



KL&A, Inc.

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**Reviewed for
Code Compliance**

03/01/2022

August 25, 2021

Routt County Regional Building Department
136 Sixth St., PO Box 773840
Steamboat Springs, Colorado 80477

Re: 1901 Curve Plaza Partial Demolition

To Whom it may Concern,

KL&A, Inc. has been contracted as the Structural Engineer of Record for the project located at 1901 Curve Plaza. The project consists of the partial demolition of the existing building which currently occupies the site and a new (structurally independent) building will be constructed in its place. The remaining portion of the existing building will also be retrofitted as a part of the project. It is KL&A's understanding that the entire site will be vacant from the point in time which the demolition begins until the construction of the entire project is complete.

KL&A has reviewed the existing building drawings to understand the effects of the partial building demolition on the portion of the existing building which is to remain. Portions of the existing building structural systems will require retrofit due to the partial demolition of the existing building. The existing structural items specifically impacted by the demolition are as follows (reference Figure 1 for more information):

- the (E) interior wall along grid 10, between grids A & D will become an exterior wall and will need to be strengthened to withstand exterior wall wind pressures.
- The (E) shear wall along grid B, between grids 3&5 will be demolished. A new lateral element will be designed and detailed to carry code level loads along this resistance line.
- The (E) shear wall along grid F, between grids 3&5 will be demolished. A new lateral element will be designed and detailed to carry code level loads along this resistance line.
- The (E) shear wall along grid 5, will have a new door installed near grid 5. The shear wall will be strengthened to carry code level loads along this resistance line.

The specific details of the wall strengthening will be documented on the Structural Construction Documents which will be submitted to Routt County for permit review. In the final condition, the remaining gravity, lateral, and seismic structural systems of the existing building will be in compliance with the requirements of the 2018 International Building Code and the 2018 International Existing Building Code.



KL&A
Engineers & Builders

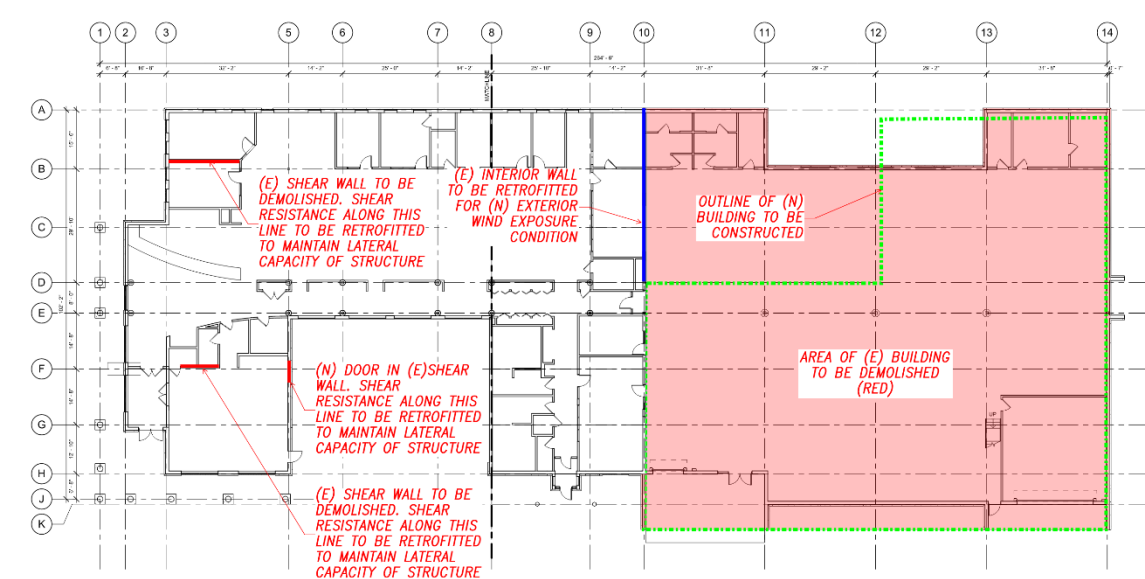


Figure 1. Existing Building Footprint & Demolition Plan

Sincerely,

Peter Kelly
Engineer of Record

