

1 SITE LOCATION PLAN
 NO SCALE
 SEE PLAN

CODE ANALYSIS

Street Address:
 345 Lincoln Avenue, Suites 205, & 208

Project Description:
 This project involves finish of new residential space in existing Chieftain Building.

Construction Classification:
 Existing Building is Type V-NR, sprinklered.

Occupancy Classification:
 New residential unit is Type R-3 Occupancy.
 Residential unit is adjacent are Type B Occupancy.
 Residential unit is above Type S-3 Occupancy

Required Separations:
 Existing 1 hour construction remains at all exit corridors and occupancy separations.
 Existing 1 hour separation remains at Upper Level Floor Assembly to Garage below.
 Building met original requirements, and we are not increasing building area from original building design. We are changing B Occupancy to R-3 Occupancy

Occupant Load:
 Occupancy load from Table 10-A for dwelling units - this unit will have less than 10 occupants

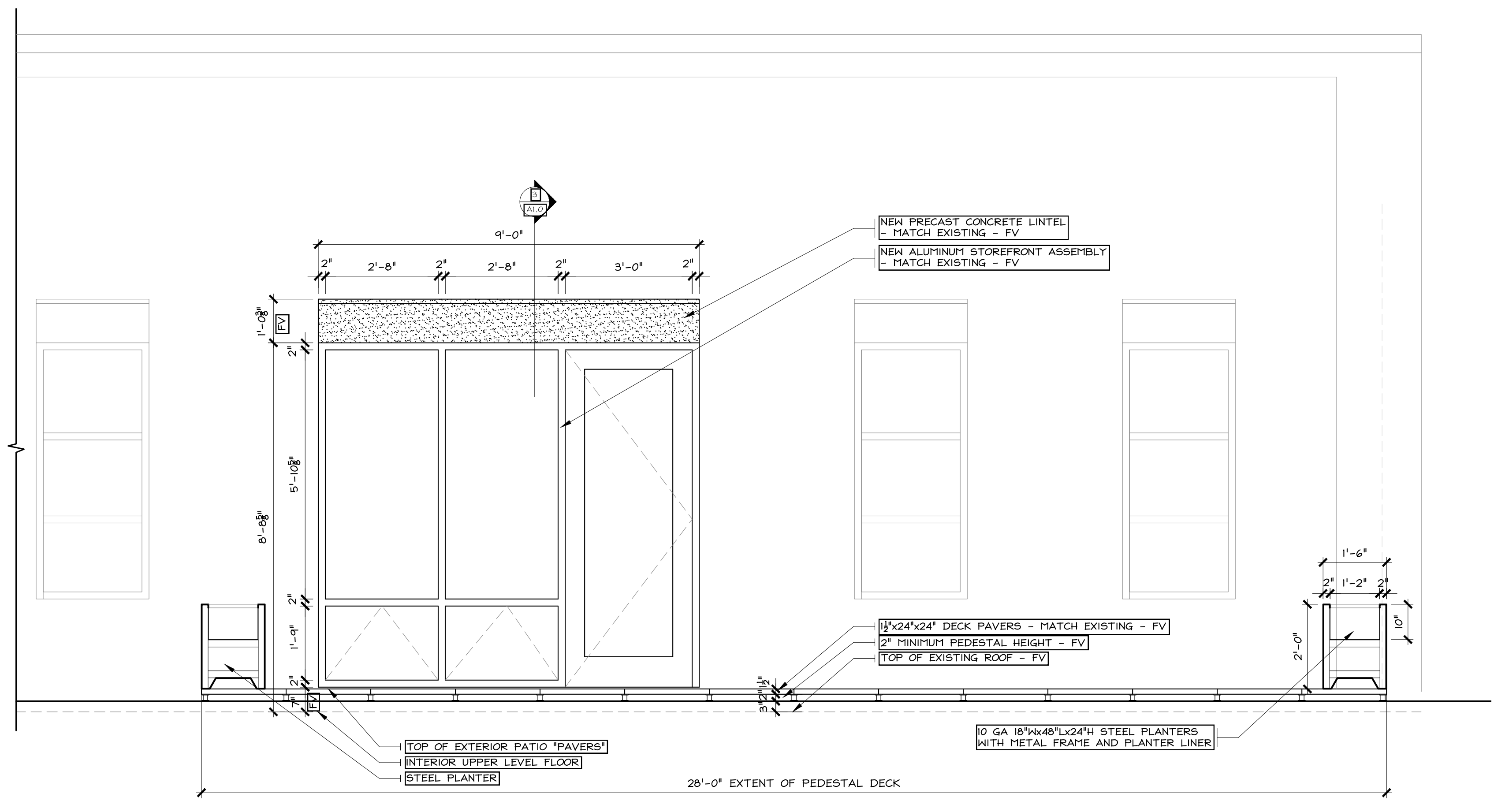
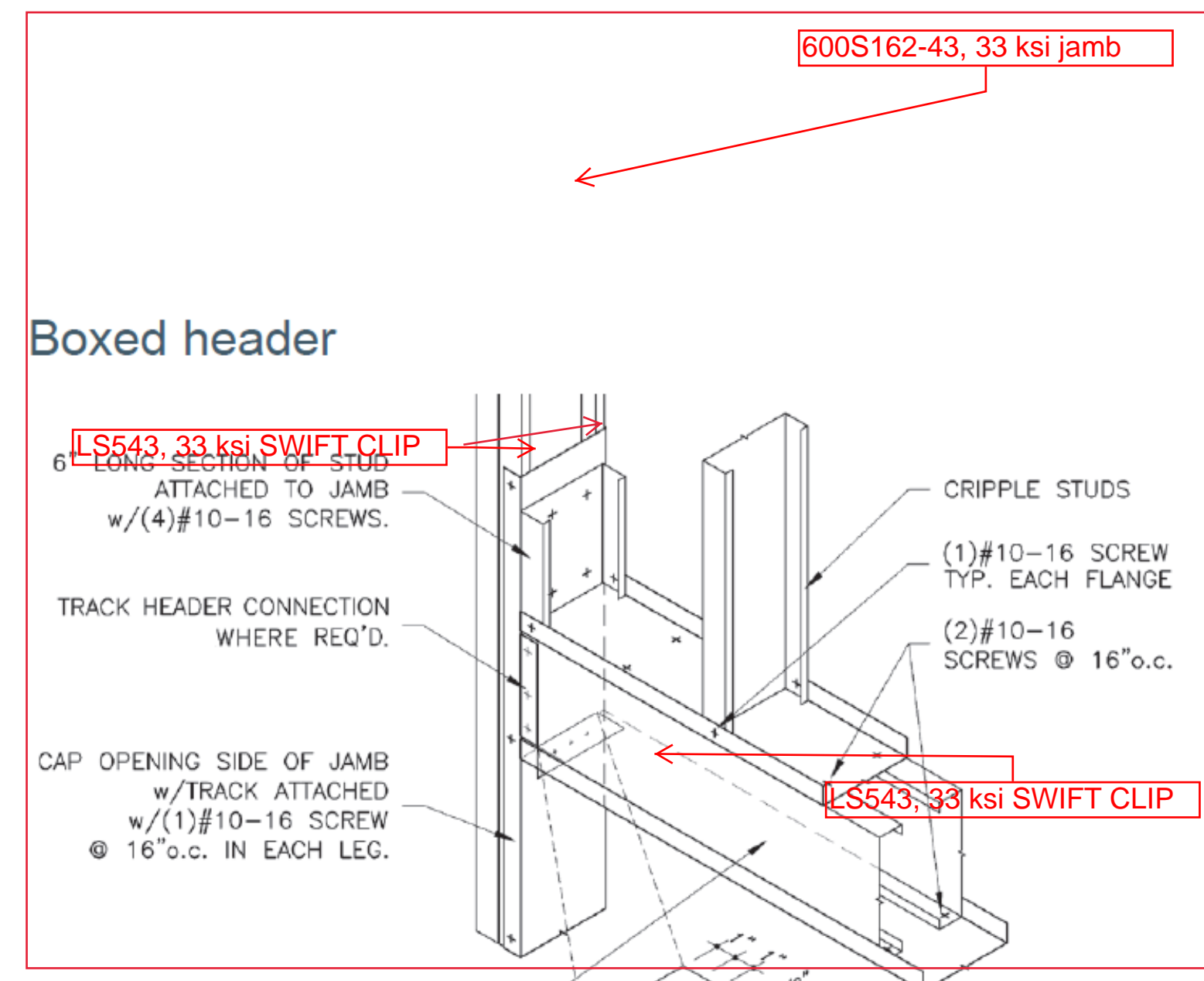
Exits:
 2 exits required for a upper level occupant load less than 30.
 2 exits currently provided.

PROJECT NOTES

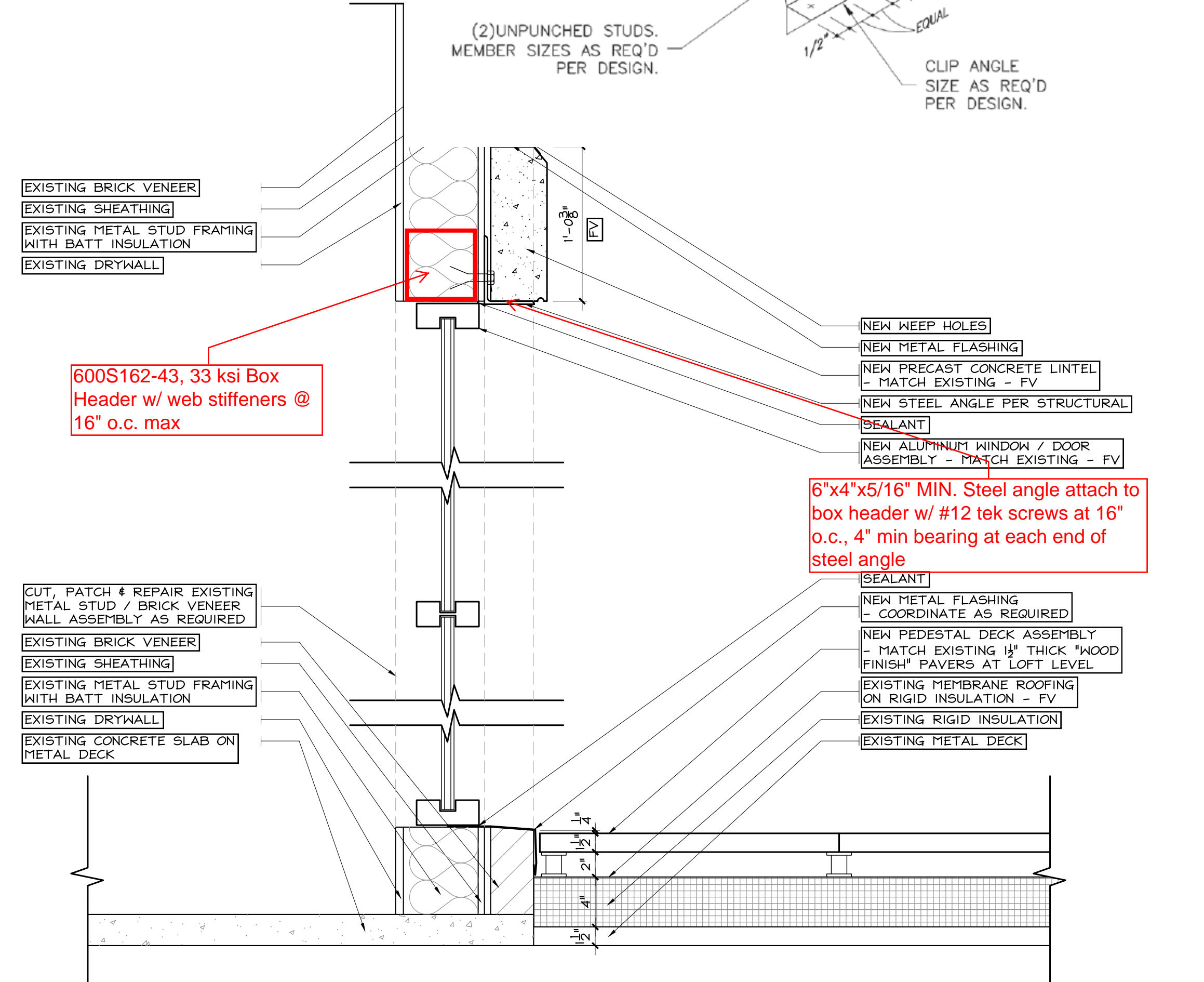
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
 - TEMPORARY SPACE HEATING SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE IN A SAFE, SENSIBLE MANNER WITH PERIODIC CHECKS TO ALL SYSTEMS.
 - CONTRACTORS SHALL CARRY BUILDERS RISK, WORKMAN'S COMPENSATION, CONTRACTOR'S LIABILITY, PERSONAL INJURY, COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. OWNER TO CARRY FIRE INSURANCE ON THE FRAMED STRUCTURE AND COMPLETED WORK IN PROGRESS.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN OF THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES A PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 - THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH FEDERAL AND STATE SAFETY REGULATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - DO NOT DIG - VERIFY LOCATION OF ALL UTILITIES BEFORE DIGGING.
 - THE ORGANIZATION AND ARRANGEMENT OF THE DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUB-CONTRACTORS, OR IN ESTABLISHING THE WORK TO BE PERFORMED BY ANY TRADE.
 - CONTRACTOR TO INVESTIGATE EXISTING CONDITIONS PRIOR TO PERFORMING ANY REMOVALS. PROVIDE TEMPORARY SUPPORT OF EXISTING STRUCTURE AS REQUIRED.
 - CONTRACTOR TO COORDINATE AS REQUIRED FOR REMODEL AND ADDITIONS. CUT, PATCH AND REPAIR AS REQUIRED FOR REMODEL AND ADDITIONS.
- FINISH NOTES:**
- SPRINKLER LAYOUT BY FIRE PROTECTION ENGINEER - COORDINATE WITH MECHANICAL AND ELECTRICAL LAYOUT. TIE SYSTEM TO EXISTING HOUSE WATER AND ALARM LINES.
 - EXISTING PANELBOARD LOCATED IN LAUNDRY 212.

LIST OF DRAWINGS

- ARCHITECTURAL DRAWINGS**
- A1.0 Cover Sheet, Interior Elevations, Sections
 - A2.0 Upper Level Plan & Reflected Ceiling Plan
 - A6.0 Interior Elevations
 - A6.1 Interior Elevations



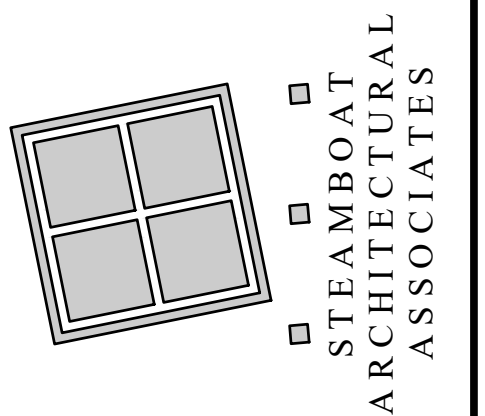
2 PARTIAL ELEVATION
 AT NEW ALUMINUM WINDOW / DOOR ASSEMBLY AT DECK 220 / LIVING ROOM 208
 CUT THRU NEW EXTERIOR PEDESTAL DECK AND PLANTERS
 1/2" = 1'-0"
 SEE 2/A2.0



3 DETAIL
 AT NEW WINDOW WALL ASSEMBLY
 1/2" = 1'-0"
 SEE 2/A1.0

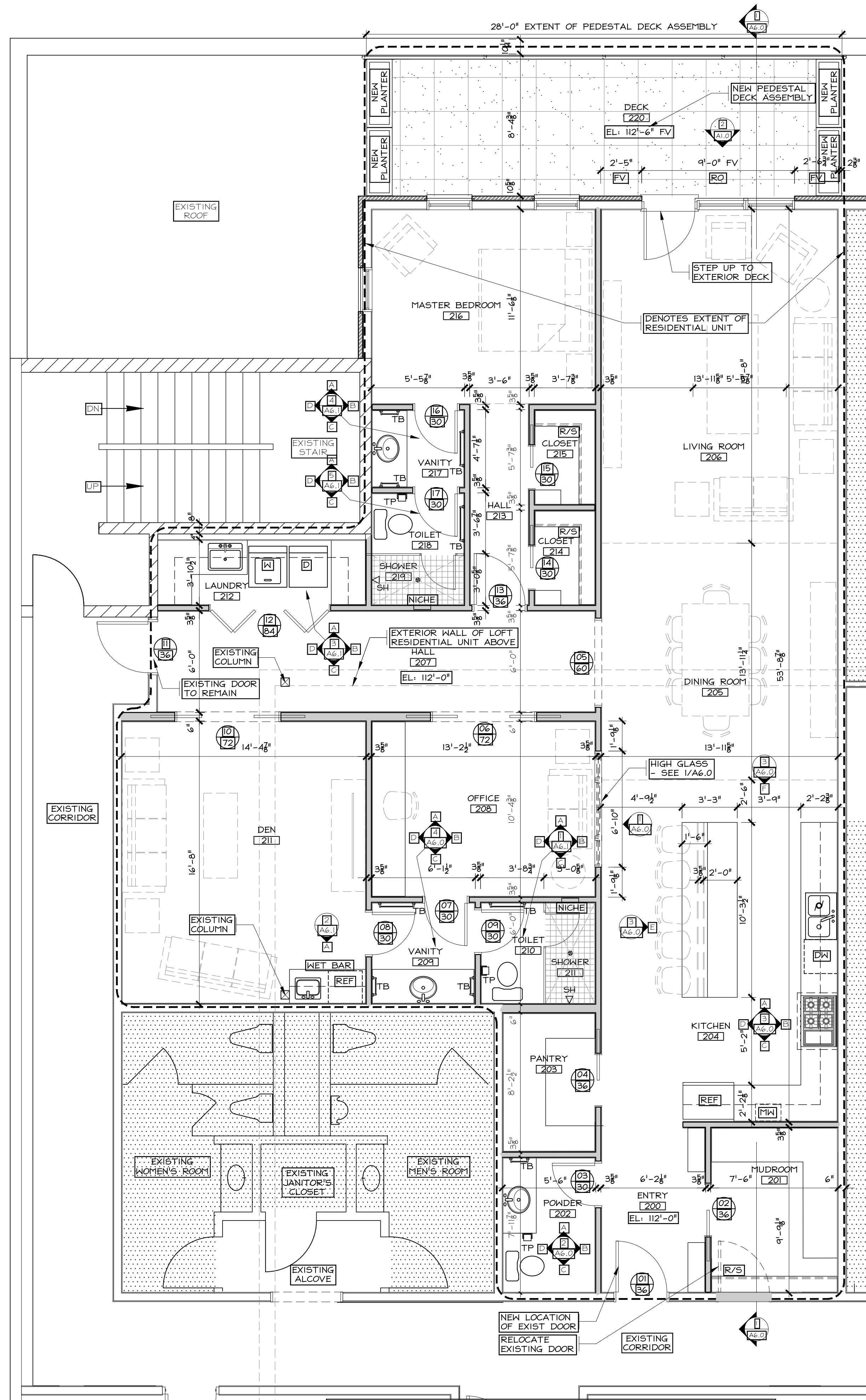
COVER SHEET INFO
 INTERIOR ELEVATIONS
 SECTIONS

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A Residential Unit in the
Forever Fit Space
 345 Lincoln Ave. #205
 Steamboat Springs, Colorado

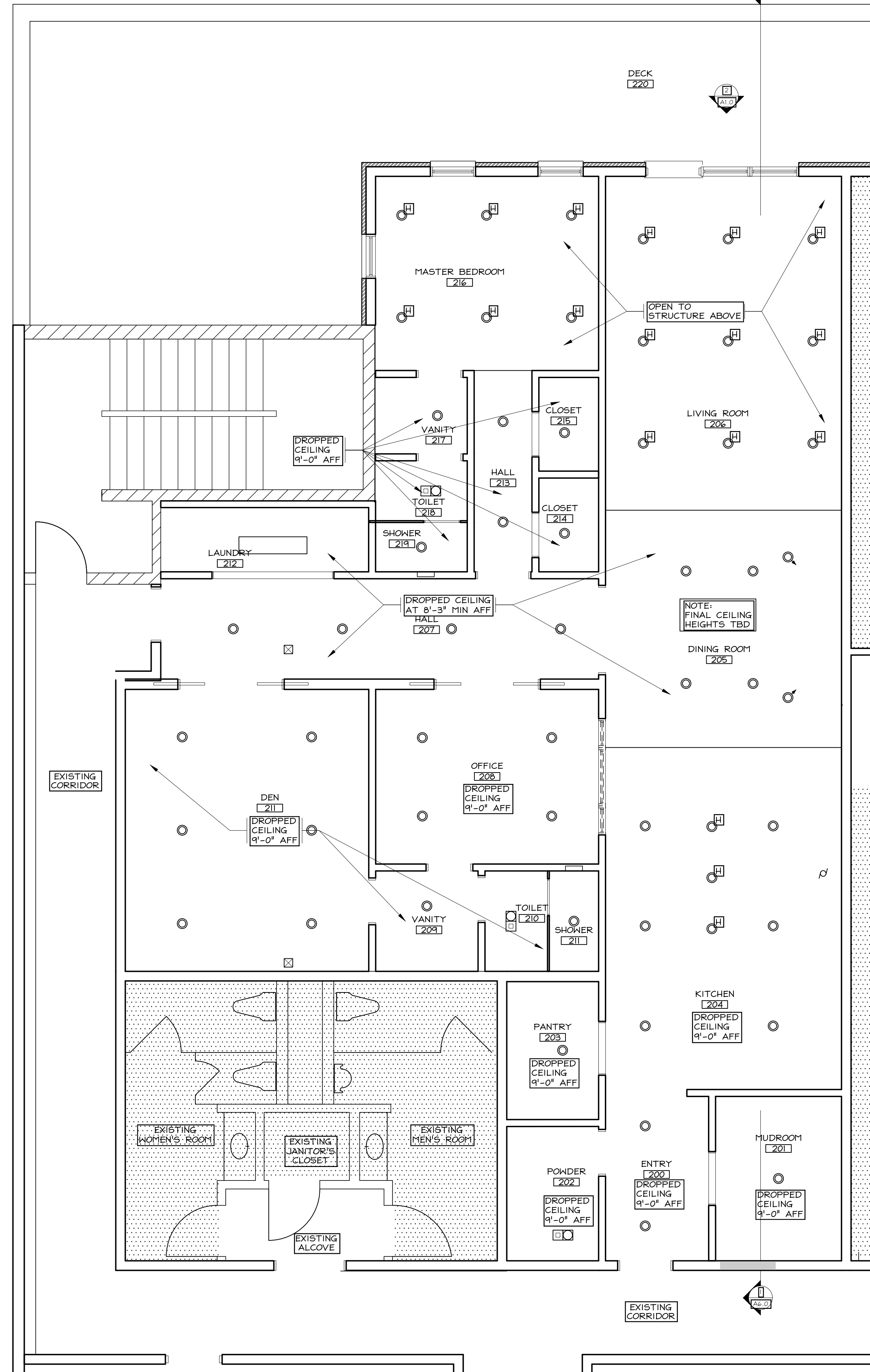
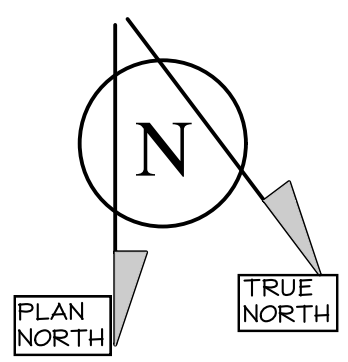
1/16/2020 10:08 AM C:\Users\jranig\OneDrive\Documents\A200\Projects\A-1\Forever Fit Residential Unit - E01\A200\Drawings\01-Covered\1-Upper Fl Residential Unit - E01.dwg



NOTE:
 1) FIELD VERIFY EXISTING CONDITIONS.
 2) ADJUST DIMENSIONS WHERE DIFFERENT FROM THOSE SHOWN ON THESE DRAWINGS.
 3) ENTIRE INTERIOR PERIMETER OF THIS RESIDENTIAL UNIT TO HAVE FC DRYWALL FINISH.
 4) COORDINATE AS REQUIRED.

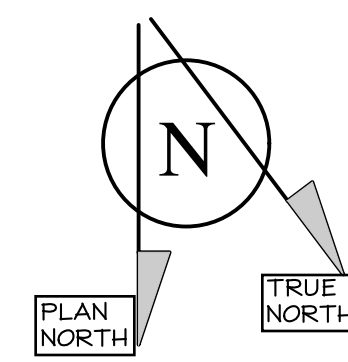
1 UPPER LEVEL PLAN

1/4" = 1'-0"
 SEE A1.0



1/4" = 1'-0"
 SEE 1/A2.0

2 UPPER LEVEL REFLECTED CEILING PLAN

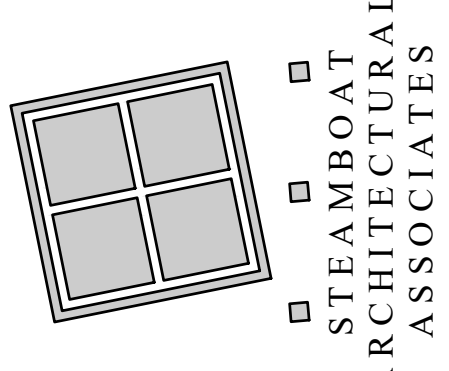


THESE DRAWINGS
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 THE COMPONENTS
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UPPER LEVEL PLAN
 UPPER LEVEL REFLECTED CEILING PLAN

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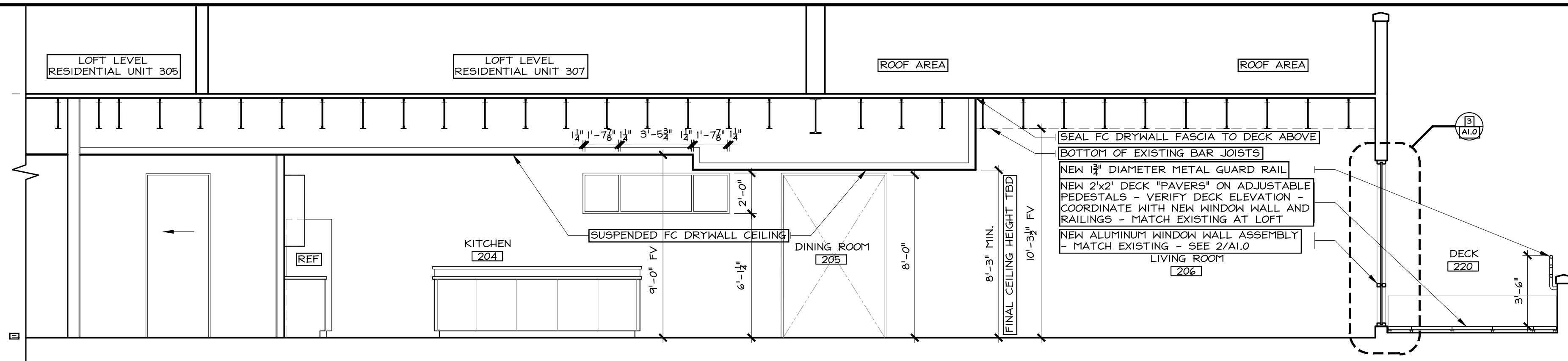


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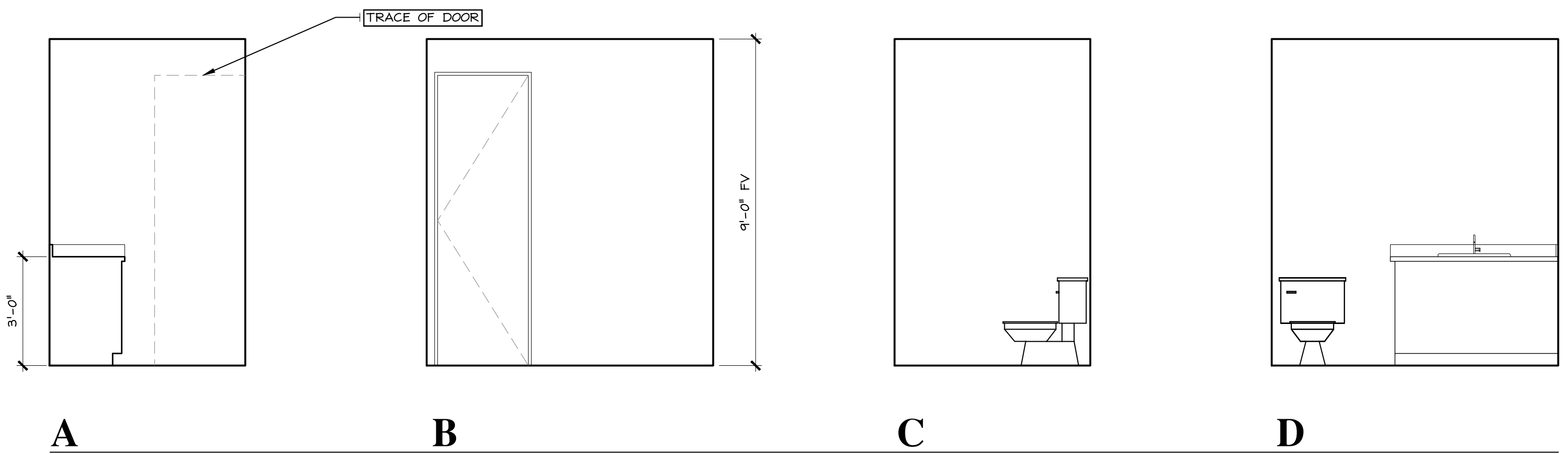
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A2.0

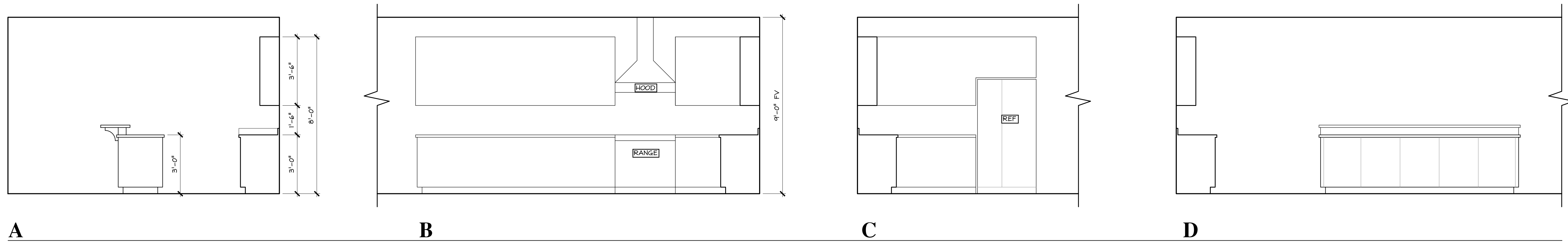
21-18



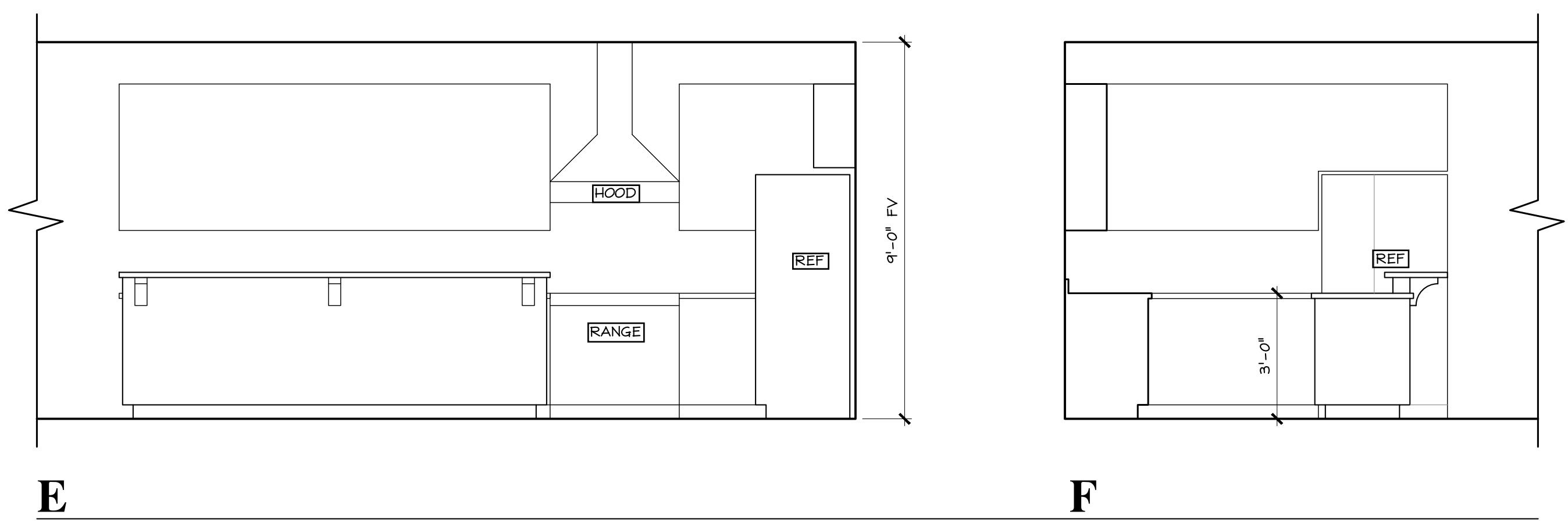
1 SECTION
1/4" = 1'-0"
 SEE 1/A2.0



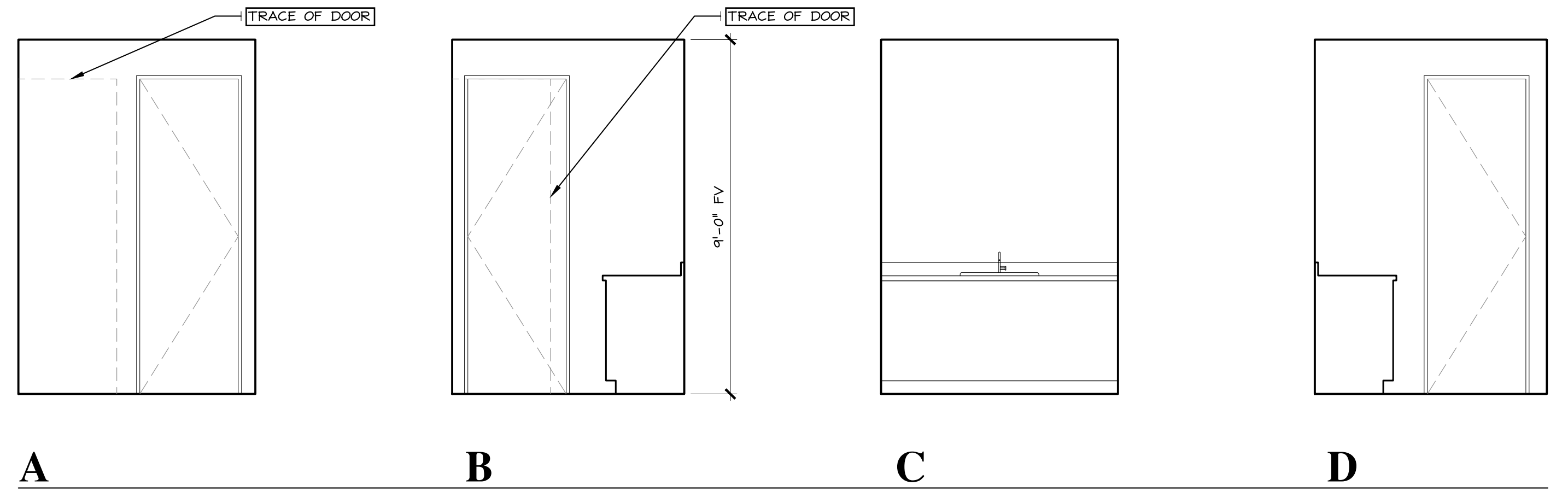
2 POWDER 202
3/8" = 1'-0"
 SEE 1/A2.0



3 KITCHEN 204
3/8" = 1'-0"
 SEE 1/A2.0



3 KITCHEN 204
3/8" = 1'-0"
 SEE 1/A2.0

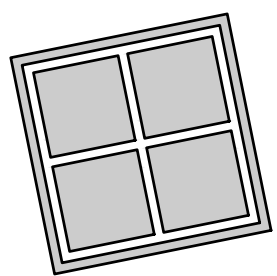


4 VANITY 209
3/8" = 1'-0"
 SEE 1/A2.0

SECTION
 INTERIOR ELEVATIONS

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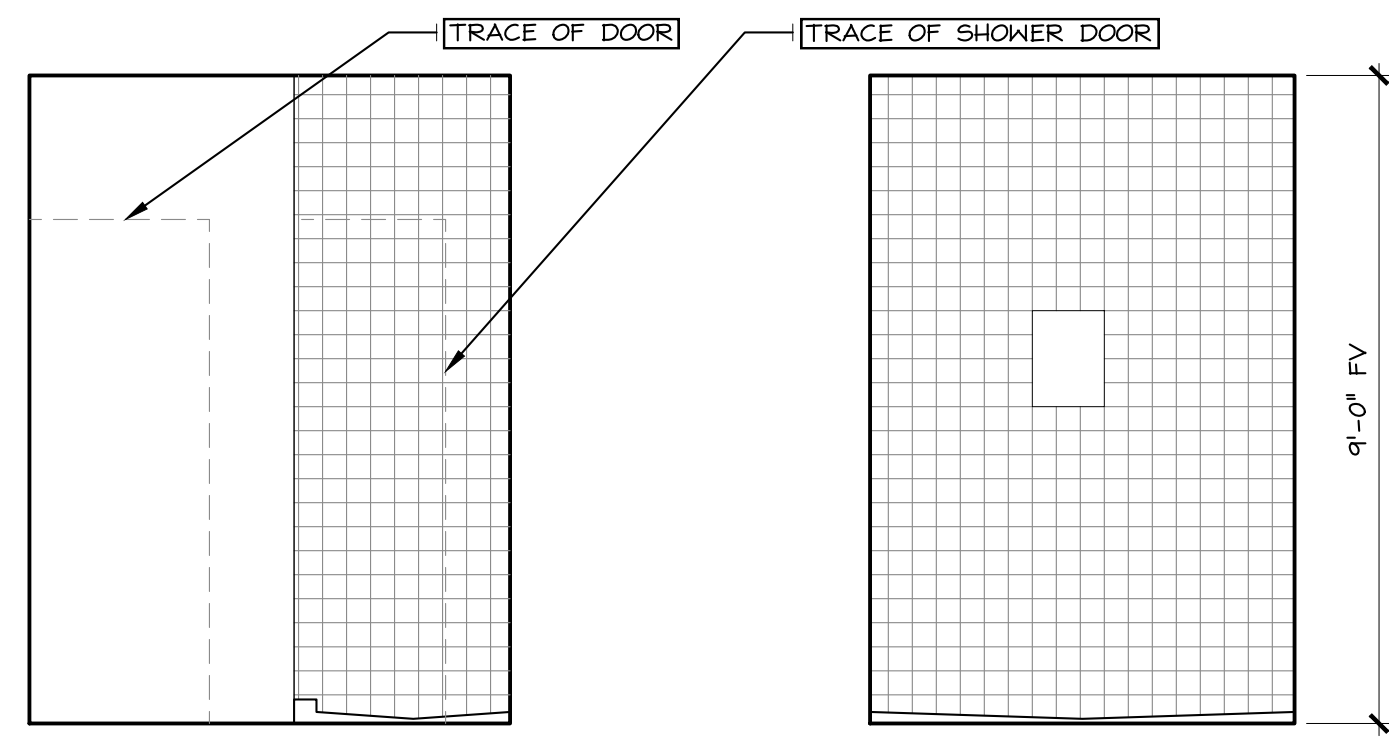
 STEAMBOAT
 ARCHITECTURAL
 ASSOCIATES

A Residential Unit in the
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A6.0

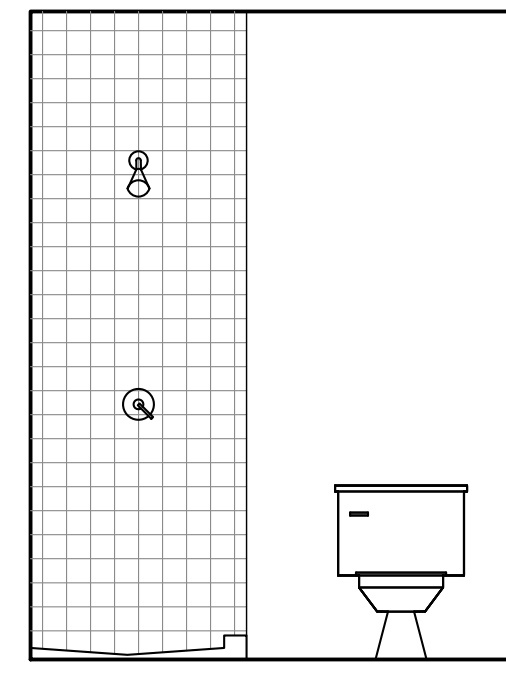
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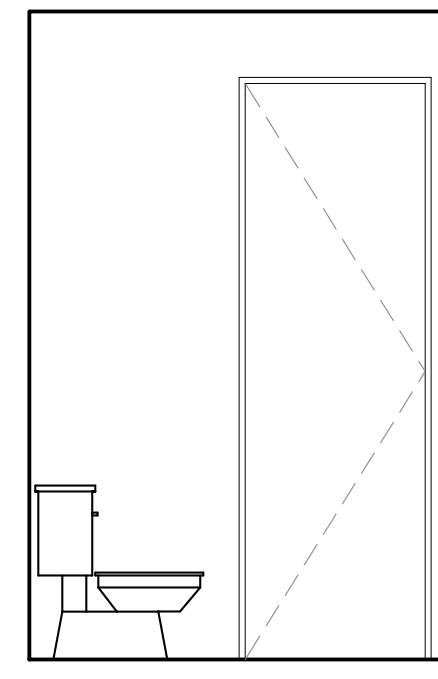


A

B



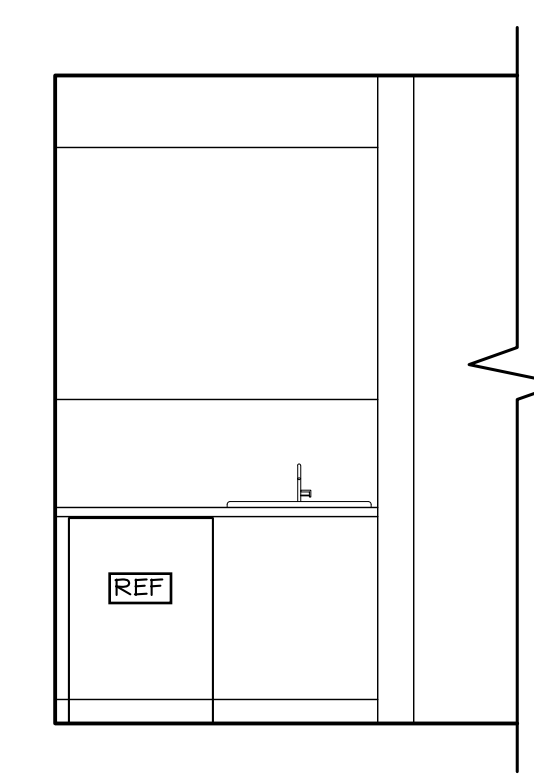
C



D

1 TOILET 210 & SHOWER 211

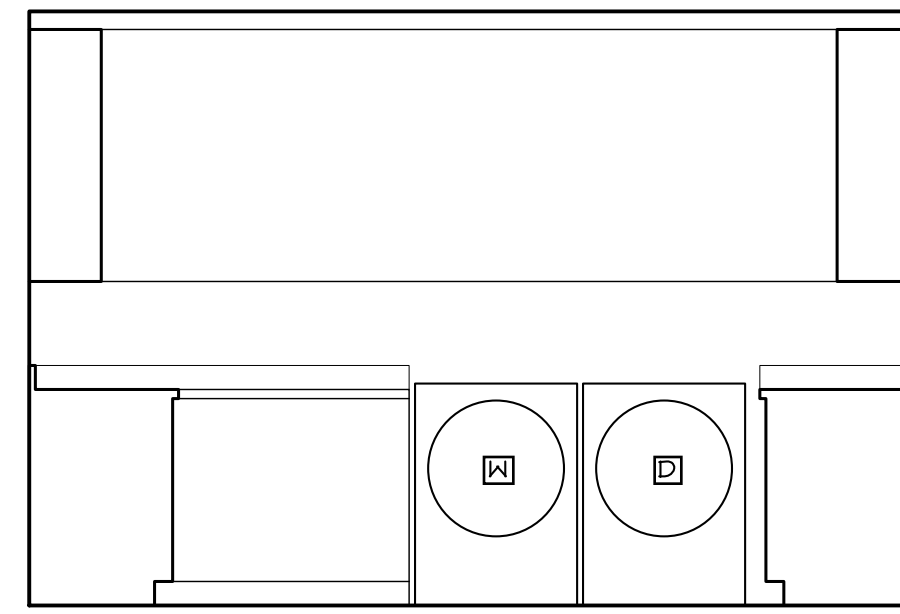
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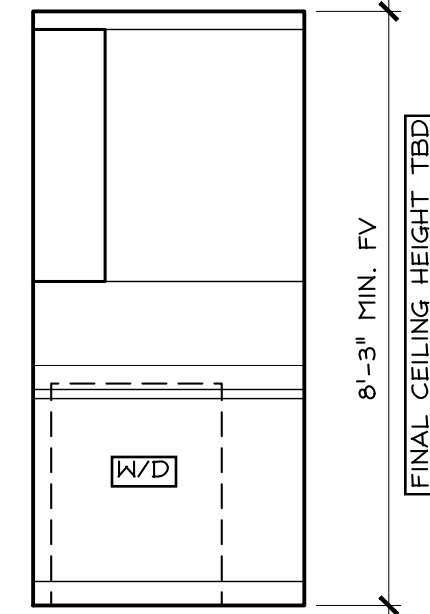
A

2 WET BAR

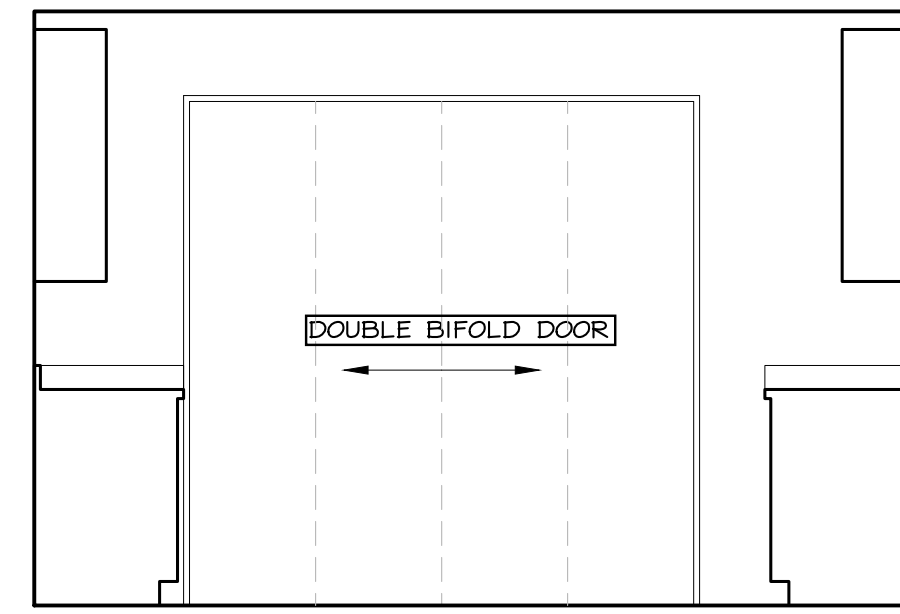
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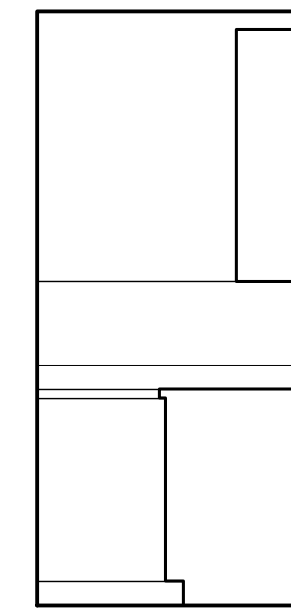
A



B



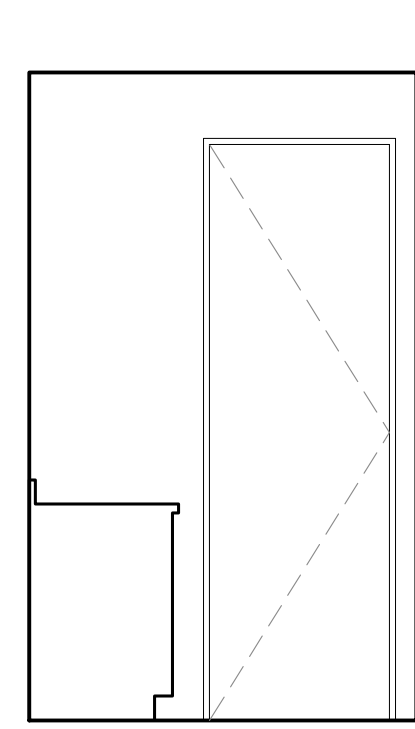
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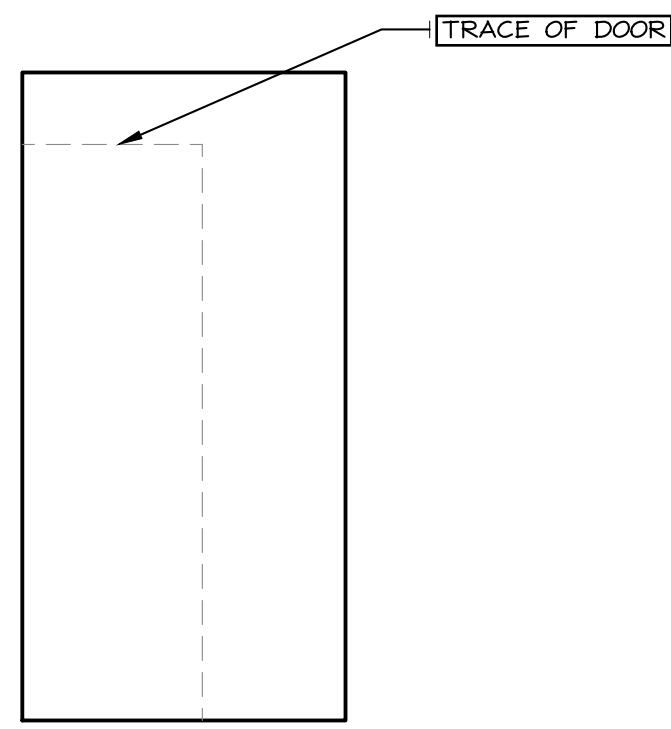
D

3 LAUNDRY 212

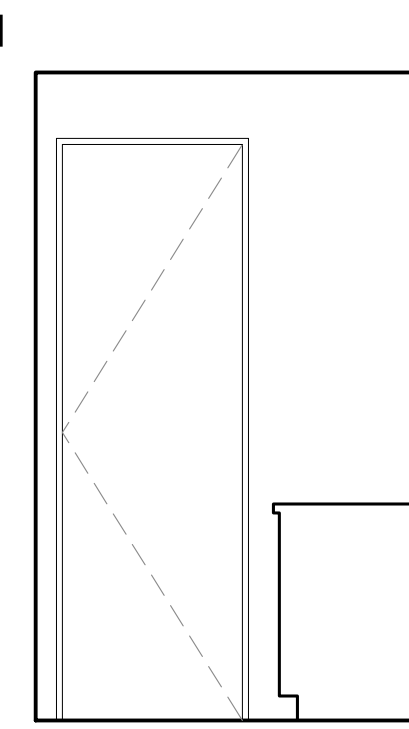
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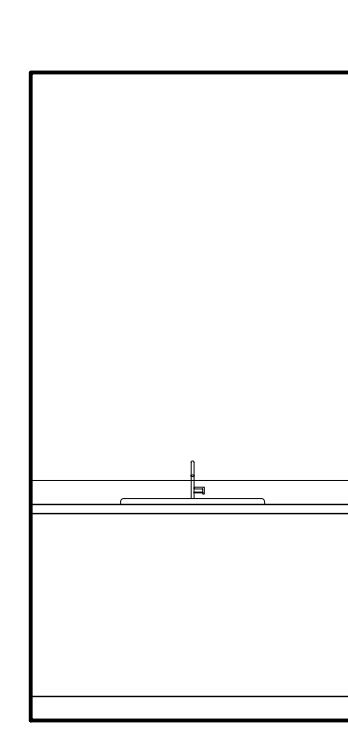
A



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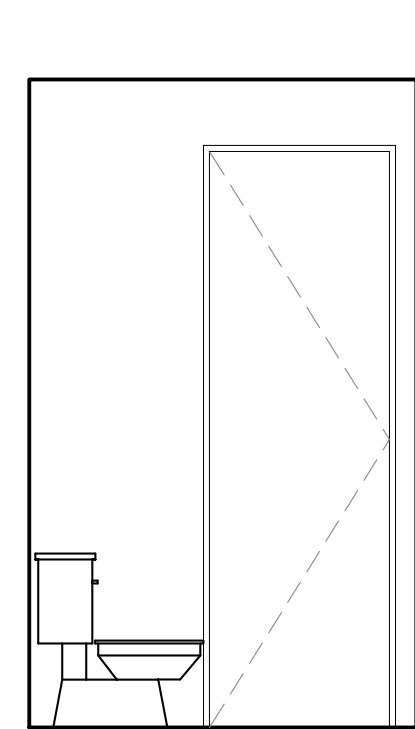
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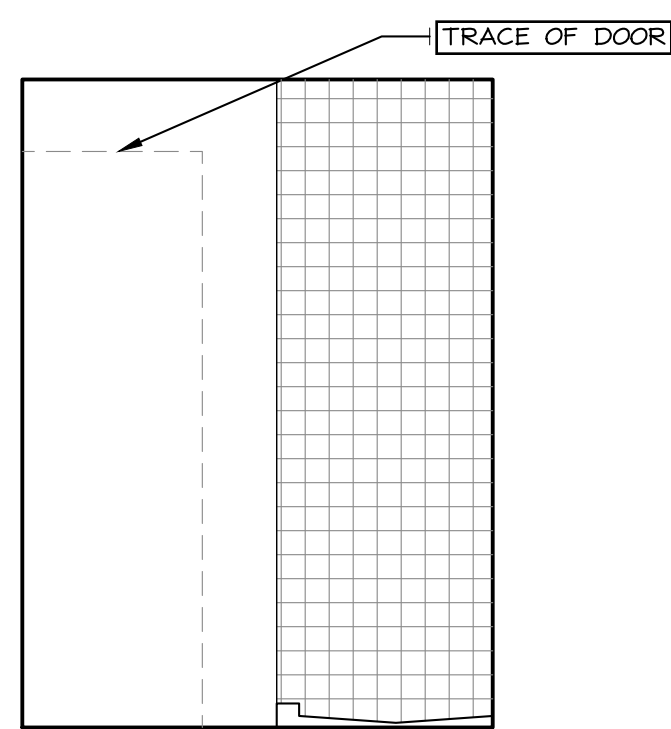
D

4 VANITY 217

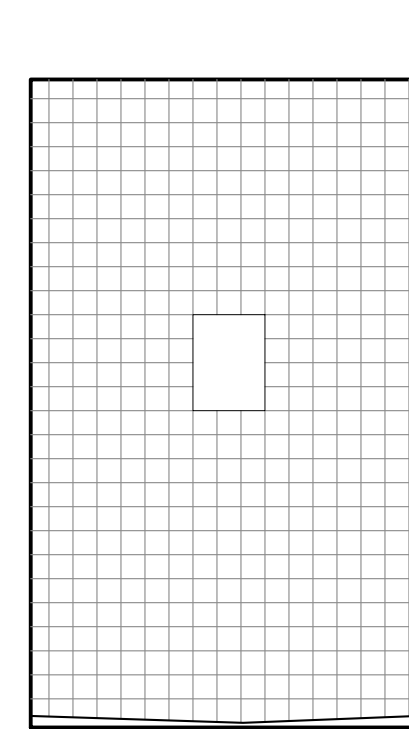
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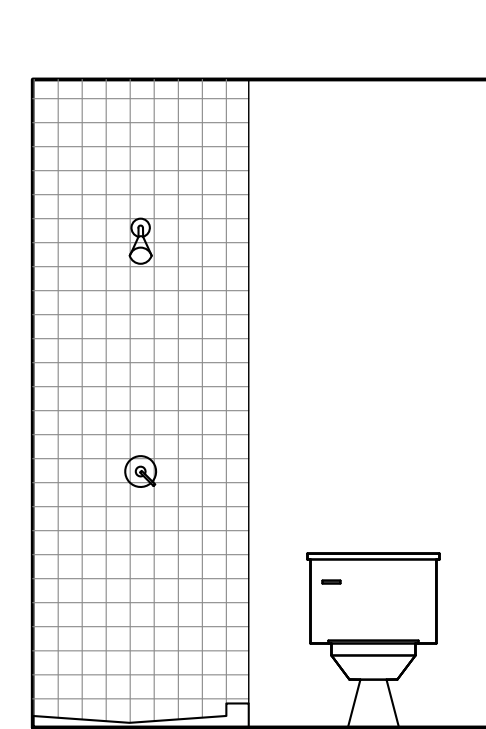
A



B



C



D

5 TOILET 218 & SHOWER 219

$\frac{3/4"}{A} = \frac{1'-0"}{SEE 17A2.0}$

INTERIOR ELEVATIONS

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