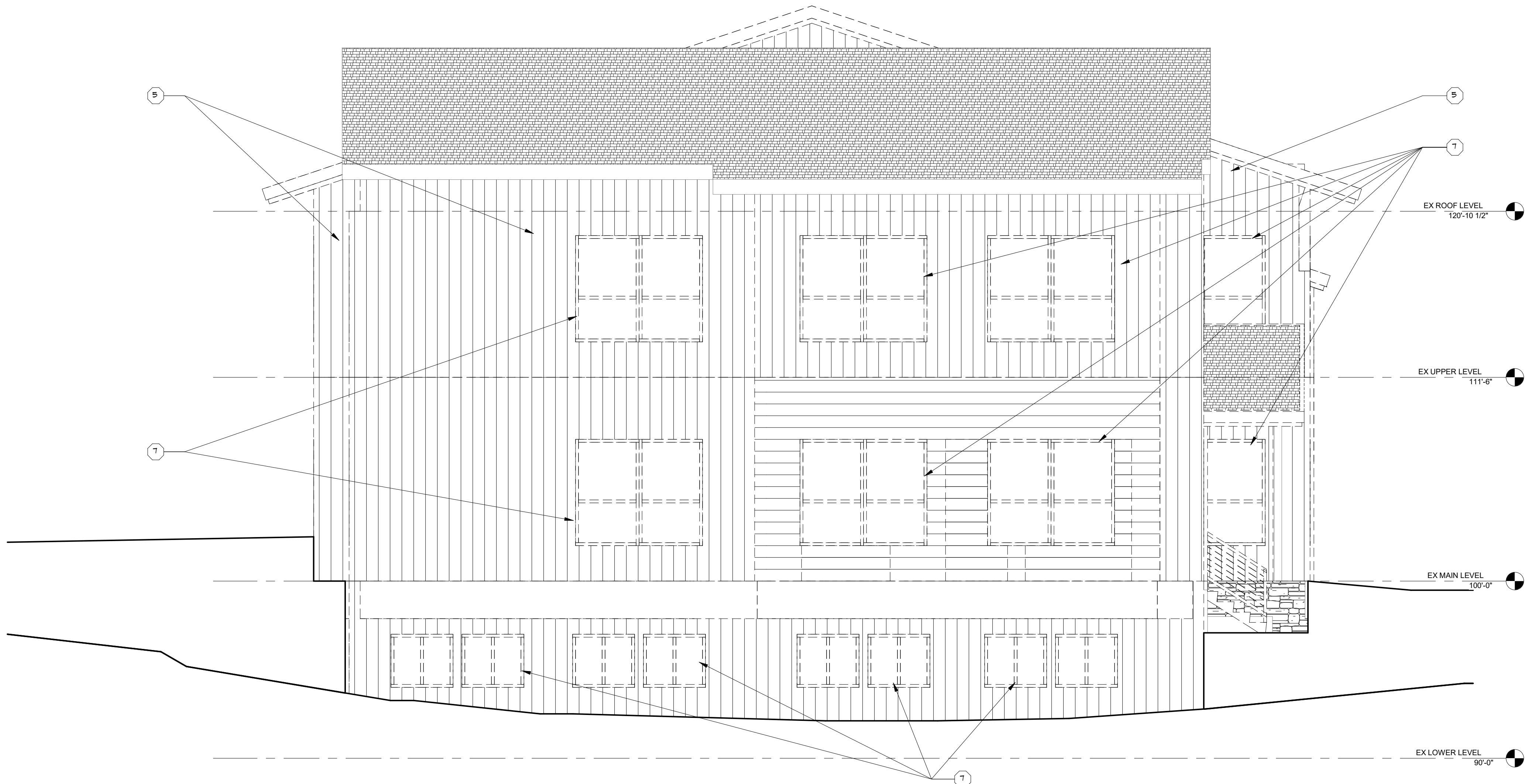


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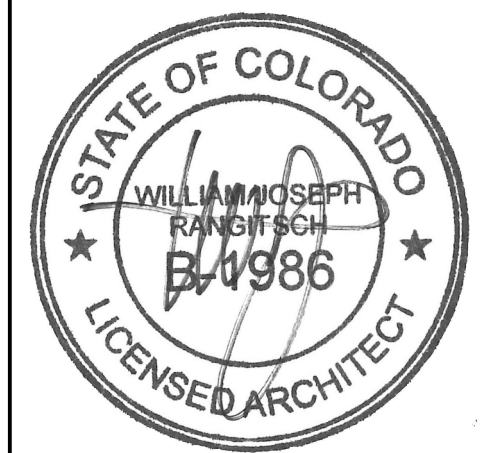
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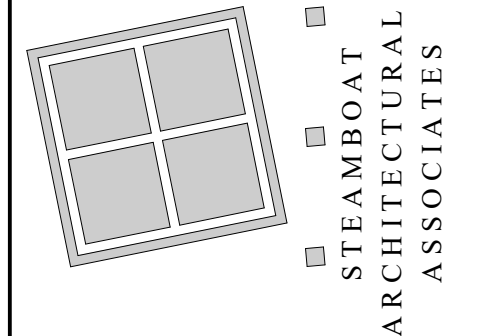
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