

# Steamboat Springs Alpine House

1859 River Queen Lane,  
Steamboat Springs, CO 80487

## CIVIL

- 1 SITE PLAN & PROFILE
- 2 DETAILS

## DESIGN

- A0.00 SCOPE OF WORK
- A0.01 NOTES & ASSEMBLIES LEGEND
- A1.00 SITE PLAN
- C2.00 FOUNDATION PLAN
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- A2.01 FLOOR PLAN - MAIN
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- A3.01 BUILDING SECTIONS
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## STRUCTURAL

- S1 FOUNDATION PLAN
- S2 DETAILS
- S3 MAIN FLOOR FRAMING
- S4 UPPER FLOOR FRAMING
- S5 ROOF FRAMING

## DESIGN

SCOTT&SCOTT  
299 E19TH AVENUE  
VANCOUVER BC  
V5V 1J3

DAVID SCOTT MAIBC MRAIC  
604 737 2541  
DAVID@SCOTTANDSCOTT.CA

SUSAN SCOTT MAIBC  
604 788 7990  
SUSAN@SCOTTANDSCOTT.CA

## STRUCTURAL ENGINEER

ENGINEERING DESIGNWORKS, INC.  
1855 SKI TIME SQUARE, UNIT E2C  
STEAMBOAT SPRINGS, CO  
80487

Contact: Carl Warnke  
p. 970-879-4890  
email: carl@engineeringdesignworks.com

## CIVIL ENGINEER

FOUR POINTS SURVEYING AND ENGINEERING  
440 S LINCOLN AVE #4A  
STEAMBOAT SPRINGS, CO  
80487

Contact: Walter Magill  
p. 970-871-6772  
email: walterm@fourpointsse.com





**GENERAL NOTES:**

1. OWNER: SUNSHINE STEAMBOAT, LLC
2. FIELD SURVEYING COMPLETED BY LANDMARK INC.
3. TOPOGRAPHIC DATA GENERATED FROM 2018 LIDAR DATA.
4. PROPERTY CORNERS WERE FOUND AS INDICATED HEREON PER FIELD SURVEY.
5. NO BENCHMARK HAS BEEN SET.
6. DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
7. REFER TO GEO-TECHNICAL ENGINEERING STUDY AND REPORT FOR ALL GRADING, DRAINAGE, AND FINAL STABILIZATION RECOMMENDATIONS AND SPECIFICATIONS.
8. ALL FINISHED BARE GROUND SURFACES SHALL RECEIVE A MINIMUM OF 6" OF NATIVE TOPSOIL FOR FINAL GRADING AND SHALL BE RELATIVELY FREE OF STONES, CLODS, STICKS, AND OTHER DEBRIS.
9. ALL FINISHED GROUND SHALL BE PROPERLY SEEDED, FERTILIZED, MULCHED AND VEGETATION ESTABLISHED WITHIN ONE CONSTRUCTION SEASON.
10. ALL DETAILS PROVIDED SHALL BE ADHERED TO UNLESS OTHERWISE APPROVED BY CIVIL ENGINEER OR RECORD.
11. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.
12. SEE SHEET 2 FOR UTILITY INSTALLATION NOTES AND SPECIFICATIONS.

**PROJECT TOTAL EARTHWORK QUANTITIES:**

|                      |        |          |
|----------------------|--------|----------|
| AREA OF DISTURBANCE: | 10,000 | SQ. FT.  |
| TOPSOIL STRIPPING:   | 200    | CU. YDS. |
| TOTAL CUT:           | 240    | CU. YDS. |
| TOTAL FILL:          | 450    | CU. YDS. |
| NET (FILL):          | 210    | CU. YDS. |

**MATERIAL QUANTITIES**

|                              |    |         |
|------------------------------|----|---------|
| DRIVEWAY: CLASS 1/2 SUB-BASE | 33 | CU. YDS |
| DRIVEWAY: CLASS 6 ROAD BASE  | 17 | CU. YDS |
| DRIVEWAY: HOT-MIX ASPHALT    | 17 | CU. YDS |
| STONE PAVERS & STAIRS        | 25 | CU. YDS |
| STONE PAVER SUB-BASE         | 25 | CU. YDS |

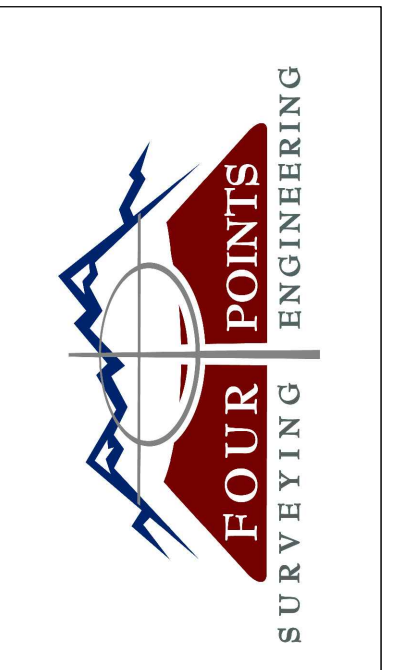
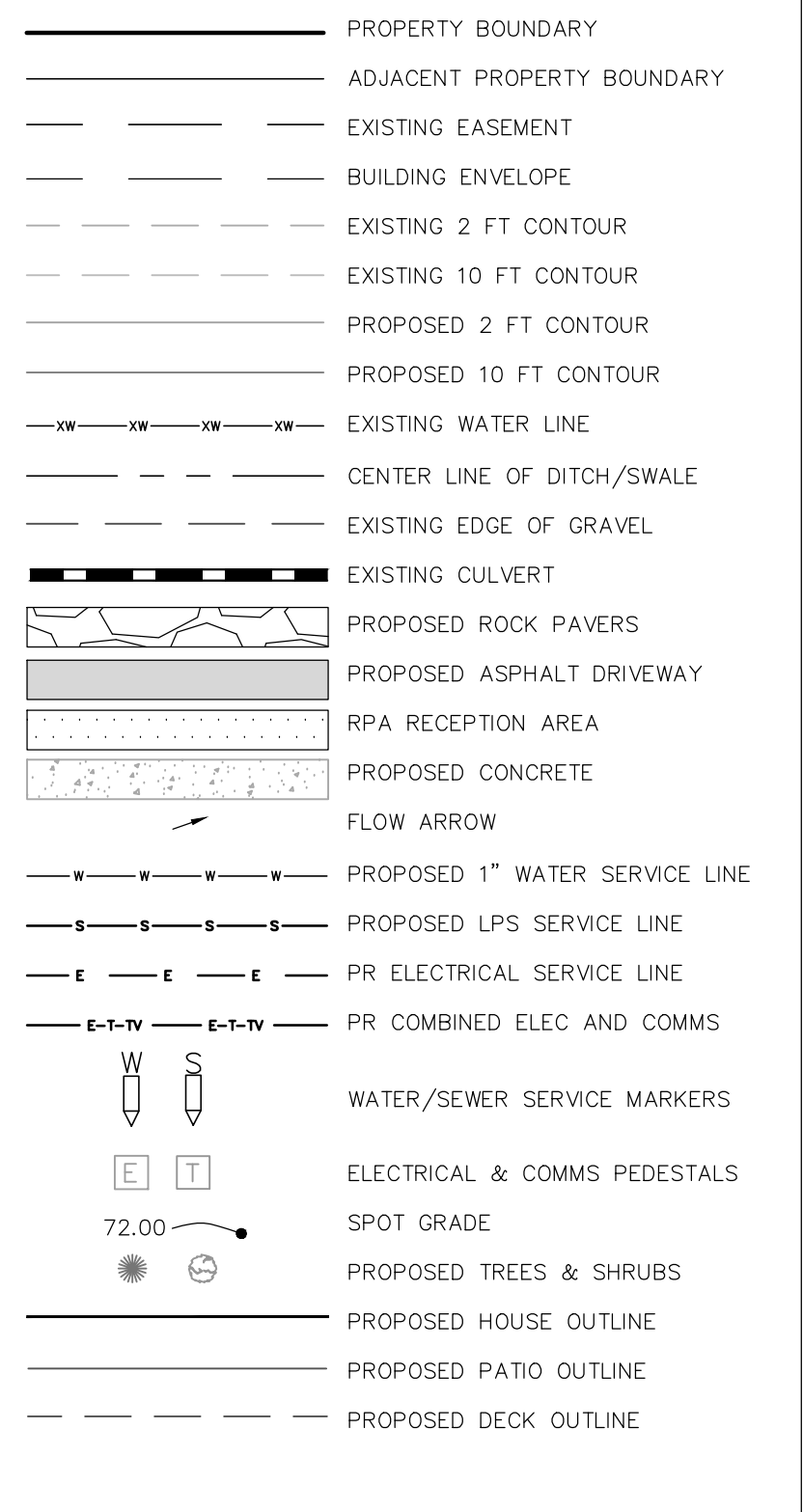
**NOTES:**

1. TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 1.0 FEET. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE ENTIRE AREA OF DISTURBANCE.
2. THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
3. A FILL FACTOR OF 1.10 WAS USED FOR CUT-FILL VOLUME CALCULATIONS.

**ANNOTATIONS:**

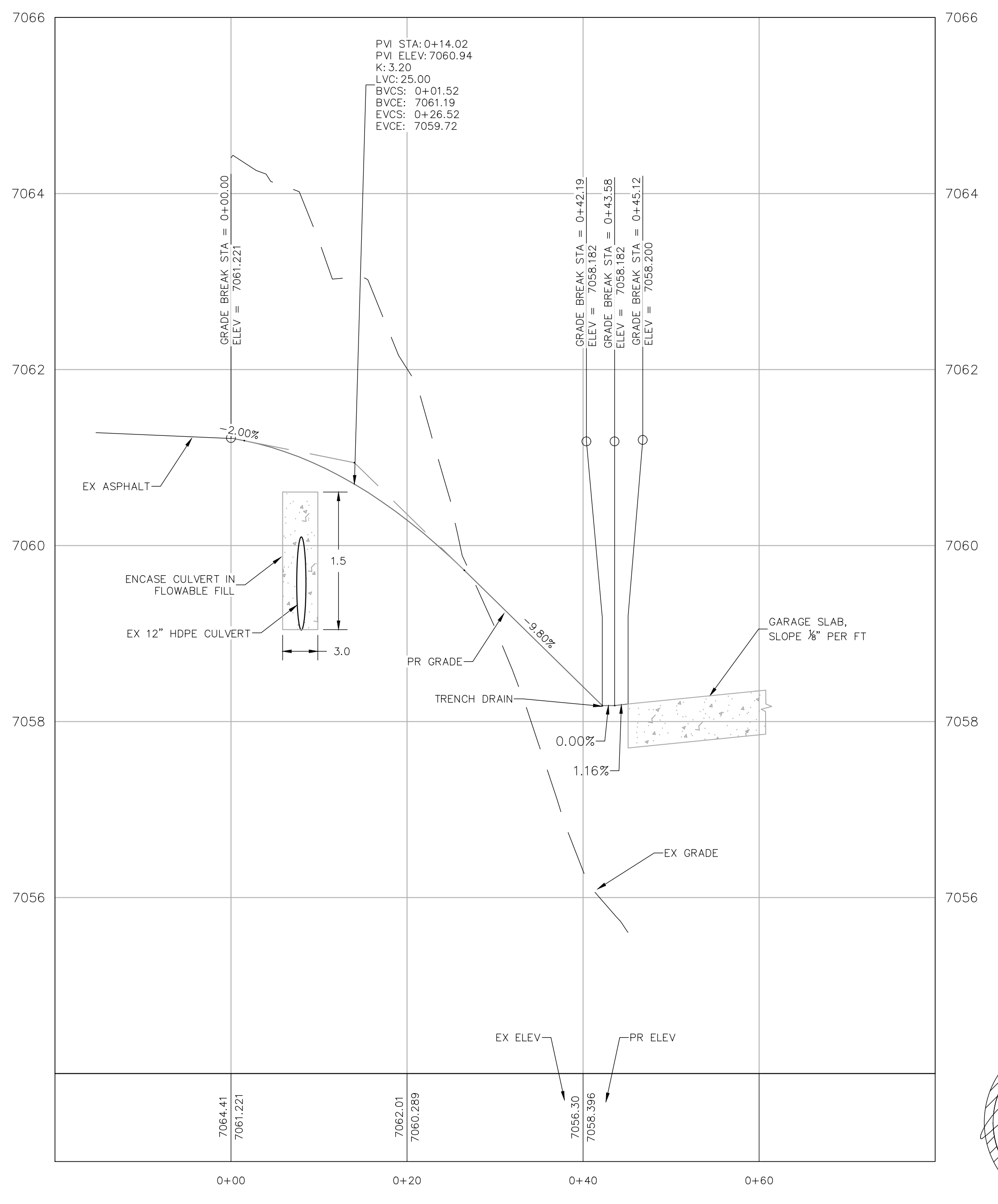
- BOW BOTTOM OF WALL
- CL CENTERLINE
- COMMS COMMUNICATIONS
- EL ELEVATION
- ELEC ELECTRICAL
- EOA EDGE OF ASPHALT
- EX EXISTING
- FES FLARED END SECTION
- FFE FINISHED FLOOR ELEVATION
- LF LINEAR FEET/FOOT
- LPS LOW PRESSURE SEWER
- INV INVERT
- P/A PLANTING AREA
- R RADIUS
- ROW RIGHT OF WAY
- PR PROPOSED
- TOW TOP OF WALL
- TYP TYPICAL

**LEGEND**



440 S. Lincoln Ave, Suite 4A  
P.O. Box 775966  
Steamboat Springs, CO 80487  
(970)-871-6772  
www.fourpointse.com

| No. | DATE | REVISIONS |
|-----|------|-----------|
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DRIVEWAY VERTICAL PROFILE VIEW  
HORIZONTAL SCALE: 1"=10'  
VERTICAL SCALE: 1"=1'

**LOT 3, EAGLE'S VISTA  
SUBDIVISION  
1859 RIVER QUEEN LANE  
STEAMBOAT SPRINGS, CO 80487**

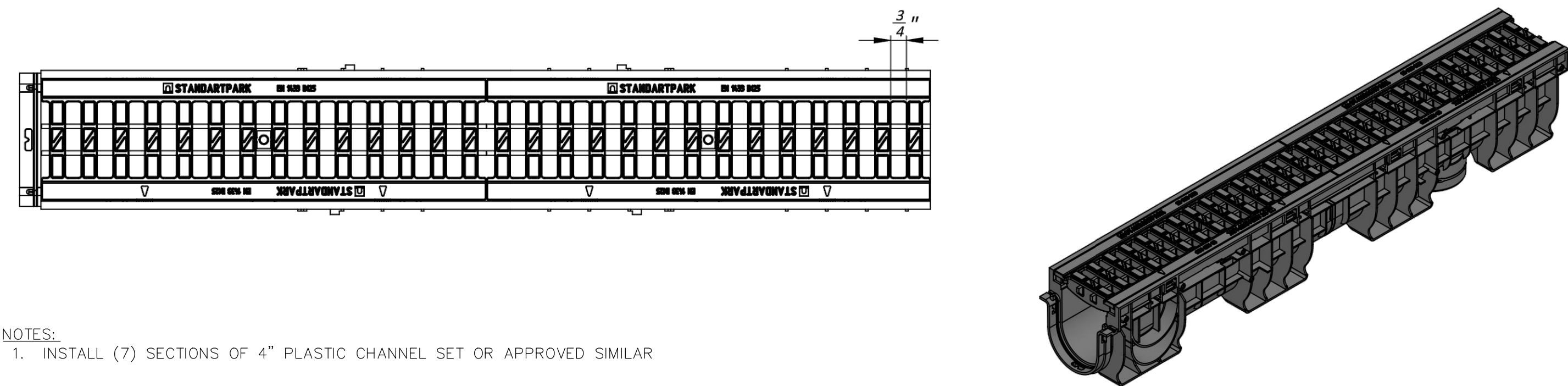
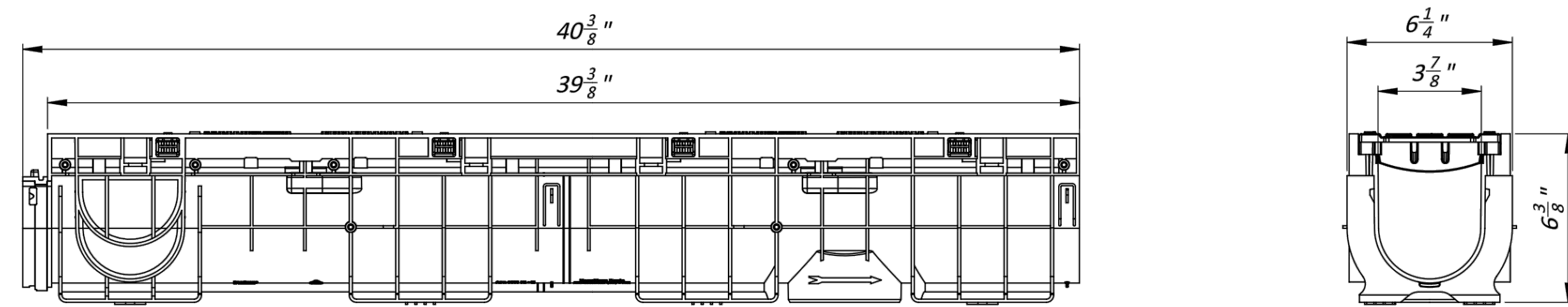
**Horizontal Scale**  
1" = 10'  
Contour Interval = 2 ft  
DATE: 6-15-2021  
JOB #: 1998-001  
DRAWN BY: JLW  
DESIGN BY: JLW  
REVIEW BY: RL

**SITE PLAN &  
PROFILE**  
DRAWING:  
SHEET #  
**1**



Primary Usage  
Reference No.  
Sign. and date  
Copy/Inv. No.  
Repl. Inv. No.  
Sign. and date  
Orig. Inv. No.

4" Plastic Channel Set



NOTES:  
1. INSTALL (7) SECTIONS OF 4" PLASTIC CHANNEL SET OR APPROVED SIMILAR

1. Area of water intake slots 56 sq in
2. Deviation of the actual weight of the nominal can be up to 10%

| Rev. | Sheet | Doc. No. | Sign. | Data     | Art. | 0814082 |
|------|-------|----------|-------|----------|------|---------|
|      |       |          |       | 11.09.16 |      |         |

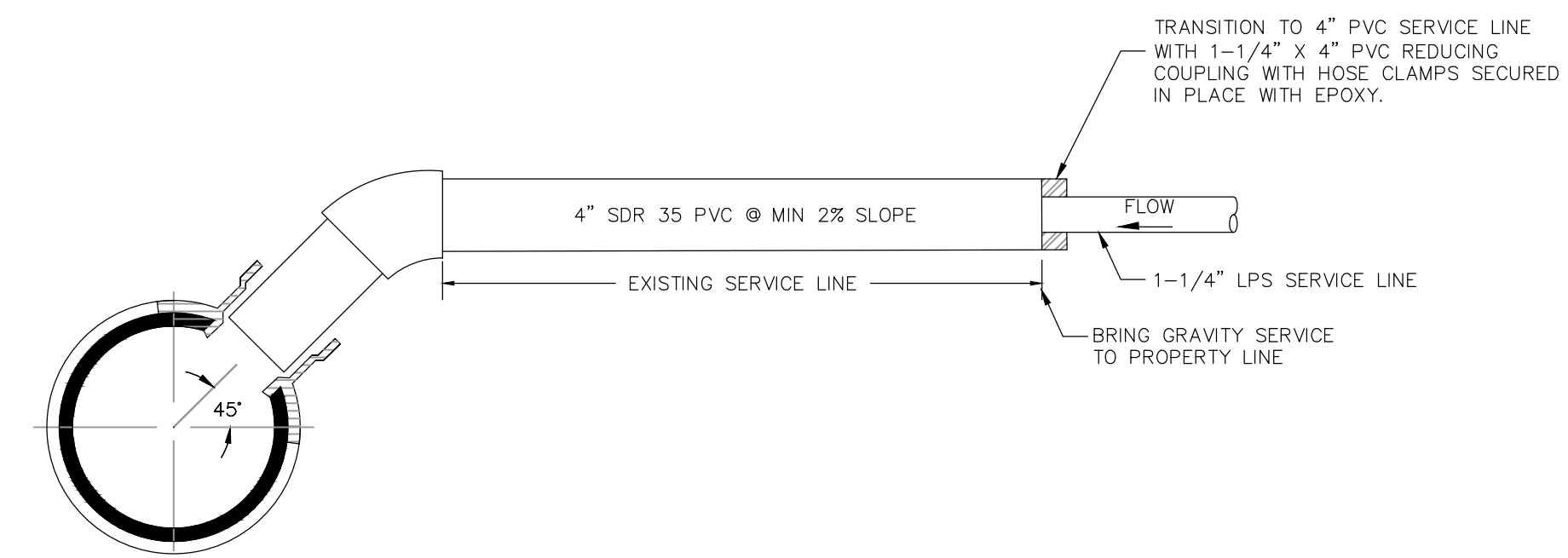
| 4" Plastic Channel Set |       |             | Art.  | 0814082 |
|------------------------|-------|-------------|-------|---------|
| 0814082                | Let.  | Weight (lb) | Scale |         |
| Load Class B           |       | 9.9         | 1:5   |         |
| Plastic                | Sheet | Sheets 1    |       |         |
| Copied by              |       | Size A3     |       |         |

UTILITY INSTALLATION NOTES:

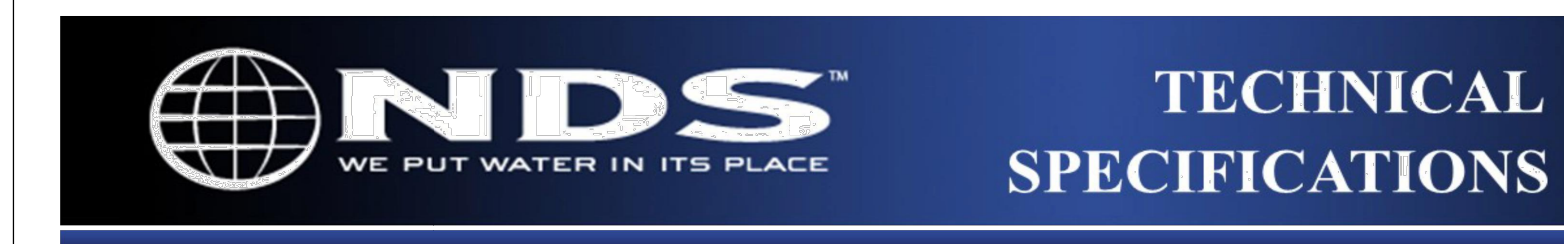
1. UTILITY LOCATES ARE PER FIELD LOCATES AND AS-BUILT RECORDS AND ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED WITH POTHOLING. FOUR POINTS SURVEYING AND ENGINEERING SHALL NOT BE ACCOUNTABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF UNDERGROUND UTILITIES.
2. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICES IS TEN (10') FEET.
3. ALL WATER AND SEWER SERVICE INSTALLATION WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MOUNT WERNER WATER AND SEWER STANDARDS AND SPECIFICATIONS, LATEST EDITION.
4. ALL DRY UTILITY WORK (ELECTRICAL, GAS, AND COMMUNICATIONS) SHALL BE IN ACCORDANCE WITH THE RESPECTIVE UTILITY SERVICE PROVIDERS.
5. WATER SERVICE LINES AND FITTINGS SHALL BE 1" COPPER TYPE K. WATER SERVICE LINE SHALL HAVE A MINIMUM OF 7'-FT OF COVER.
6. SEWER SERVICE LOW PRESSURE LINE SHALL BE HDPE OR 200 PSI POLY PURE CORE. SEWER SERVICE LINE SHALL HAVE A MINIMUM OF 4'-FT OF COVER. GRAVITY SERVICE LINES SHALL BE 4" SDR 35 PVC INSTALLED AT A MIN 2% SLOPE AND MIN 4'-FT DEPTH.
7. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM DEBRIS, ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
8. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER (NWCC).

GRINDER PUMP INSTALLATION NOTES:

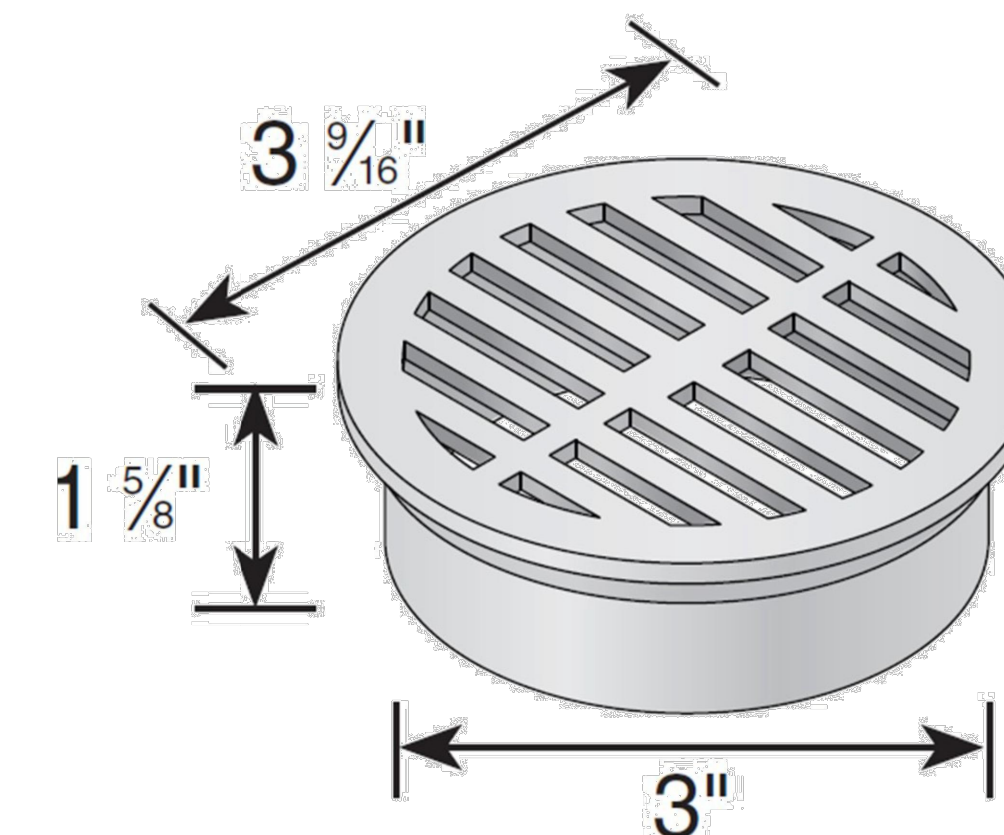
1. INSTALL E-ONE DH152-93 GRINDER PUMP PER MANUFACTURERS TYPICAL INSTALLATION INSTRUCTIONS.
2. BEDDING MATERIAL SHALL CONSIST OF 6-INCHES OF ROAD BASE OR APPROVED SIMILAR. COMPACTION REQUIREMENTS SHALL EXCEED 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 TEST PROCEDURES.



PRESSURIZED WASTEWATER SERVICE LINE AND CONNECTION TO A GRAVITY SERVICE LINE  
N.T.S.



3" Round Grate



Load Recommendation Guide

- Class A:**
- Loads of 160 psf
  - Recommended for pedestrians, bicycles and wheel-chair traffic.

ADA Compliant/Heel-proof

Part #: 14,15,16,&16S  
Material: (HDP) High Density Polypropylene  
Color: #14(Black), #15(Gray), #16(Green), & #16S(Sand)  
Fits: 3" sewer and drain pipe & fittings,  
3" corrugated and triple wall pipe.  
Grate Opening: 3/16"  
Open Surface Area: 2.60 Sq. Inches  
Head Pressure / Flow Rate:  
Head (inches) - Max Flow  
1" = 11.25 GPM  
0.5" = 7.95 GPM  
Weigh Per Each: 0.13 lbs.

851 N. Harvard Avenue  
Lindsay, CA 93247  
800-726-1994

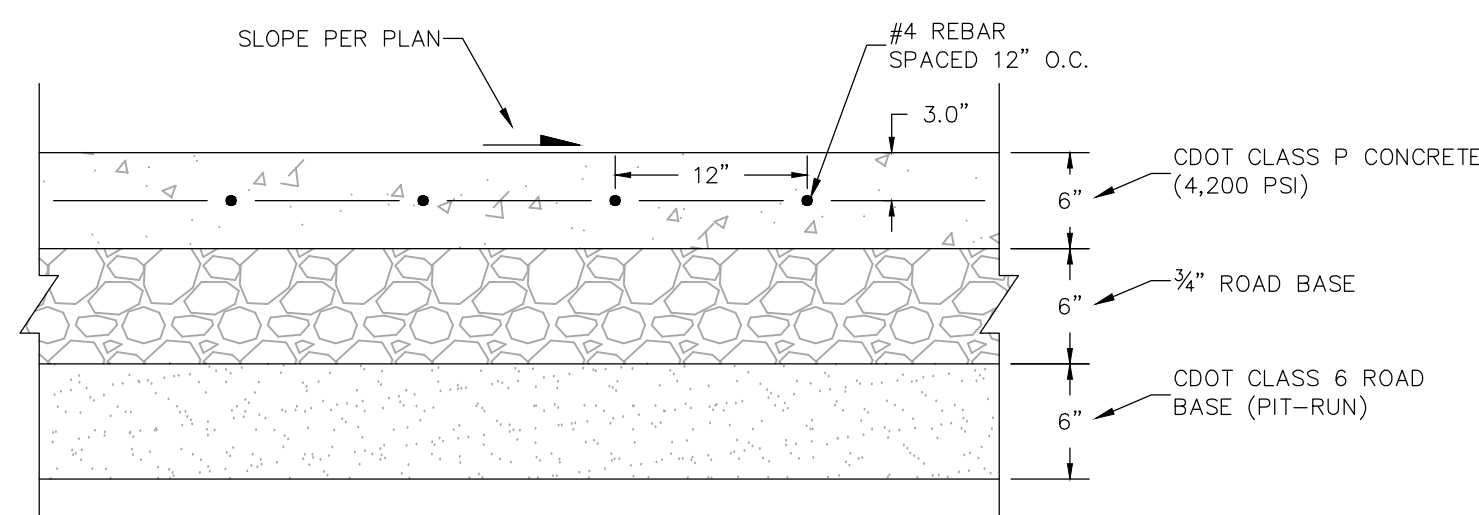
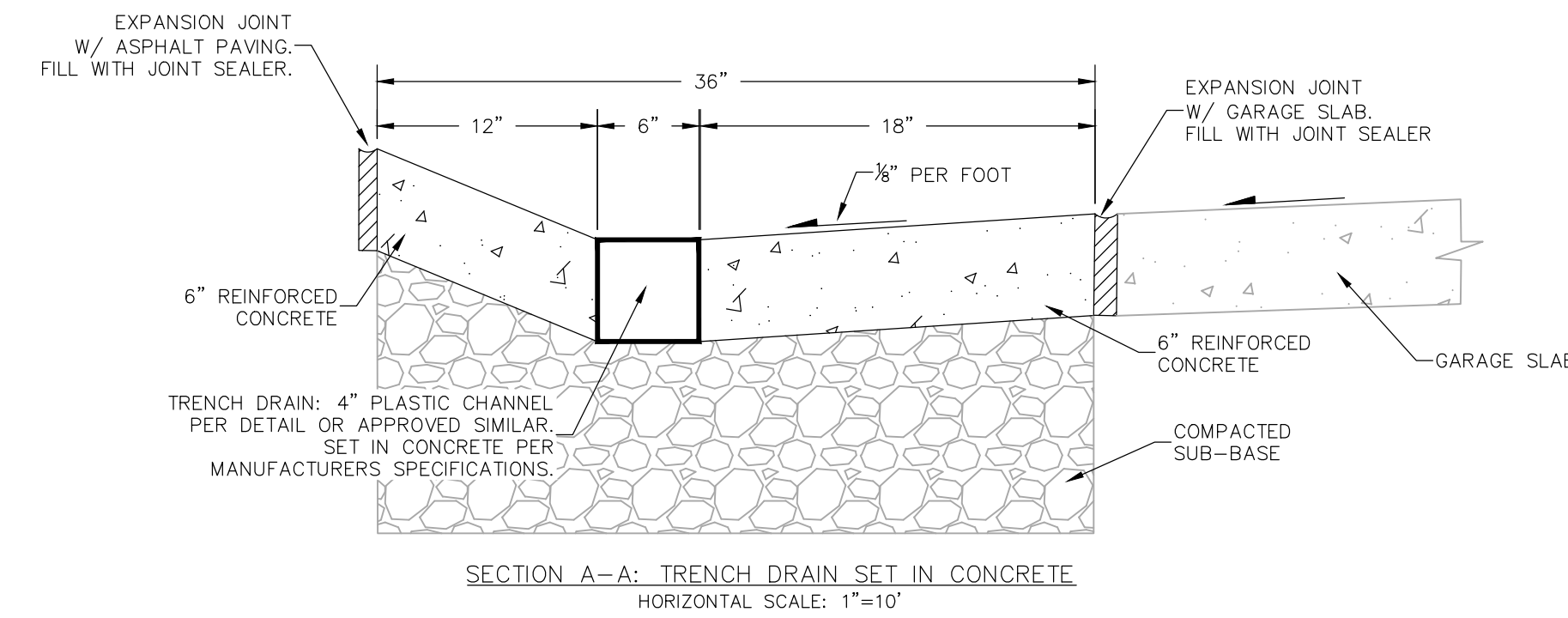
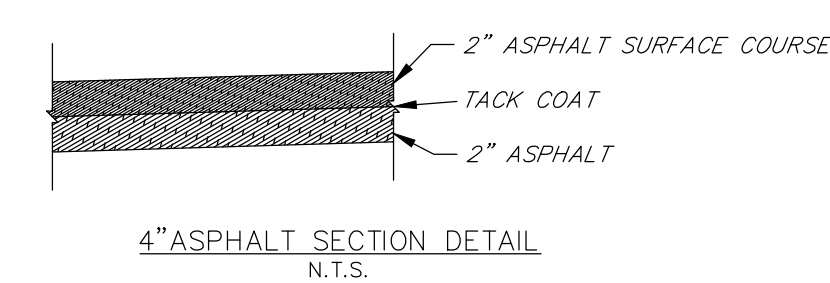
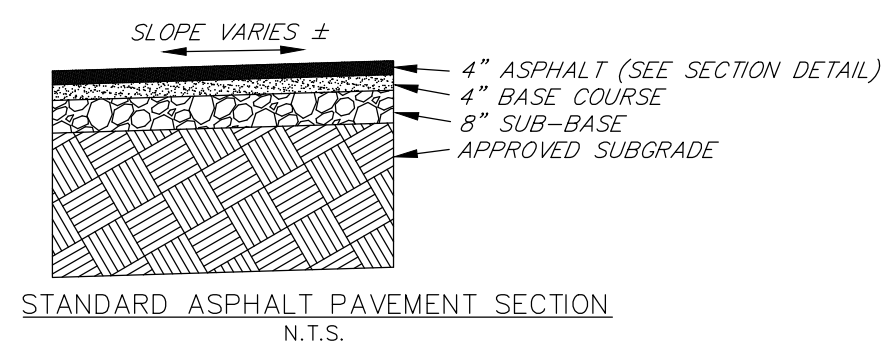
Visit [ndspro.com](http://ndspro.com) for specs,  
detail drawings, and case studies



3" GRATE DRAIN

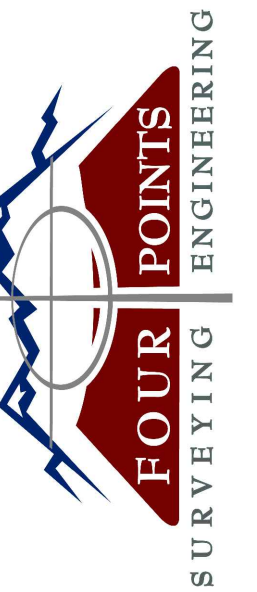
NOTES:

1. CONTRACTOR MAY USE AN APPROVED SIMILAR GRATE DRAIN.
2. ATTACH GRATE DRAIN TO 3" FLEXIBLE PVC W/ 3" PVC TEE AND 3" PVC RISER.



CONCRETE PAVING NOTES:

1. PRIOR TO THE PLACEMENT OF SUB-BASE AGGREGATES, THE EXPOSED SUB-GRADE SOILS SHALL BE UNIFORMLY SCARIFIED, MIXED, AND MOISTURE TREATED TO WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT, AND THEN RE-COMPACTED TO AT LEAST 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
2. 3/4" ROAD BASE AND CDOT CLASS 6 ROAD BASE AGGREGATES SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM MODIFIED PROCTOR DENSITY IN ACCORDANCE WITH ASTM 1557.
3. CONCRETE SHALL BE CDOT CLASS P (4,200 PSI AT 28 DAYS), OR APPROVED EQUAL.
  - 3.1. CEMENT CONTENT: 660 LBS/CY
  - 3.2. AIR CONTENT: 4%-8%
  - 3.3. WATER-CEMENT RATIO: 0.44
4. CONCRETE SHALL RECEIVE A BROOM FINISH.
5. CONTROL JOINTS SHALL BE INSTALLED 10' O.C.
6. CONTROL JOINTS SHALL BE SAW CUT 2" DEEP AND 1/4" WIDE.
7. ALL CONTROL JOINTS SHALL RECEIVE JOINT SEALANT.
8. EXPANSION JOINTS SHALL BE USED AT ABUTTING CONCRETE FOUNDATIONS AND ASPHALT PAVING AND SHALL RECEIVE PREFORMED JOINT FILLER AND JOINT SEALER. EXPANSION JOINTS SHALL BE 3" WIDE WITH 3/4" DEPTH OF JOINT SEALER.



440 S. Lincoln Ave, Suite 4A  
P.O. Box 775966  
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LOT 3, EAGLE'S VISTA  
SUBDIVISION  
1859 RIVER QUEEN LANE  
STEAMBOAT SPRINGS, CO 80487

DATE: 5/21/2021  
JOB #: 1998-001  
DRAWN BY: JLW  
DESIGN BY: JLW  
REVIEW BY: RL

IF THIS DRAWING IS PRESENTED IN A  
FORMAT OTHER THAN A3 X 36" THE  
GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING:  
SHEET #

2

#### Scope of Work

The following is a preliminary overview for schematic level costing.  
Structural information is preliminary and subject to finalization.

#### GENERAL CONDITIONS

##### 1 Site Prep / Planning

Site preparation for foundation, service connections and rainwater management to be provided inc. backfill, sub slab and perimeter gravel and drainline, base and driveway to garage (Area TBD on Site).

##### 2 Services

200 amp min. Electrical services to be provided inc. sub panel to garage. Services to be underground from client specified pole location to garage.  
Sanitary plumbing to Grinder Pump. Underground to dwelling units and perimeter drain/ rock pits as req'd.  
1" water line for each dwelling unit.  
Cable and data lines to client specified mast and underground to dwelling units.  
Propane service (gas if available)

##### 3 Foundation/ Slabs

8" CIP concrete foundation to frost protection depth.

Visible face to be formed with first use forming and considered for appearance (Windows to be 1/2" reveal to window frame with A Grade form blockouts at locations) :

Option A- To be board form EZ strip forming with ties between boards  
Option B- To be standard D.Fir form plywood with cone or button ties.

Bituminous Waterproof membrane to exterior of concrete forms to 6" below grade + Mirror Drain (Dorken Delta or Equiv.) Silane sealer to concrete above.

All slabs/ stairs and associated flat work to be placed and finished to +/- 1/8"- 10" with square cornered inside and outside corners. Cut lines to confirmed with Design Consultant and completed w/ circular (Skil) saw with diamond blade and straightedge. All finished trowelled slabs to be (interior) smooth troweled w/ silane sealer and no sheen janitorial wax. Exterior slab work to be float finished w/ 1-2 passes of power trowel to traction finish.  
All interior topping slabs to be 3" thickness typ. c/w mesh reinforcement and heating tubing where applicable.

##### 4 Framing (prelim. to be confirmed)

Exterior walls as noted to be 2x6 stud per Structural on 2x6 plate (c/w R-21 cavity insulation with continuous 1" XPS outulation)  
All 6x10 Roof/ Wall Framing exterior walls as noted to be SPF per Structural (visible) with 2x tongue and groove decking, c/w 1/2" plywood sheathing.  
All interior walls to be 2x4/6 as per romm dimension requirements as noted.  
Main floor framing to be TJI or LVL per Structural c/w Ply subfloor to receive concrete topping  
Upper floor framing to be 6x10 per Structural with 2x tongue and groove decking, c/w 1/2" plywood sheathing. Floor assembly to c/w. 1 1/2" furring strips for mineral wool sound insulation through out and dropped @ bathroom for flush tile and shower pan installation. 1" subfloor for 3/4" wood flooring.  
All 6x10 Roof/ Wall Framing as noted to be SPF (visible) per Structural with 2x tongue and groove decking, c/w 1/2" plywood sheathing. C/w with outulation.

##### 5 Thermal and Moisture Protection (ACH <0.6)-provide blower door test prior to interior finish installation and pre-occupancy.

Wall moisture barrier (ext) to be Solitex Adhero c/w Tescon Vana Tape  
Air barrier (int) to be Proclima Intello Plus c/w Tescon Vana Tape  
Roofing Underlayment to be fully adhered Soprema Lastobond Shield HT. (to be returned 8-10" down top of wall exterior moisture barrier as perimeter sub flashing.  
Insulation to be rockwool for cavity fill and exterior above grade board  
Basement to be XPS with mineral wool cavity (c/w 2lb. closed cell spray foam as req'd for air barrier continuity at joist pockets)  
Roof insulation to be: 2 lb. closed cell spray foam insulation, min. R-49.  
Provide Rock wool sound insulation for all interior walls and floor cavities (and rockwool board for upper floor framing)  
Roofing to be metal - 7/8" corrugated steel siding (22ga/ Weathering Steel finish), with 18 ga. flashing to match.

##### 6 Exterior

Windows and sliding doors to be metal (clear anodized aluminum, or color to match Weathering steel.) max. U-30 as req'd.  
Wall Cladding to be: Where indicated 7/8" corrugated steel siding (22ga/ Weathering Steel finish), with flashing to match.  
Douglas Fir T&G Boards where indicated (3-1/4" face w/ 1/8" shadowline) where indicated - C Clear or better T&G Soffit/ Wall Cladding.  
Flashing to be square back hem returned 3/4" @ windows and doors, 2" at eave, and 4" at top of wall/ roof transition.

##### 7 Interior

Wall and Ceiling Finishes:

Lower Level T&G Ceiling Cladding throughout to match visible 2X decking.  
T&G Wall Cladding where noted to match visible 2X decking.  
Hallway Walls- GWB \* tile and backer board in bathroom.

Main Floor Inside face of exterior wall- Visible 6x10 Rafters/ 2X decking.  
Interior Walls- GWB \* tile and backer board in bathrooms.  
Upper Floor Inside face of exterior wall - Visible 6x10 Rafters/ 2X decking.  
Interior Walls- GWB \* tile and backer board in bathrooms.  
Garage Exposed Framing.

All GWB to #4 finish typ. and #5 within 6' of adjacent wall or ceiling where perpendicular to glass.  
All GWB to be painted with washable flat paint.  
All GWB walls to finished to the edges have a 1/2" shadow trim bead (Flannery, Fry Reglet or Gordon) or 1/8" shadow edge or L bead where abutting a dissimilar material or frame.

All tile to be prep'd with cement or schuler backing panel w./ fabric reinforces liquid waterproofing for all shower/ tub deck and skirt and base transitions.  
tile TBD@ +/- 3-4" square or rect. assume 1/16" grout lines and bullnose edge tiles on corners and edges.

Interior doors to be 1 3/4" solid core wood painted with frames bevel prep'd for mud into adjacent GWB wall w./ confil and feather. To be supplied with stainless steel or brushed nickel hinges and levers to be supplied by Design Consultant (mortice prep req'd). Sliding doors to be Slid Retrac or Hawa Junior with track recessed for door to be pocketed or 1/8" off of ceiling face.

Flooring:

Basement, main floor, and garage to be smooth trowelled concrete- protected during construction, all hairline cracks filled with a maipal or flexite unsanded tile grout of matching colour, cleaned with a light pass of 180 grit on a hand orbital sander or janitorial screen, sealed with a silane sealer and a low sheen janitorial floor wax.

Upper floor to be a T&G flooring to match visible 2X decking, finished with Salcos hardwax oil finish. To be engineered if over radiant and C-Clear mixed grain 3.25"W x 6-8' L with min 30% over 10' and max 30% under 4'.

Stair treads to be Jointed 90' L caps from C-Clear 2x12 and 2x8 stock to match upper level flooring.

##### 8 Millwork

Casework to be exposed edge GIS D Fir Plywood where back of panel not visible and marine grade D fir plywood for all doors and visible panel. To be finished in a rubbing linseed or hardwax oil of the design consultant's colour selection. rods to be 1- 1/2" Hem fir dowel or 1 1/4" stainless steel ornamental tube. Drawer boxes to be prefabricated maple dovetail boxes or b.birch plywood construction. All shelves below 4' to have 1.5" upstands and be pullout. all shelves above 4' to be pin adjustable. Full height pantry pullout units to be Hafele or Richelieu supplied w./ chrome baskets. Allow for panels for fridge and dishwashers and hardware installation. All drawers to be softclose, typ.

Millwork to include vanities, kitchens, and closets (2 drawer bases w/ shelf and rod).  
Counter tops TBD. Cost per solid surface, stone, quartz or stainless steel.

##### 8 Appliances

Fixtures TBD- \$20,000 Budget allowance for GC or owner supply.  
Allow for installation, connections and coordination of panel ready fridge and DW. Allow for water RI to fridges.

##### 9 Electrical

Rough in wiring to be supplied and installed.  
Fixtures TBD- \$20,000 Budget allowance for electrician or owner supply.  
A Lighting and device plan will be provided by the design consultant.  
Lights are semi-recessed wallmount (TBD) for most applications (no potlights) and to be wired for trade supplied dimmers for all locations.  
Allow for pendant light above dining tables. 4 aluminum round floor outlets in the living areas and stainless steel (or white painted steel) device covers with white decora devices.  
All tel data locations to be in a partitioned multigang single plate with adj. line volt power.  
Provide data ports in each floor level and suite w./ homerun to garage.  
Provide option for Security.  
If central heating is not hydronic provide for undertile heating mats in each bathroom.

##### 10 Plumbing

Rough-in plumbing to be supplied and installed.  
All wastelines to be wrap insulated or cast iron in partition walls.  
Fixtures TBD- \$20,000 Budget allowance for plumber or owner supply. Plumber to supply chrome stops, escutcheons and Ptraps where visible. (no visible plastic inwall pipe).  
Allow for 4 frost free hosebibs and 1 landscape water termination.  
Provide cost option for shop sink in garage and floor drain.  
Provide cost option for Hydronic boiler heating system with domestic water heating component.  
Provide cost option for water filtration/ softner.  
Provide cost option for gas cooktops.

##### 11 HVAC

Concrete toppings/ slab on grade to have radiant infloor heating.  
Provide cost option for radiant infloor heating for upper levels (Warmboard, or equiv).  
Kitchen cooktops to have downdraft vent.  
All vents to be coordinated in existing wall or ceiling framing (no bulkheads) head positions to be provided +/- 4" tin mark up for design consultant to return specific location in drawings.

NOTES:  
+ All new construction as per 2018 IRC and 2018 IECC.  
+ All device locations as shown in architectural drawings. If Building regulations require alternate location it is to be approved by Design Consultant prior to placement.  
+ Provide power and service requirements to equipment shown in the equipment schedule.

DIMENSIONS:  
All dimensions must be verified on site. Do not scale off drawings. Plans take precedent over elevations. In the absence of dimensions, or if discrepancies exist, consult Designer. All minimum dimensions are to comply with the International Residential Code.

SHOP DRAWINGS:  
Submit shop drawings to the Design Consultant and Engineer for approval prior to manufacture of prefabricated elements of the building.

DESIGN CONSULTANT REQUIREMENTS AND APPROVALS:  
It is the Builder's responsibility to notify Design Consultant and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Design Consultant.

AUTHORITIES' REQUIREMENTS AND APPROVALS:  
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

Scott & Scott is registered in the Province of British Columbia. All aspects of work completed outside of British Columbia is conceptual in nature and where required an Architect of record is to be engaged by the client for the completion of work.

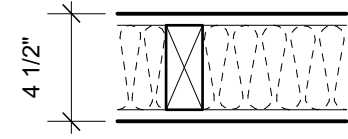
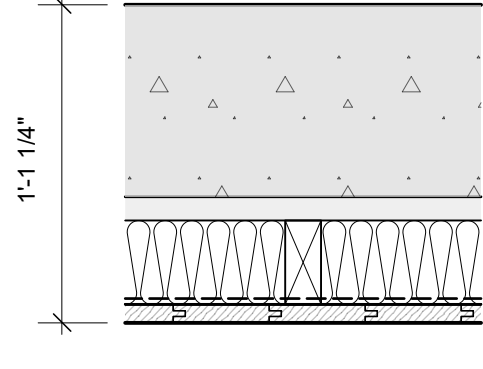
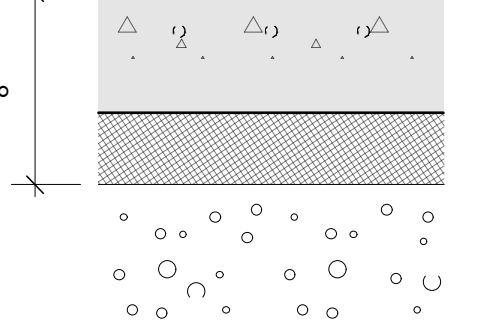
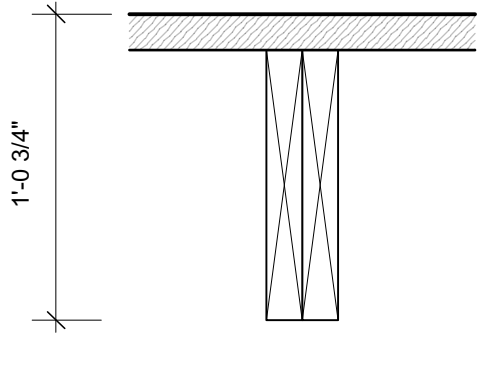
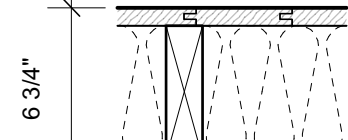
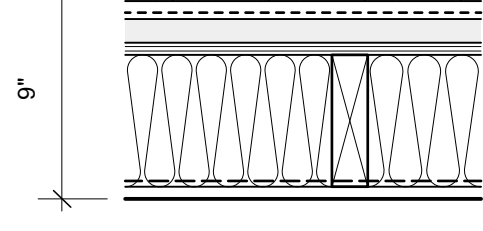
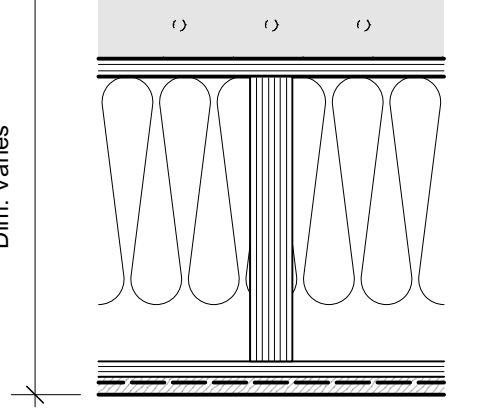
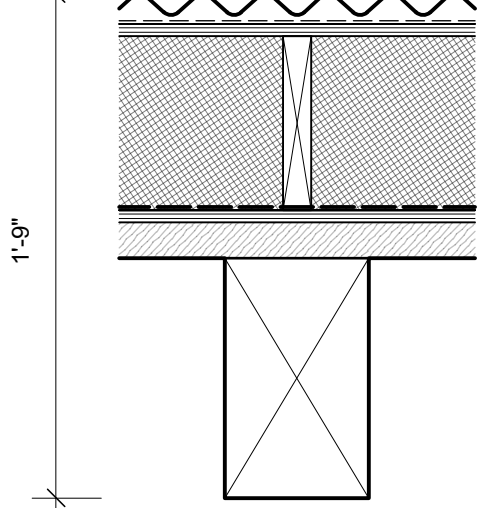
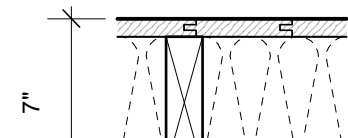
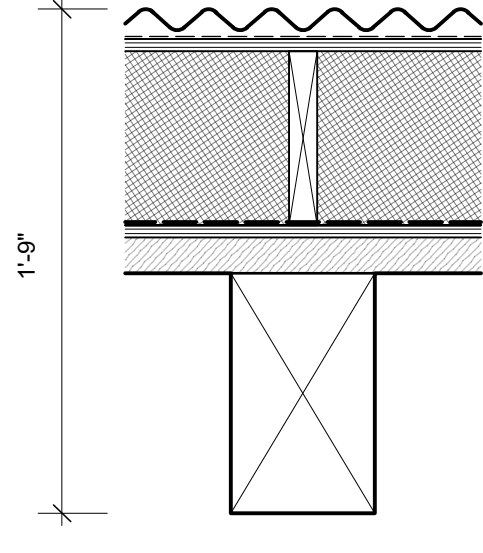
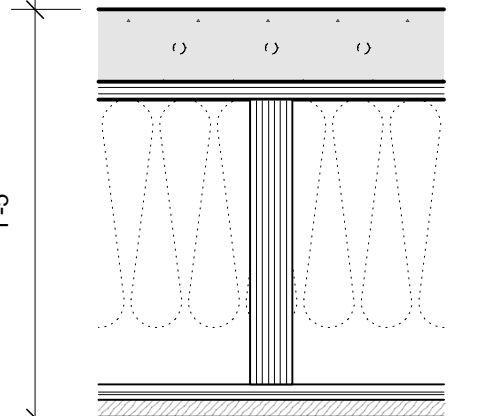
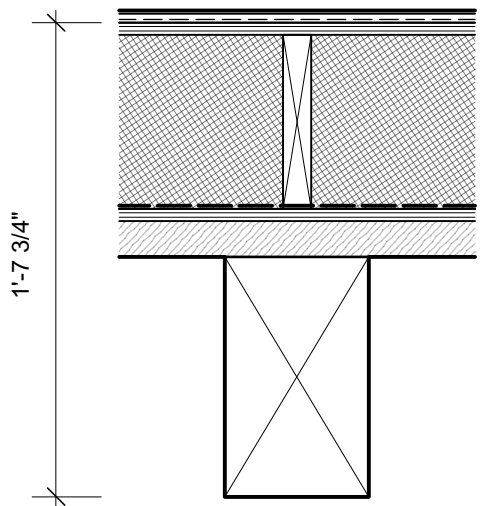
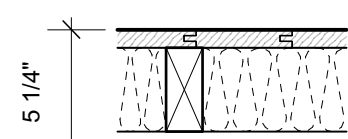
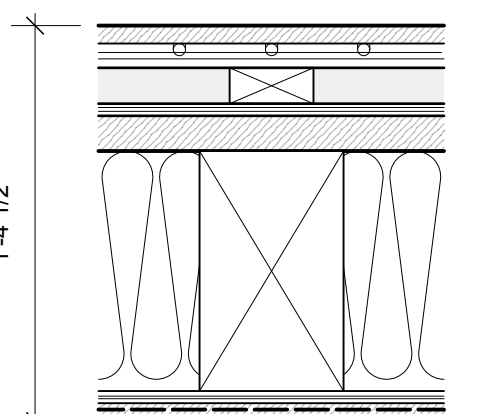
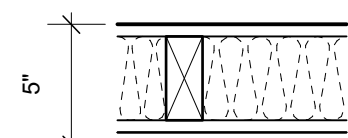
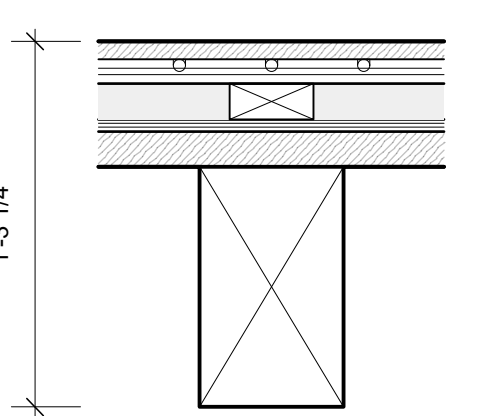
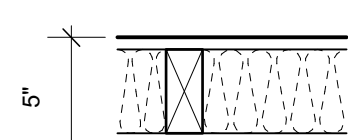
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Alpine House**  
Steamboat Springs, Co

**A0.00**

Scope of Work

23 JUNE 2021

| TYPE  | PARTITION TYPE DESCRIPTION   | TYPE     | EXTERIOR WALL TYPE DESCRIPTION   | TYPE | FLOOR TYPE DESCRIPTION  |    |  |  |
|---|--|----------|--|------|---|----|--|--|
| P1  | <br><b>Partition Type Assembly 1</b><br>+ 1/2" GWB, Level 4/5 finish.<br>+ 2x4 studs @ 16" o.c.<br>+ acoustic batt in cavity<br>+ 1/2" GWB, Level 4/5 finish.                                     | W1       | <br><b>Exterior Wall Assembly 1 (Basement) (R-20)</b><br>+ 6" min. clean gravel backfill below grade<br>+ Foundation dampproofing below grade<br>+ Reinforced concrete wall per Structural (CIP - Boardform Architectural Grade)<br>+ 1" continuous XPS rigid insulation (R-5)<br>+ 2x4 stud wall @ 16" O.C. (min. R-4 insulated headers)<br>+ 3 1/2" Rockwool Comfortbatt insulation in cavity (R-15)<br>+ 6 mil poly VB/AB (seal all joints)<br>+ 3/4" Vertical T&G wall cladding to match Decking   | F1   | <br><b>Exterior Floor Assembly 1 - R-21</b><br>+ 5" reinforced concrete slab on grade (in floor radiant) per Structural<br>+ 3" 2 lb. closed cell sprayfoam insulation (Vapor/ Air barrier) (R-21)<br>+ 6" min. 1/4" clean gravel fill   | F4 | <br><b>Exterior Floor Assembly 4 (Deck)</b><br>+ 1-1/2" Cedar Deck Boards (gapped 1/4")<br>+ Joists per Structural  |  |
| P2  | <br><b>Partition Type Assembly 2</b><br>+ 3/4" Vertical Pine T&G to match Decking.<br>+ 2x6 studs @ 16" o.c.<br>+ acoustic batt in cavity<br>+ 1/2" GWB, Level 4/5 finish.                        | W2       | <br><b>Exterior Wall Assembly 2 (R-26)</b><br>+ 3/4" Vertical Douglas Fir T&G Cladding<br>+ 3/4" cedar strapping (airspace)<br>+ Vapour Permeable Weather Barrier<br>+ 1" continuous XPS rigid insulation (R-5)<br>+ Plywood sheathing per Structural<br>+ 2x6 stud wall @ 16" O.C. (min. R-4 insulated headers)<br>+ 5 1/2" Rockwool Comfortbatt insulation in cavity (R-21)<br>+ 6 mil poly VB/AB (seal all joints)<br>+ 1/2" GWB, PTD, Level 4/5 finish, or interior finish as noted.   | F2   | <br><b>Exterior Floor Assembly 2 (R-38)</b><br>+ 3" concrete topping (in floor radiant) per Structural<br>+ 3/4" plywood sheathing per Structural<br>+ Joists per Structural<br>+ 9-1/2" Rockwool comfortbatt insulation in cavity (R-38)<br>+ 5/8" plywood sheathing<br>+ Vapour Permeable Weather Barrier<br>+ 3/4" Douglas Fir T&G Cladding   | R1 | <br><b>Exterior Roof Assembly 1 (R-50.75)</b><br>+ 7/8" corrugated steel siding (22ga/ Weathering Steel finish)<br>+ Roofing underlayment (Soprema Lastobond Shield HT or equiv.)<br>+ 1/2" plywood sheathing<br>+ 7-1/4" 2lb. closed cell spray foam (R-7/ inch=R-50.75) attached with 2x8s per Structural (fixing centers to be aligned with rafters for no visible fasteners on exposed decking)<br>+ Fully adhered Peel & Stick Air/Vapour Barrier<br>+ 1/2" plywood sheathing per Structural<br>+ 2x6 T&G Decking per Structural<br>+ Rafters per Structural (Visible) |  |
| P3  | <br><b>Partition Type Assembly 3</b><br>+ 3/4" Vertical Pine T&G to match Decking.<br>+ 2x6 studs @ 16" o.c.<br>+ acoustic batt in cavity<br>+ 3/4" Vertical Pine T&G to match Decking.           | W3       | <br><b>Exterior Wall Assembly 3 (R-50.75)</b><br>+ Vertical 7/8" corrugated steel siding (22ga/ Weathering Steel finish)<br>+ Vapour Permeable Weather Barrier<br>+ 1/2" plywood sheathing<br>+ 7-1/4" 2lb. closed cell spray foam (R-7/ inch=R-50.75) attached with 2x8s per Structural (fixing centers to be aligned with rafters for no visible fasteners on exposed decking)<br>+ Fully adhered Peel & Stick Air/Vapour Barrier<br>+ 1/2" plywood sheathing per Structural<br>+ 2x6 T&G decking per Structural<br>+ Columns per Structural (Visible) | F2b  | <br><b>Interior Floor Assembly 2b</b><br>+ 3" concrete topping (in floor radiant) per Structural<br>+ 3/4" plywood sheathing per Structural<br>+ Joists per Structural<br>+ Acoustic Insulation in cavity<br>+ 5/8" plywood sheathing<br>+ 3/4" Pine T&G Cladding to match Decking   | R2 | <br><b>Exterior Roof Assembly 2 (R-50.75)</b><br>+ 1/8" Weathering Steel Plate<br>+ Roofing underlayment (Soprema Lastobond Shield HT or equiv.)<br>+ 1/2" plywood sheathing<br>+ 7-1/4" 2lb. closed cell spray foam (R-7/ inch=R-50.75) attached with 2x8s per Structural (fixing centers to be aligned with rafters for no visible fasteners on exposed decking)<br>+ Fully adhered Peel & Stick Air/Vapour Barrier<br>+ 1/2" plywood sheathing per Structural<br>+ 2x6 T&G Decking per Structural<br>+ Rafters per Structural (Visible)                                  |  |
| P4  | <br><b>Partition Type Assembly 4</b><br>+ 3/4" Vertical Pine T&G to match Decking.<br>+ 2x4 studs @ 16" o.c.<br>+ acoustic batt in cavity<br>+ 1/2" tile backer board in wet areas<br>+ Wall tile |          |  | F3   | <br><b>Exterior Floor Assembly 3 (R-38)</b><br>+ 3/4" T&G Flooring to match Decking, or interior finish as noted.<br>+ 1" Plywood subfloor sheathing (in floor radiant)<br>+ 2x4s on the flat w/ 1-1/2" Rockwool Comfortboard in cavity<br>+ 1/2" plywood sheathing per Structural<br>+ 2x6 T&G Decking per Structural<br>+ Joists per Structural<br>+ 9-1/2" Rockwool comfortbatt insulation in cavity (R-38)<br>+ 1/2" Plywood sheathing<br>+ Vapour Permeable Weather Barrier<br>+ 3/4" Douglas Fir T&G Cladding |    |  |  |
| P5  | <br><b>Partition Type Assembly 5</b><br>+ 1/2" GWB, Level 4/5 finish.<br>+ 2x4 studs @ 16" o.c.<br>+ acoustic batt in cavity<br>+ 1/2" tile backer board in wet areas<br>+ Wall tile              |          |  | F3b  | <br><b>Interior Floor Assembly 3b</b><br>+ 3/4" T&G Flooring to match Decking, or interior finish as noted.<br>+ 1" Plywood subfloor sheathing (in floor radiant)<br>+ 2x4s on the flat w/ 1-1/2" Rockwool Comfortboard in cavity (fixing centers to be aligned with joists below for no visible fasteners on exposed decking)<br>+ 1/2" Plywood sheathing per Structural<br>+ 2x6 T&G Decking per Structural<br>+ Floor Joists per Structural (Visible)   |    |  |  |
| P6  | <br><b>Partition Type Assembly 6</b><br>+ 1/2" GWB, Level 4/5 finish.<br>+ 2x4 studs @ 16" o.c.<br>+ acoustic batt in cavity<br>+ 1" Marine Grade Plywood to Match Millwork                       |          |  |      |   |    |  |  |
| <b>ENERGY COMPLIANCE SUMMARY:</b>                           |  |          |  |      |   |    |  |  |
| METHOD OF ANALYSIS:   | Prescriptive Envelope  |          |  |      |   |    |  |  |
| CLIMATE ZONE:   | 7  |          |  |      |   |    |  |  |
| BUILDING TYPE:  | Two Family Residential   |          |  |      |   |    |  |  |
| PRESCRIPTIVE REQUIREMENTS (Building Thermal Envelope R402): |  |          |  |      |   |    |  |  |
|   | REQ'D PERFORMANCE  | PROPOSED |  |      |   |    |  |  |
| Wood Framed Wall (2x6):                                     | R-20/ 5  | R-26     |  |      |   |    |  |  |
| Basement Wall:  | R-15/19  | R-20     |  |      |   |    |  |  |
| Flat Ceilings:  | R-49   |          |  |      |   |    |  |  |
| Roof Without Attic Space:                                   | R-49   | R-50.75  |  |      |   |    |  |  |
| Slab on Grade:  | R-10   | R-21     |  |      |   |    |  |  |
| Floor Insulation:   | R-38   | R-38     |  |      |   |    |  |  |
| Windows:  | U-30   | U-30     |  |      |   |    |  |  |
| Skylights:  | U-0.55   | U-0.55   |  |      |   |    |  |  |

1 Exterior Assemblies Legend  
1-1/2" = 1" (@24"x36" plot)

**GENERAL NOTES:**

1. General notes are an aid to the Contractor in understanding the work and should not be construed to be complete in every detail. It is the specific and explicit responsibility of the Contractor to visit the site, verify the existing conditions, familiarize himself thoroughly with the scope of work, and report all discrepancies between the drawings and the assumed or actual conditions to the attention of the Design Consultant.

2. It is the specific and explicit responsibility of the Contractor to examine the contract documents in their entirety, to report all discrepancies encountered therein to the attention of the Design Consultant and await resolution before proceeding with any work affected by those discrepancies. No one drawing or specification shall "govern"; Contractor shall coordinate between design drawings and specifications.

3. All lines, symbols, notes, poche, and other graphic devices contained in the contract documents and specifications carry specific or inferential meaning and are all part of the Contractor's scope of work, whether or not they have been included in the original estimate. Any items for which the Contractor requires further clarification shall be brought to the attention of the Design Consultant before commencement of any work.

4. Design work is the responsibility of the Design Consultant. The Contractor shall assume all responsibility and design liability for changes in the scope of work not brought to the attention of the Design Consultant.

5. Contractor to secure and pay for all licenses, permits, and other applicable fees necessary for the performance, completion, inspection and approval of all work.

6. Contractor shall coordinate the work of all sub-contractors, including those under separate contract with the Owner.

7. Contractor shall maintain a clean and safe project site at all times.

8. Contractor shall provide all necessary barricades and other forms of protection to prevent injury to Owner, employees and the General Public during the period of construction.

9. Alternates and Substitutions to specified items are to be submitted to the Design Consultant/ Engineer for review and approval.

10. Contractor to provide structural backing/ blocking for all wall-mounted fixtures, finishes, and equipment.

11. Contractor to install all materials and equipment as per manufacturer's written instructions and/or recommendations.

12. Contractor is responsible for all means and methods of construction, including temporary shoring, bracing, or other protection as required. Engineering specifies finished condition only, without assuming knowledge nor responsibility for how the Contractor will achieve the result.

**NOTES:**  
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+ Provide power and service requirements to equipment shown in the equipment schedule.

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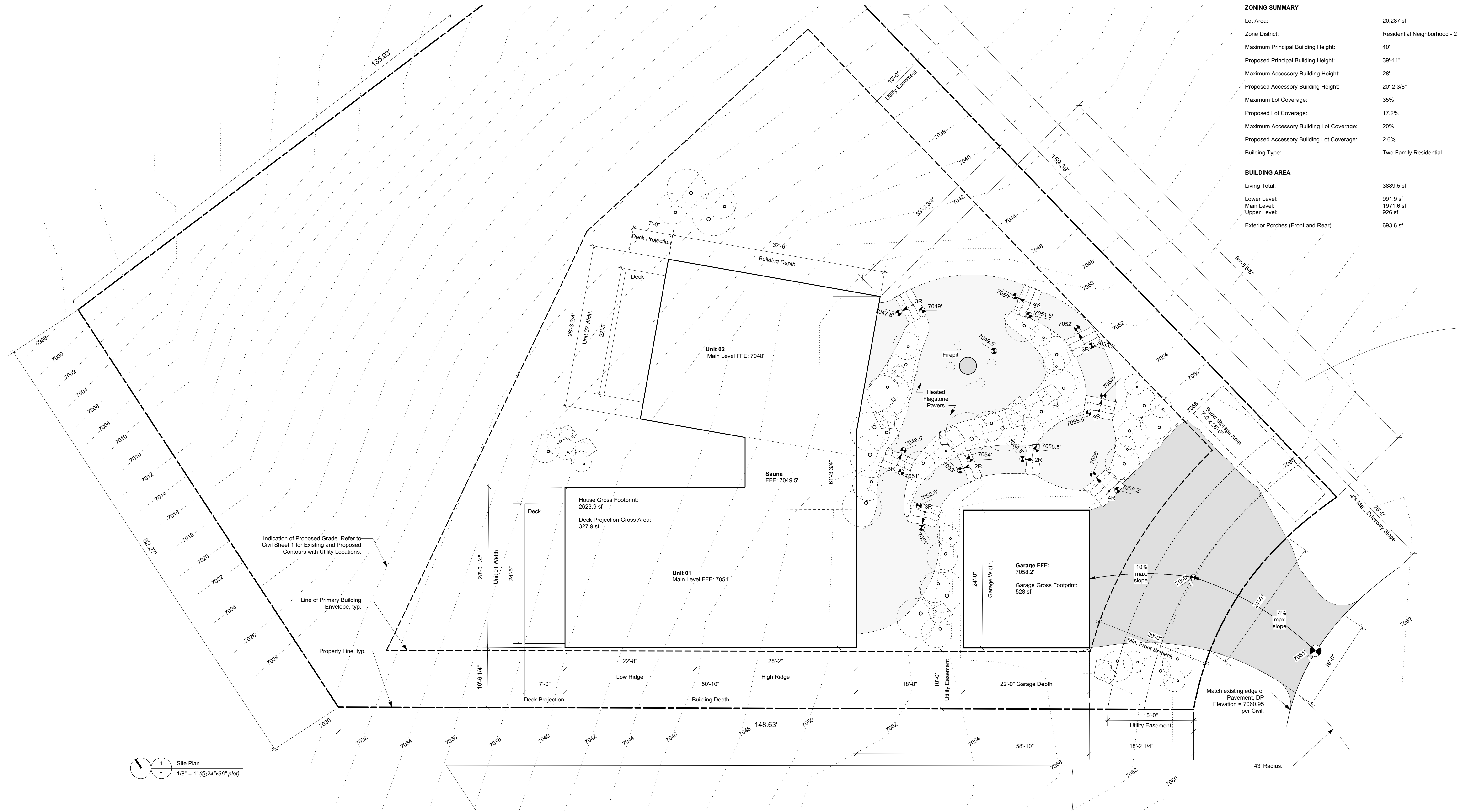
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Alpine House**  
Steamboat Springs, Co

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Notes & Assemblies Legend



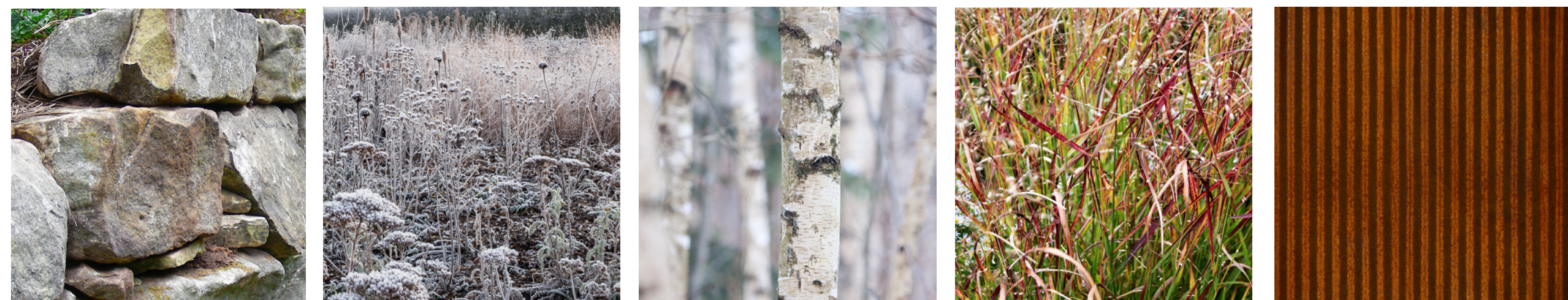
**ZONING SUMMARY**

|   |                              |
|---|------------------------------|
| Lot Area:                                 | 20,287 sf                    |
| Zone District:                            | Residential Neighborhood - 2 |
| Maximum Principal Building Height:        | 40'                          |
| Proposed Principal Building Height:       | 39'-11"                      |
| Maximum Accessory Building Height:        | 28'                          |
| Proposed Accessory Building Height:       | 20'-2 3/8"                   |
| Maximum Lot Coverage:                     | 35%                          |
| Proposed Lot Coverage:                    | 17.2%                        |
| Maximum Accessory Building Lot Coverage:  | 20%                          |
| Proposed Accessory Building Lot Coverage: | 2.6%                         |
| Building Type:                            | Two Family Residential       |

**BUILDING AREA**

|                                   |           |
|-----------------------------------|-----------|
| Living Total:                     | 3889.5 sf |
| Lower Level:                      | 991.9 sf  |
| Main Level:                       | 1971.6 sf |
| Upper Level:                      | 926 sf    |
| Exterior Porches (Front and Rear) | 693.6 sf  |

1 Site Plan  
1/8" = 1' (@24"x36" plot)



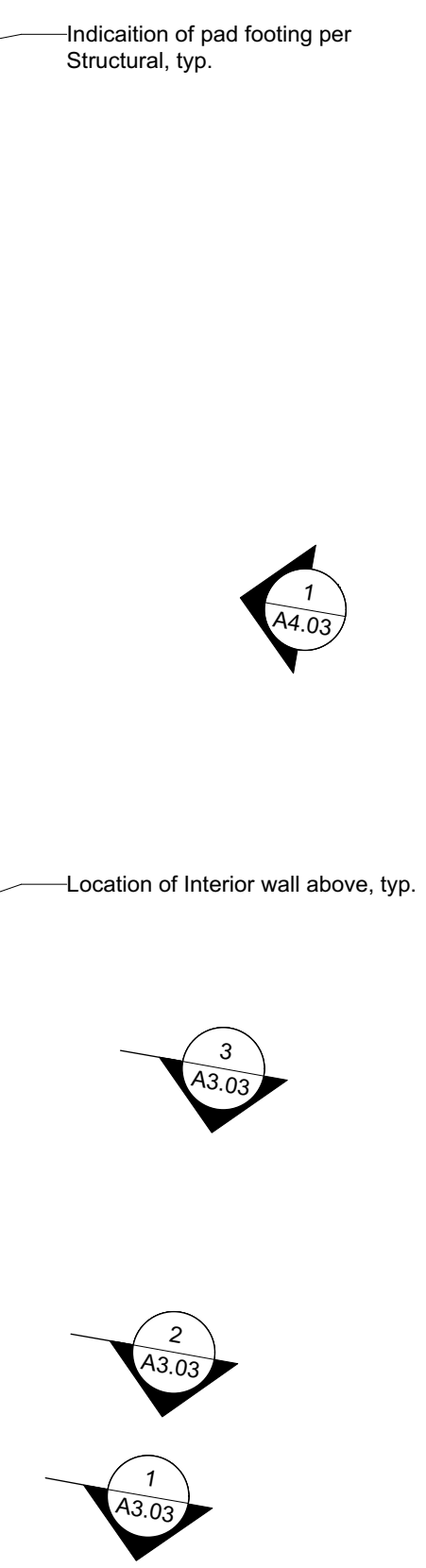
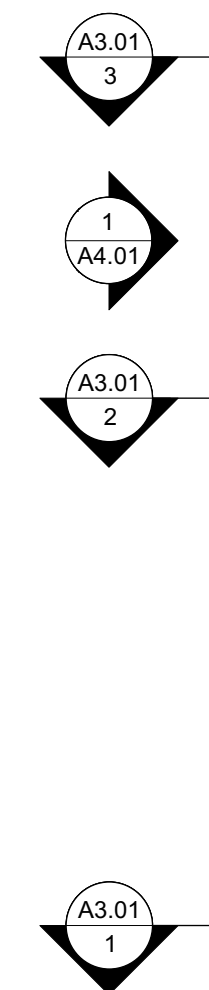
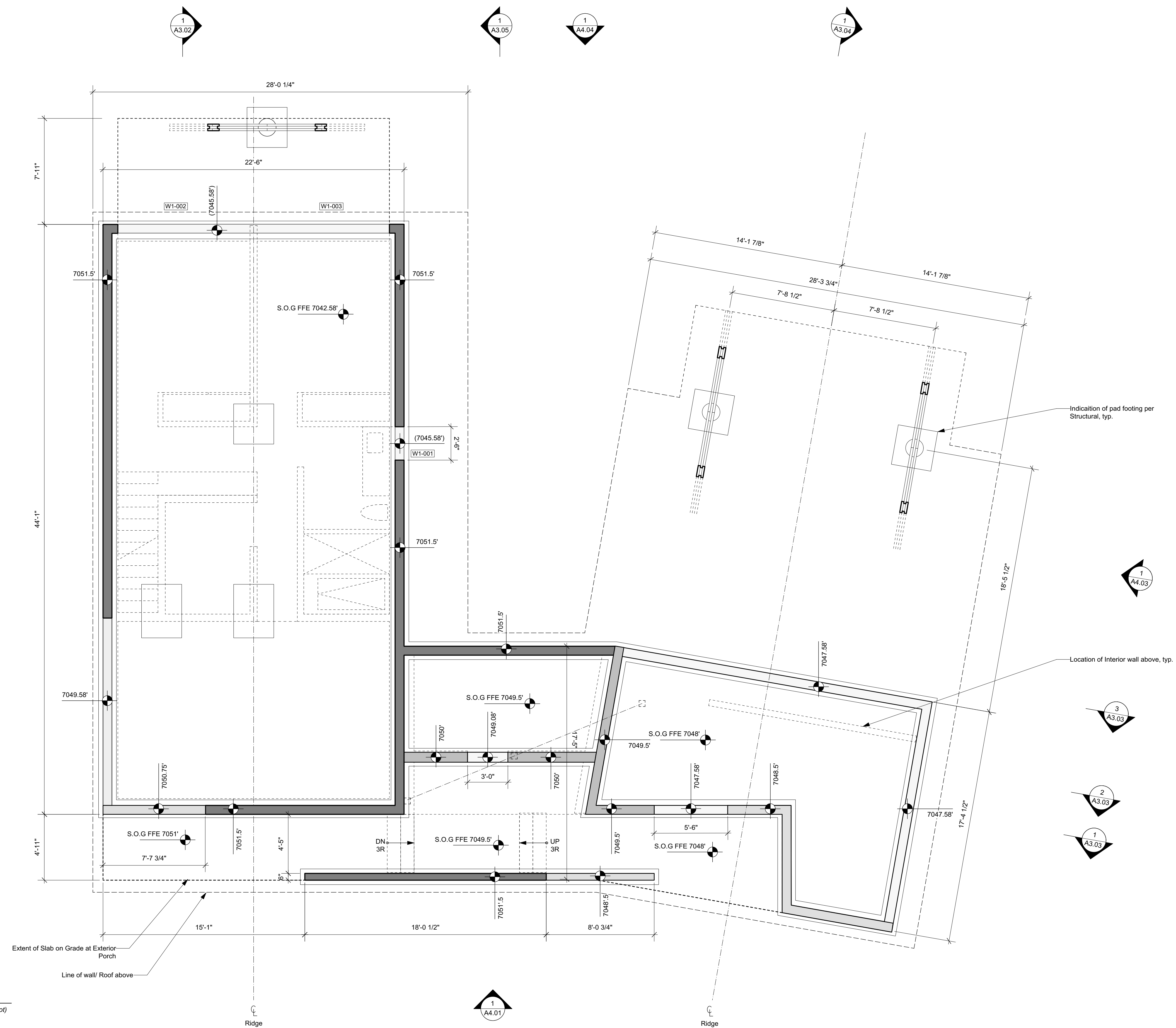
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Site Plan

23 JUNE 2021



Foundation Plan  
1/4" = 1' (@24"x36" plot)

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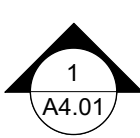
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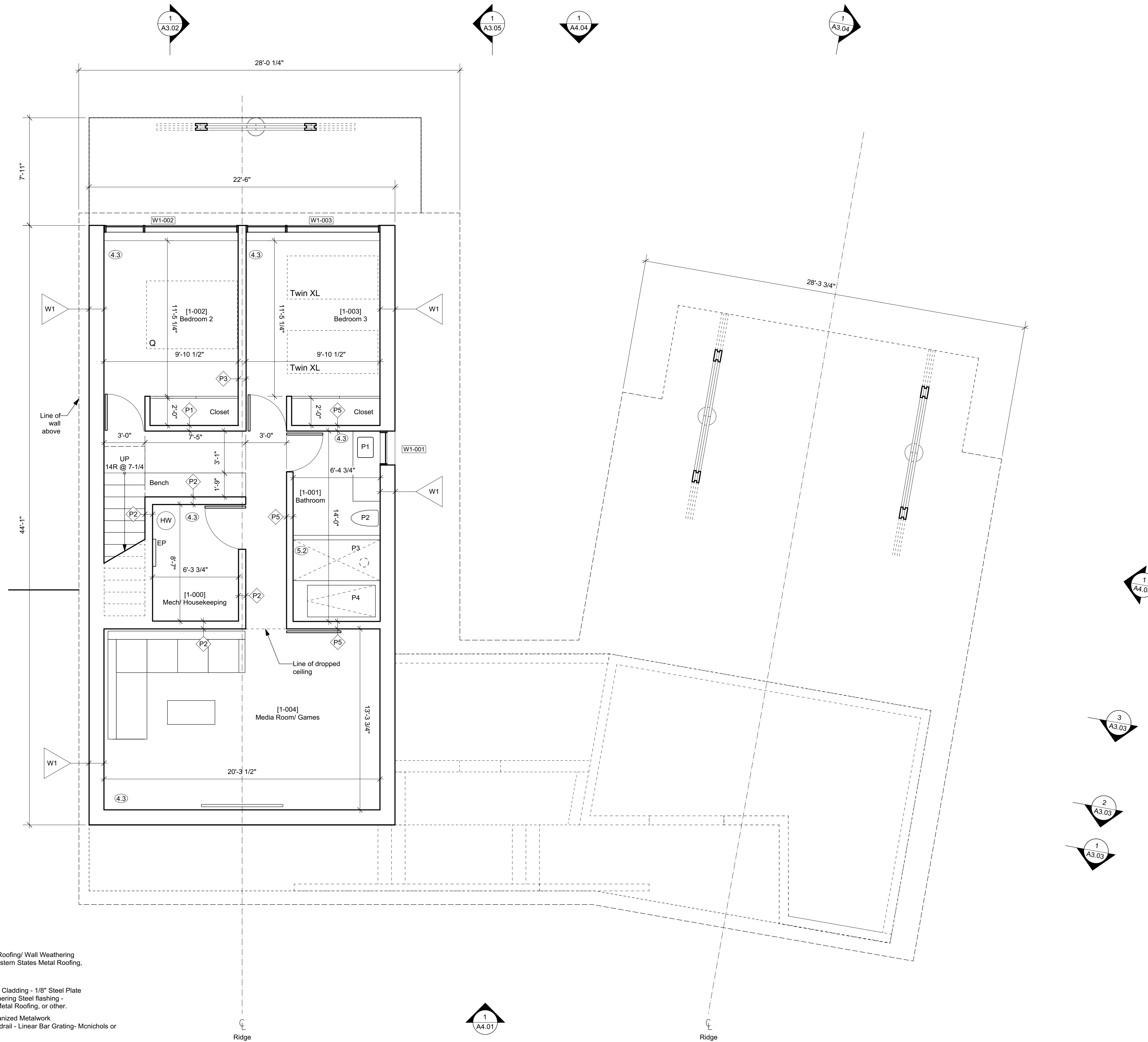
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 Steamboat Springs, Co

**C2.00**  
 Foundation Plan



1 Plan- Lower Level (Living Area: 991.9 sq')  
 1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- |   |   |  |
|---|---|--|
| <ul style="list-style-type: none"> <li>① Solid DF Boards - C Clear or better; T&amp;G Soffit &amp; Wall Cladding - 3 1/4" face with 1/8" shadow</li> <li>② Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen</li> <li>③ Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel</li> <li>④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.</li> <li>⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.</li> </ul> | <ul style="list-style-type: none"> <li>④.1 Concrete - Board Shuttered Concrete</li> <li>④.2 Concrete - Round Pier</li> <li>④.3 Concrete- Polished Floor</li> <li>⑤.1 GWB, PTD, Level 4/5 finish.</li> <li>⑤.2 Floor/ Wall Tile TBC</li> <li>⑥.4 1-1/2" Cedar Deck Boards (gapped 1/4")</li> <li>⑥.5 T&amp;G Flooring/ Cladding to Match Decking</li> <li>⑥.6 Millwork/ Doors - Marine Grade Plywood, Finish TBC.</li> </ul> | <ul style="list-style-type: none"> <li>⑦.1 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.</li> <li>⑦.2 Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.</li> <li>⑦.3 Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Mcnichols or other.</li> </ul> |
|---|---|--|

**NOTES:**  
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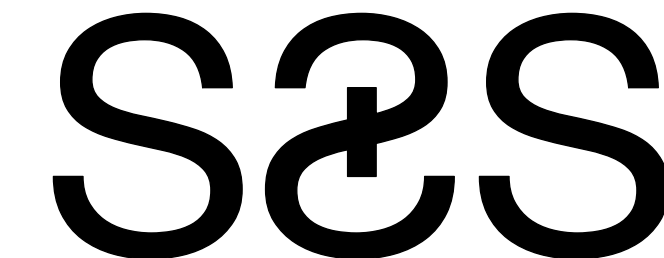
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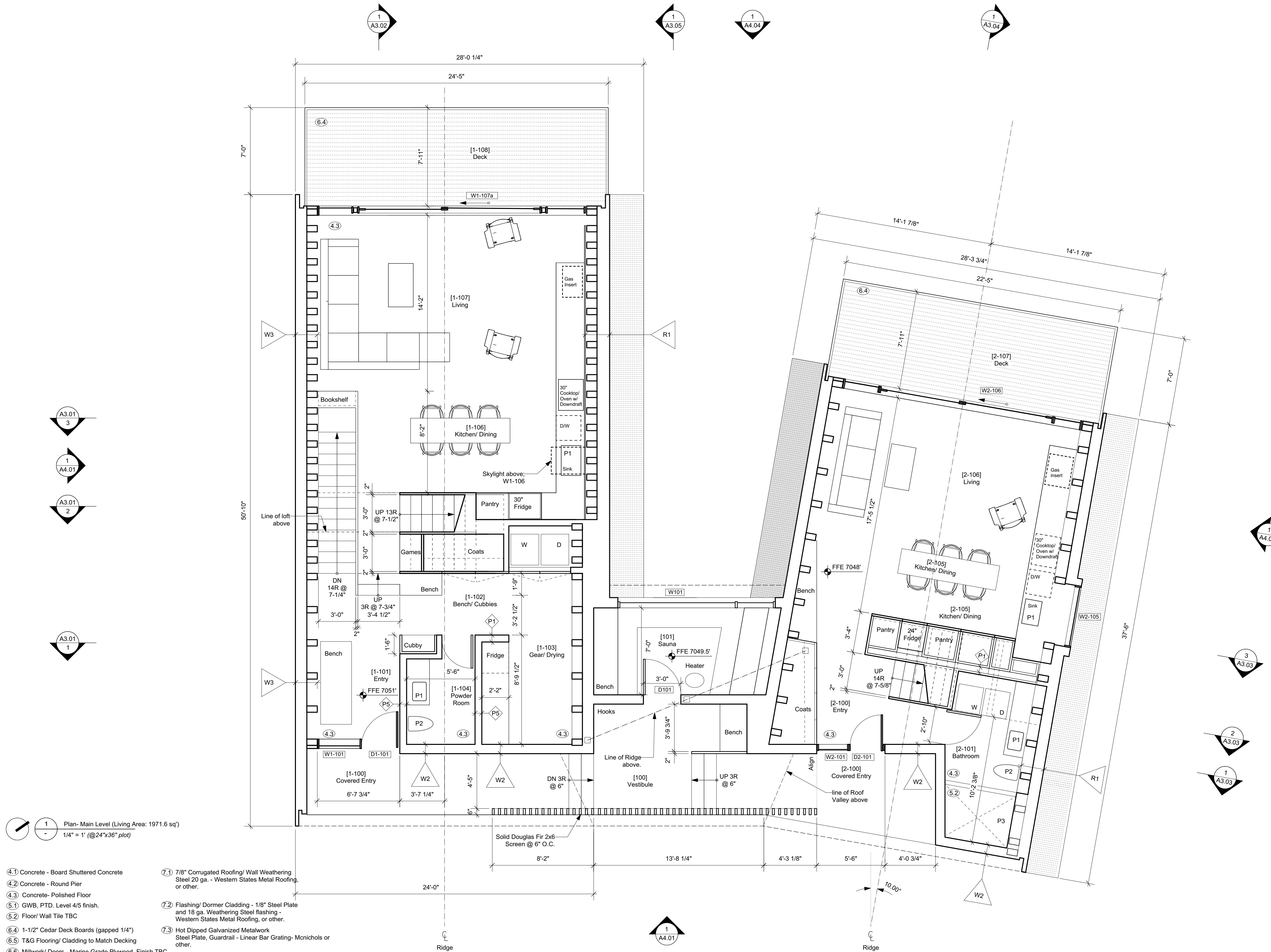
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**A2.00**

Floor Plan - Lower Level





1 Plan - Main Level (Living Area: 1971.6 sq)  
1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- ① Solid DF Boards - C Clear or better; T&G Soffit & Wall Cladding - 3/4" face with 1/8" shadow
- ② Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen
- ③ Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel
- ④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.
- ⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.

- ④ Concrete - Board Shuttered Concrete
- ⑤ Concrete - Round Pier
- ⑥ Concrete - Polished Floor
- ⑦ GWB, PTD, Level 4/5 finish.
- ⑧ Floor/ Wall Tile TBC
- ⑨ 1-1/2" Cedar Deck Boards (gapped 1/4")
- ⑩ T&G Flooring/ Cladding to Match Decking
- ⑪ Millwork/ Doors - Marine Grade Plywood, Finish TBC.

- ⑫ 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.
- ⑬ Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.
- ⑭ Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Mcnichols or other.

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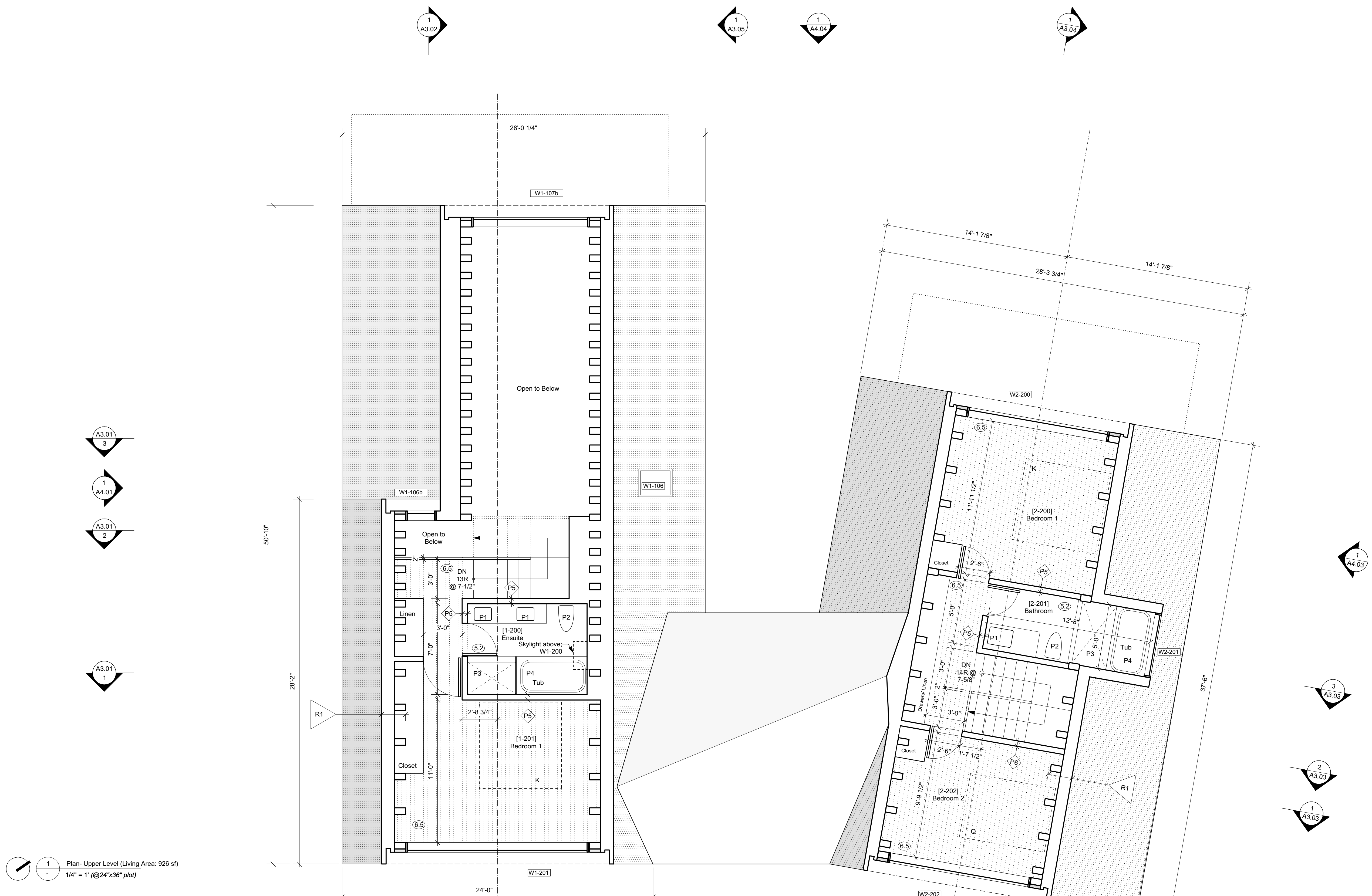
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**Steamboat Springs  
 Alpine House**  
 Steamboat Springs, Co

**A2.01**  
 Floor Plan - Main Level



1 Plan- Upper Level (Living Area: 926 sf)  
1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- ① Solid DF Boards - C Clear or better; T&G Soffit & Wall Cladding - 3 1/4" face with 1/8" shadow
- ② Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen
- ③ Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel
- ④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.
- ⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.
- ⑥ Concrete - Board Shuttered Concrete
- ⑦ Concrete - Polished Floor
- ⑧ GWB, PTD. Level 4/5 finish.
- ⑨ Floor/ Wall Tile TBC
- ⑩ 1-1/2" Cedar Deck Boards (gapped 1/4")
- ⑪ T&G Flooring/ Cladding to Match Decking
- ⑫ Millwork/ Doors - Marine Grade Plywood, Finish TBC.
- ⑬ 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.
- ⑭ Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.
- ⑮ Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Mcnichols or other.

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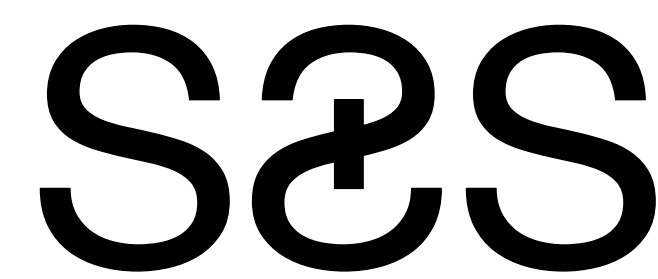
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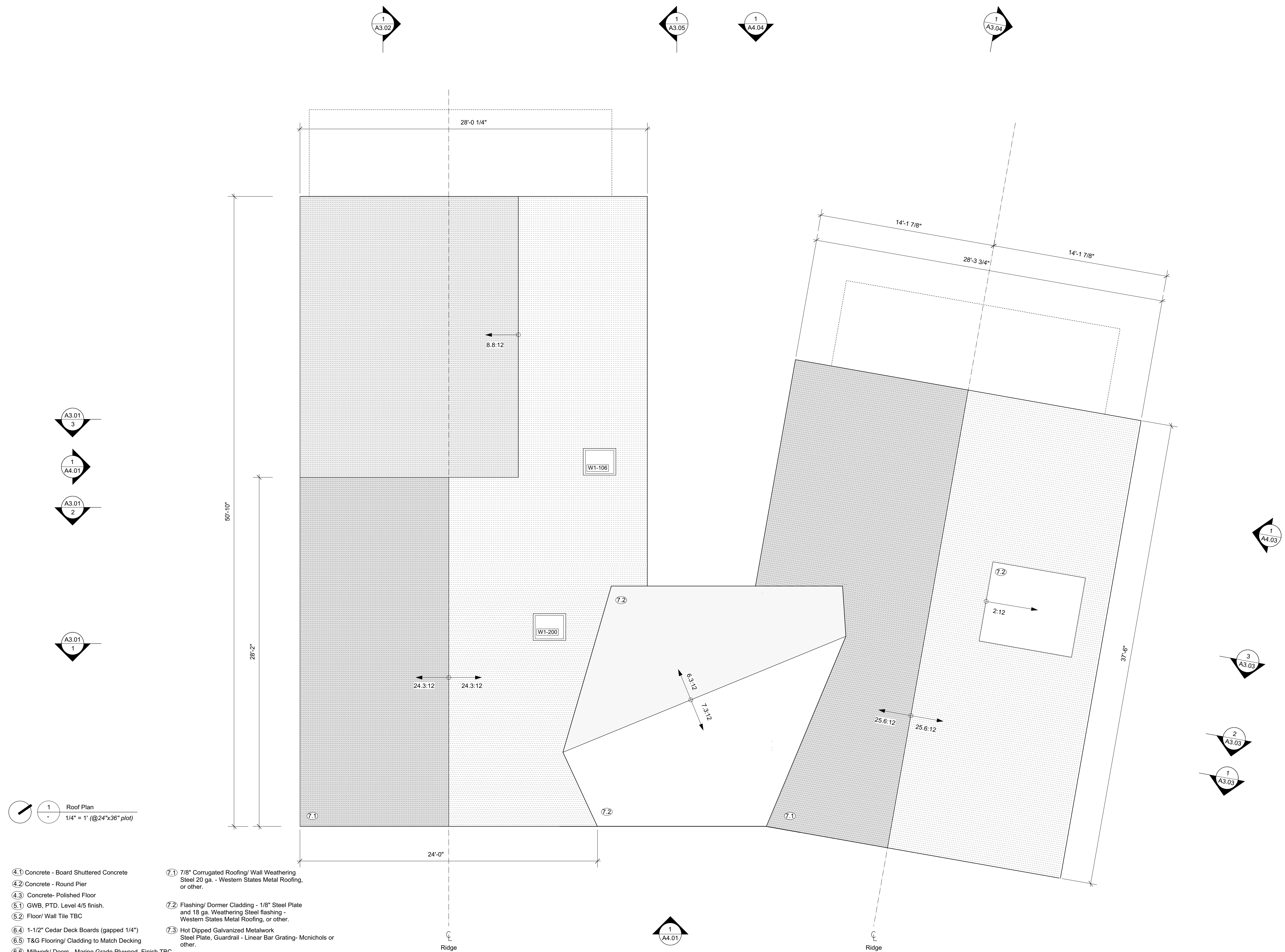


**SCOTT & SCOTT**  
 604 737 2541  
 299 19th AVENUE EAST  
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**Steamboat Springs  
 Alpine House**  
 Steamboat Springs, Co

**A2.02**

Floor Plan - Upper Level



- A3.01 3
- A4.01
- A3.01 2
- A3.01 1

- A4.03
- A3.03
- A3.03
- A3.03

1 Roof Plan  
1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- ① Solid DF Boards - C Clear or better; T&G Soffit & Wall Cladding - 3 1/4" face with 1/8" shadow
- ② Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen
- ③ Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel
- ④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.
- ⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.
- ④ Concrete - Board Shuttered Concrete
- ④ Concrete - Polished Floor
- ⑤ GWB, PTD, Level 4/5 finish.
- ⑤ Floor/ Wall Tile TBC
- ⑥ 1-1/2" Cedar Deck Boards (gapped 1/4")
- ⑥ T&G Flooring/ Cladding to Match Decking
- ⑥ Millwork/ Doors - Marine Grade Plywood, Finish TBC.

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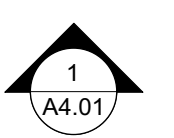
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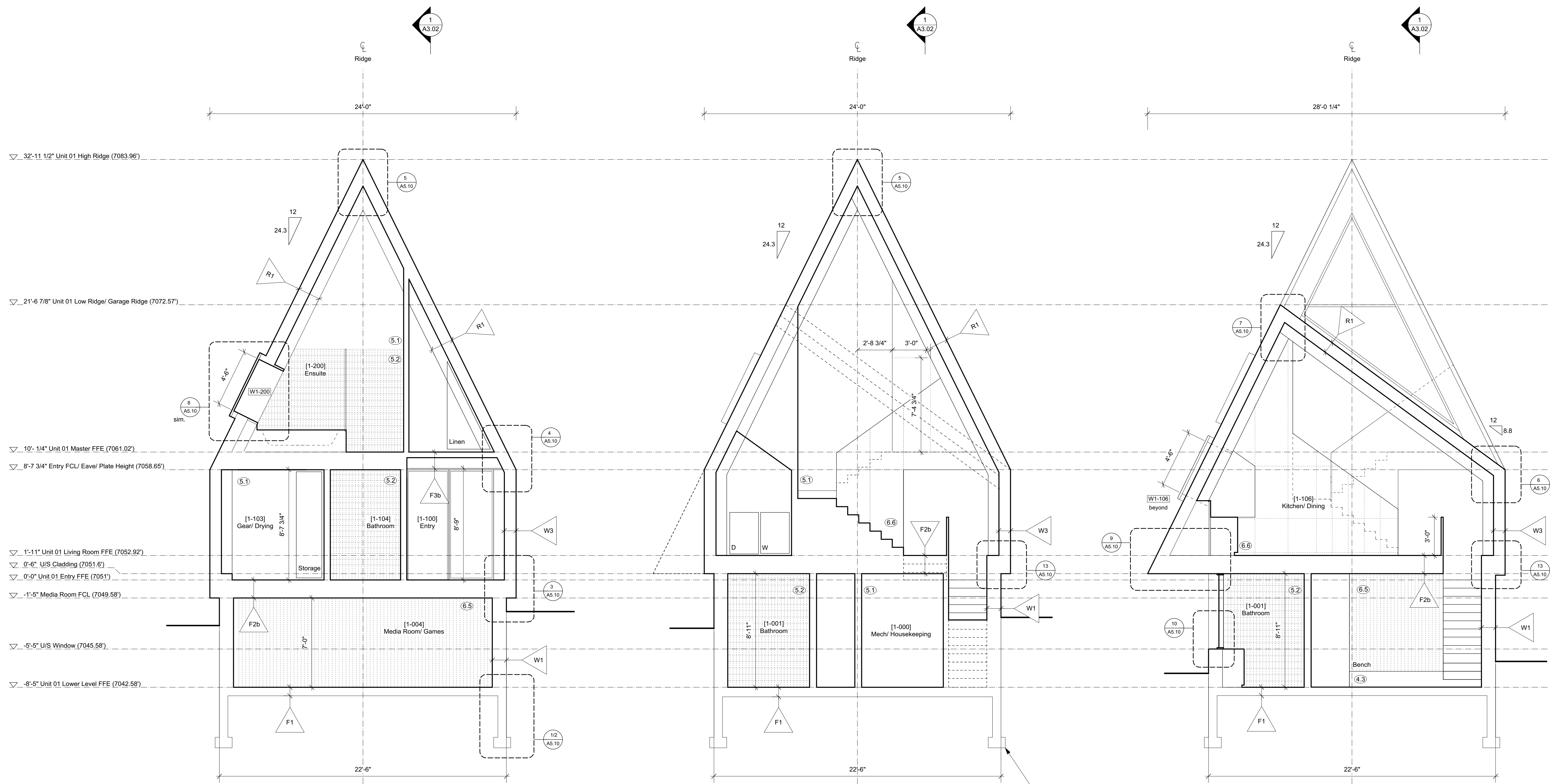
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**Steamboat Springs  
 Alpine House**  
 Steamboat Springs, Co

**A2.03**



1 Unit 1- Cross Section A  
1/4" = 1' (@24'x36" plot)

2 Unit 1- Cross Section B  
1/4" = 1' (@24'x36" plot)

3 Unit 1- Cross Section C  
1/4" = 1' (@24'x36" plot)

**MATERIAL SCHEDULE**

- |  |  |  |
|--|--|--|
| <p>1 Solid DF Boards - C Clear or better; T&amp;G Soffit &amp; Wall Cladding - 3 1/4" face with 1/8" shadow</p> <p>2 Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen</p> <p>3 Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel</p> <p>4 18 ga. Clear Anodized Aluminum flashing or to match Window System.</p> <p>5 Solid Wood Entry Doors - Copper Plate Exterior Finish.</p> | <p>1 Concrete - Board Shuttered Concrete</p> <p>2 Concrete - Round Pier</p> <p>3 Concrete- Polished Floor</p> <p>4 GWB, PTD. Level 4/5 finish.</p> <p>5 Floor/ Wall Tile TBC</p> <p>6 1-1/2" Cedar Deck Boards (gapped 1/4")</p> <p>7 T&amp;G Flooring/ Cladding to Match Decking</p> <p>8 Millwork/ Doors - Marine Grade Plywood, Finish TBC.</p> | <p>1 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.</p> <p>2 Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.</p> <p>3 Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Mnichols or other.</p> |
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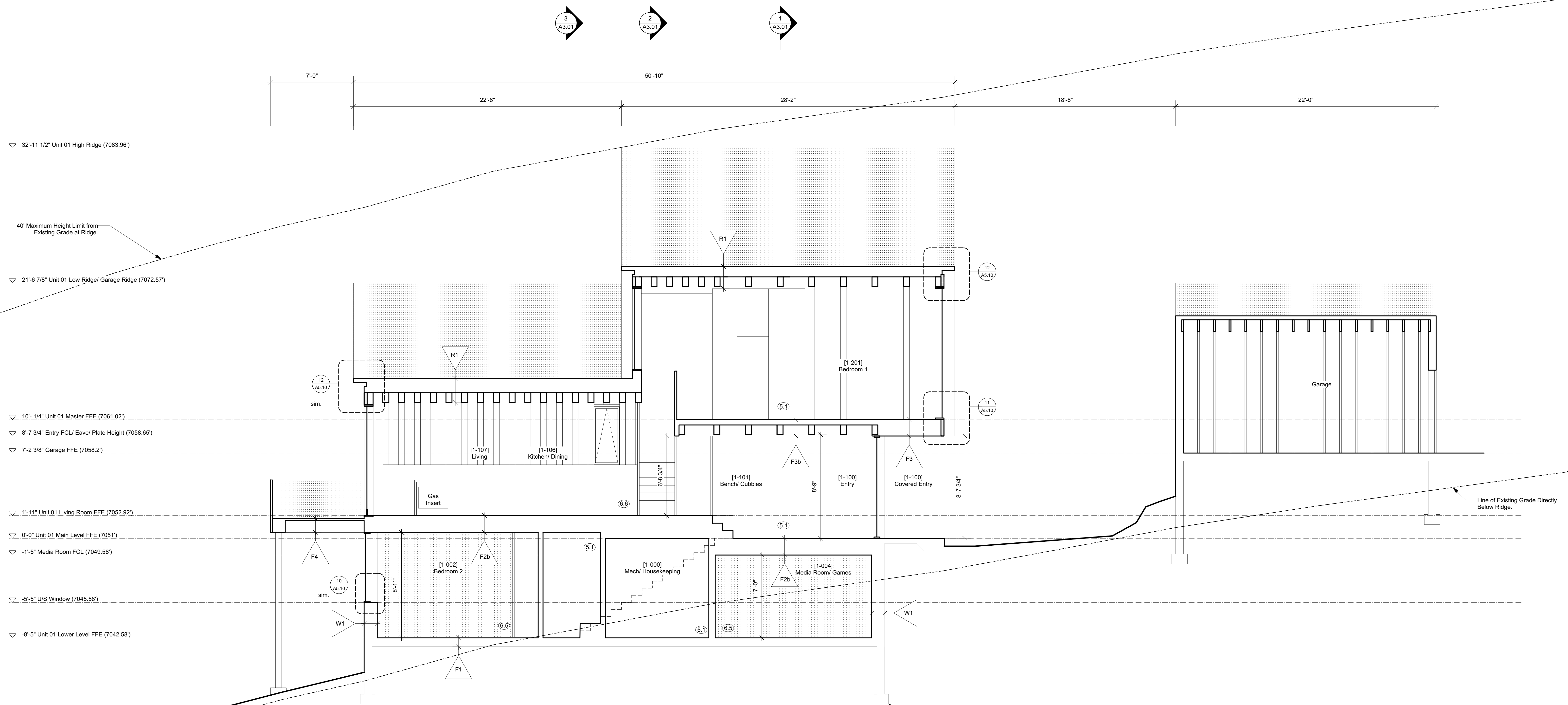
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 604 737 2541  
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**Steamboat Springs  
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 Steamboat Springs, Co

**A3.01**  
 Building Sections



1 Unit 1 - Longitudinal Section  
1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- |  |  |   |
|--|--|---|
| <p>① Solid DF Boards - C Clear or better; T&amp;G Soffit &amp; Wall Cladding - 3 1/4" face with 1/8" shadow</p> <p>② Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen</p> <p>③ Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel</p> <p>④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.</p> <p>⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.</p> | <p>④ Concrete - Board Shuttered Concrete</p> <p>⑤ Concrete - Round Pier</p> <p>⑥ Concrete- Polished Floor</p> <p>⑦ GWB, PTD. Level 4/5 finish.</p> <p>⑧ Floor/ Wall Tile TBC</p> <p>⑨ 1-1/2" Cedar Deck Boards (gapped 1/4")</p> <p>⑩ T&amp;G Flooring/ Cladding to Match Decking</p> <p>⑪ Millwork/ Doors - Marine Grade Plywood, Finish TBC.</p> | <p>⑫ 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.</p> <p>⑬ Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.</p> <p>⑭ Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Monichols or other.</p> |
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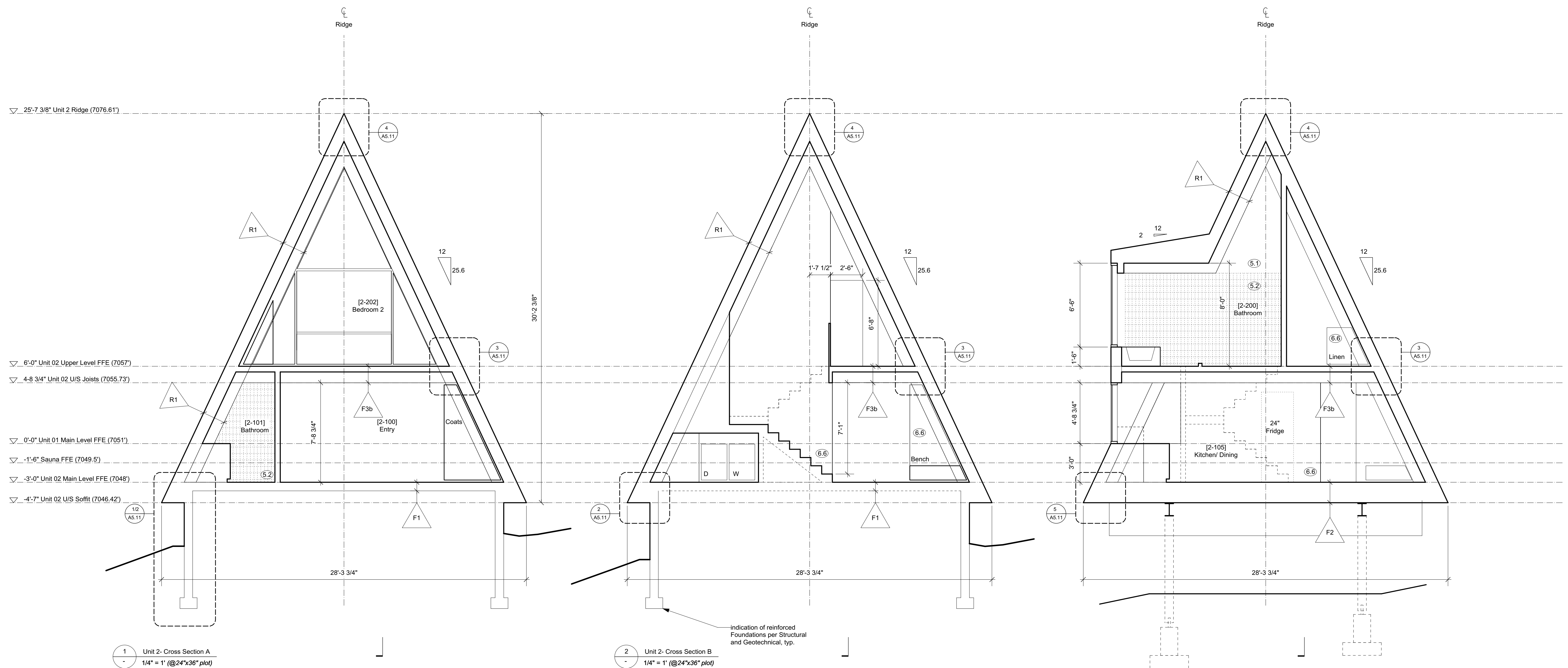
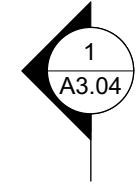
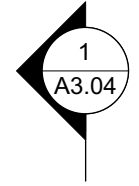
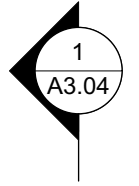
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**Steamboat Springs  
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**A3.02**  
 Building Sections



1 Unit 2- Cross Section A  
1/4" = 1' (@24"x36" plot)

2 Unit 2- Cross Section B  
1/4" = 1' (@24"x36" plot)

3 Unit 1- Cross Section C  
1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- |  |  |  |
|--|--|--|
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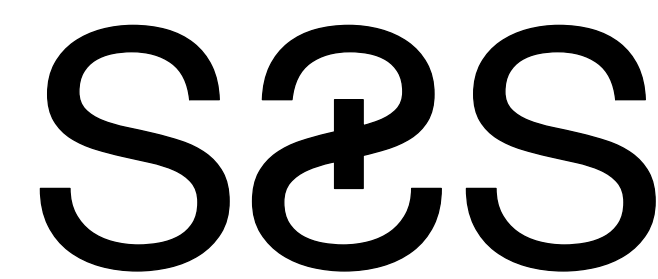
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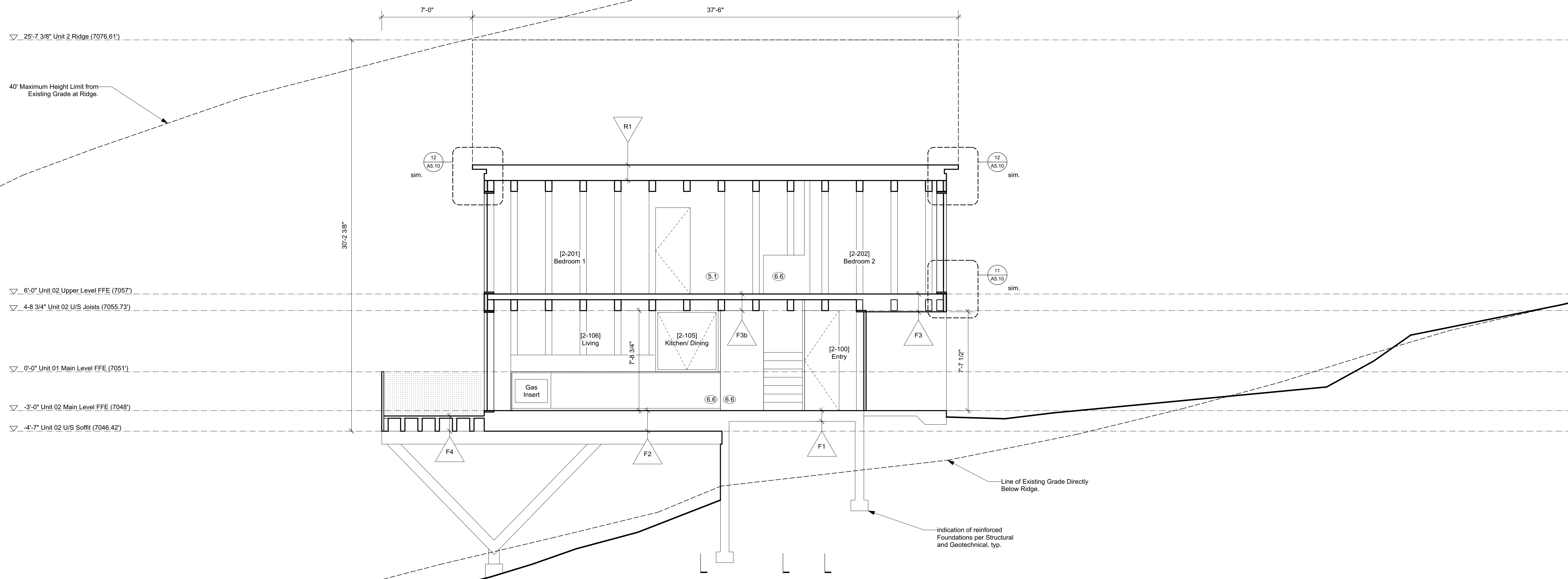


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**Steamboat Springs  
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**A3.03**

Building Sections



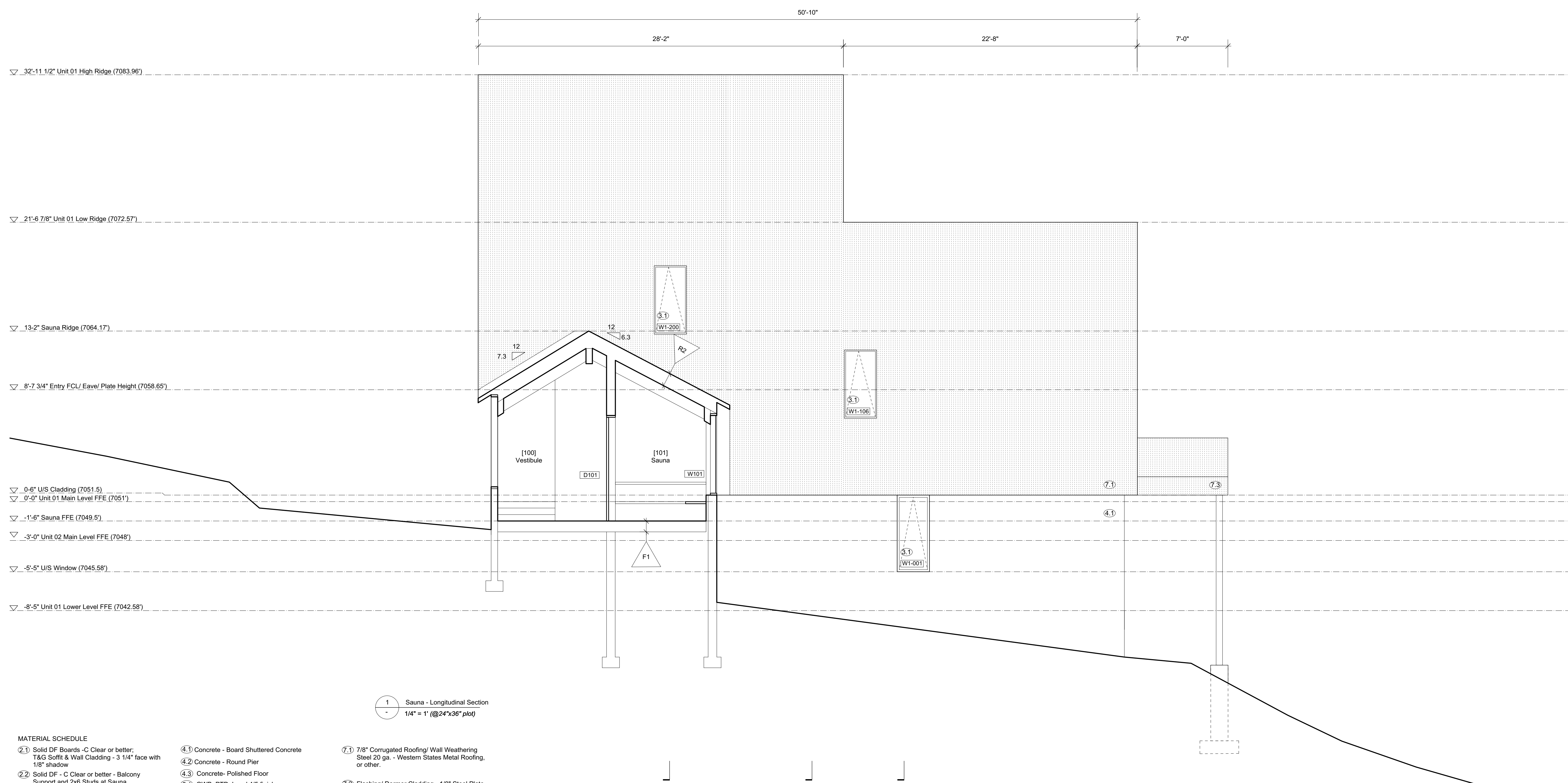
1 Unit 2- Longitudinal Section  
1/4" = 1' (@24"x36" plot)

- MATERIAL SCHEDULE**
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  - ④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.
  - ⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.
  - ⑥ Concrete - Board Shuttered Concrete
  - ⑦ Concrete - Round Pier
  - ⑧ Concrete - Polished Floor
  - ⑨ GWB, PTD. Level 4/5 finish.
  - ⑩ Floor/ Wall Tile TBC
  - ⑪ 1-1/2" Cedar Deck Boards (gapped 1/4")
  - ⑫ T&G Flooring/ Cladding to Match Decking
  - ⑬ Millwork/ Doors - Marine Grade Plywood, Finish TBC.
  - ⑭ 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.
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**Steamboat Springs  
Alpine House**  
Steamboat Springs, Co

**A3.04**  
Building Sections



1 Sauna - Longitudinal Section  
1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- |  |   |   |
|--|---|---|
| <p>① Solid DF Boards - C Clear or better; T&amp;G Soffit &amp; Wall Cladding - 3/4" face with 1/8" shadow</p> <p>② Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen</p> <p>③ Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel</p> <p>④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.</p> <p>⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.</p> | <p>④ Concrete - Board Shuttered Concrete</p> <p>⑤ Concrete - Round Pier</p> <p>⑥ Concrete - Polished Floor</p> <p>⑦ GWB, PTD, Level 4/5 finish.</p> <p>⑧ Floor/ Wall Tile TBC</p> <p>⑨ 1-1/2" Cedar Deck Boards (gapped 1/4")</p> <p>⑩ T&amp;G Flooring/ Cladding to Match Decking</p> <p>⑪ Millwork/ Doors - Marine Grade Plywood, Finish TBC.</p> | <p>⑫ 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.</p> <p>⑬ Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.</p> <p>⑭ Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Mcnichols or other.</p> |
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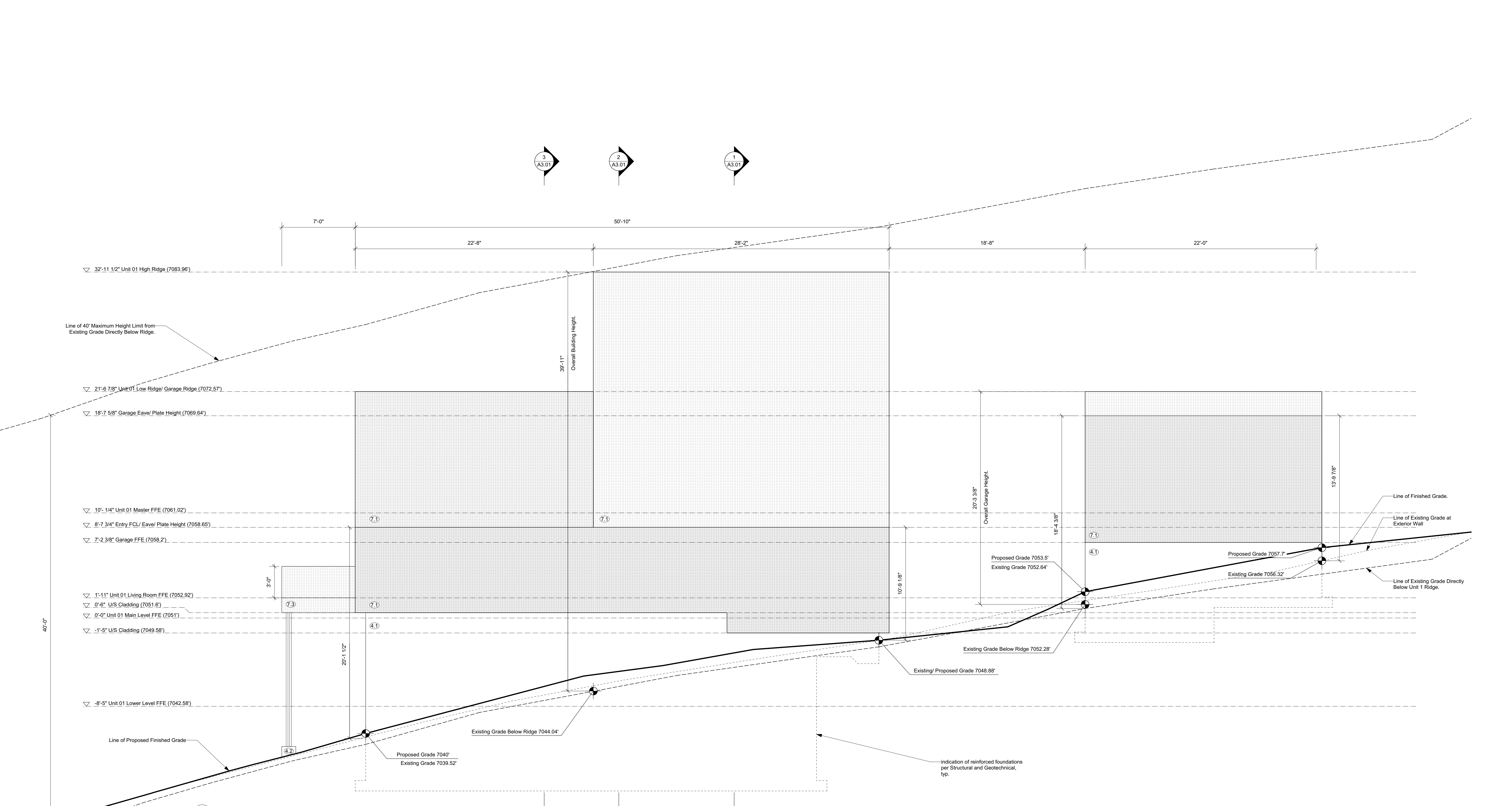
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**Steamboat Springs  
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 Steamboat Springs, Co

**A3.05**  
 Building Sections





1 Unit 1/ Garage- Southwest Elevation  
1/4" = 1' (@24"x36" plot)

| MATERIAL SCHEDULE  |   |   |
|--|---|---|
| ②.1 Solid DF Boards - C Clear or better; T&G Soffit & Wall Cladding - 3 1/4" face with 1/8" shadow | ④.1 Concrete - Board Shuttered Concrete                 | ⑦.1 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.                             |
| ②.2 Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen                   | ④.2 Concrete - Round Pier                               | ⑦.2 Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other. |
| ③.1 Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel            | ④.3 Concrete - Polished Floor                           | ⑦.3 Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Mcnichols or other.                            |
| ③.2 18 ga. Clear Anodized Aluminum flashing or to match Window System.                             | ⑤.1 GWB, PTD, Level 4/5 finish.                         |   |
| ③.3 Solid Wood Entry Doors - Copper Plate Exterior Finish.   | ⑤.2 Floor/ Wall Tile TBC                                |   |
|  | ⑥.4 1-1/2" Cedar Deck Boards (gapped 1/4")              |   |
|  | ⑥.5 T&G Flooring/ Cladding to Match Decking             |   |
|  | ⑥.6 Millwork/ Doors - Marine Grade Plywood, Finish TBC. |   |

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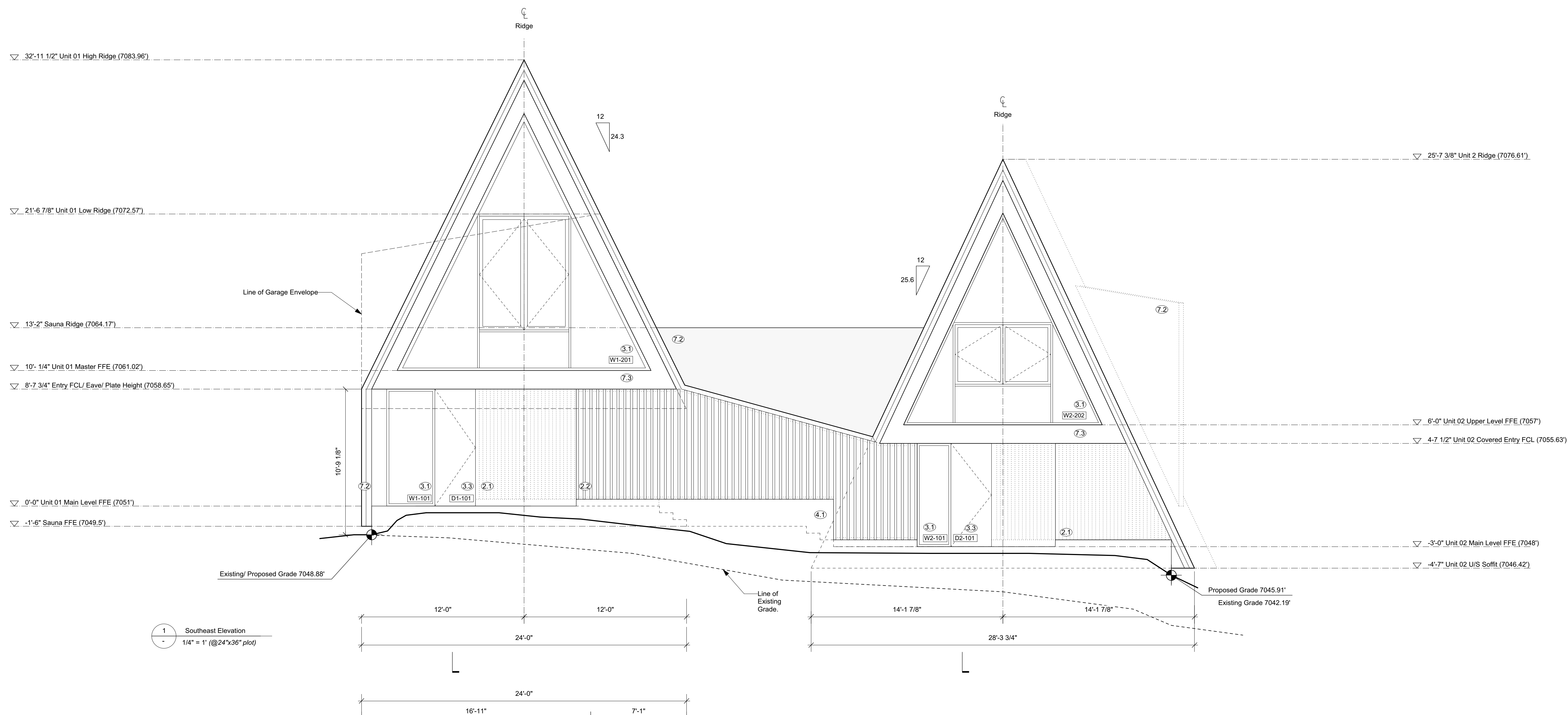
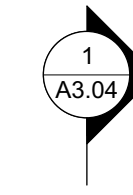
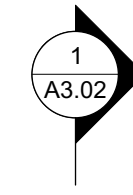
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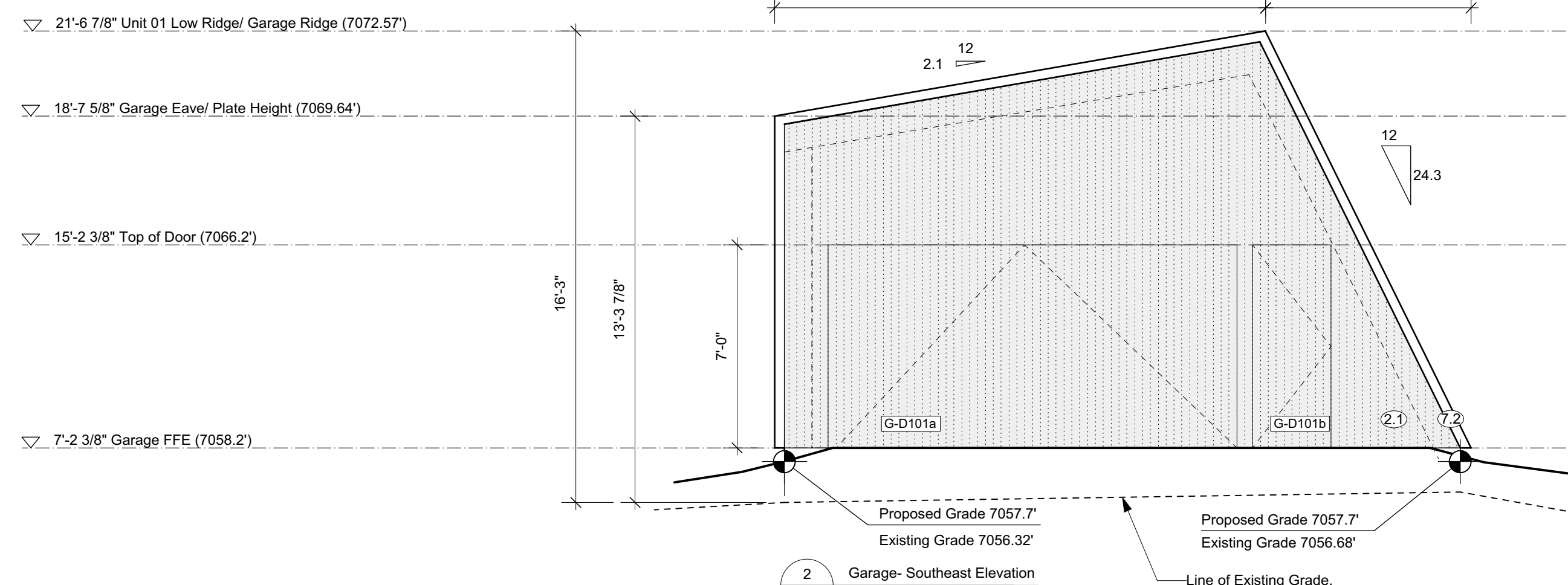
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**Steamboat Springs  
 Alpine House**  
 Steamboat Springs, Co

**A4.01**  
 Exterior Elevations



1 Southeast Elevation  
1/4" = 1' (@24"x36" plot)



2 Garage - Southeast Elevation  
1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- 2.1 Solid DF Boards - C Clear or better; T&G Soffit & Wall Cladding - 3 1/4" face with 1/8" shadow
- 2.2 Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen
- 3.1 Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel
- 3.2 18 ga. Clear Anodized Aluminum flashing or to match Window System.
- 3.3 Solid Wood Entry Doors - Copper Plate Exterior Finish.
- 4.1 Concrete - Board Shuttered Concrete
- 4.2 Concrete - Round Pier
- 4.3 Concrete - Polished Floor
- 5.1 GWB, PTD, Level 4/5 finish.
- 5.2 Floor/ Wall Tile TBC
- 6.4 1-1/2" Cedar Deck Boards (gapped 1/4")
- 6.5 T&G Flooring/ Cladding to Match Decking
- 6.6 Millwork/ Doors - Marine Grade Plywood, Finish TBC.
- 7.1 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.
- 7.2 Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.
- 7.3 Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- McNichols or other.

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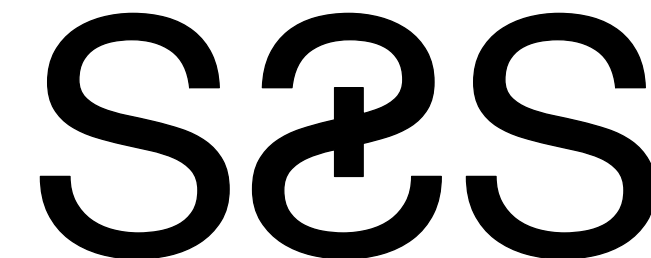
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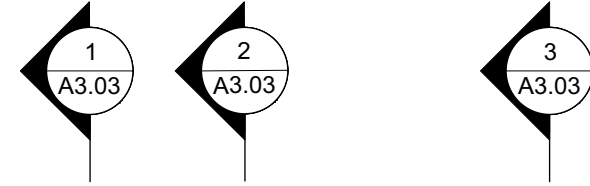
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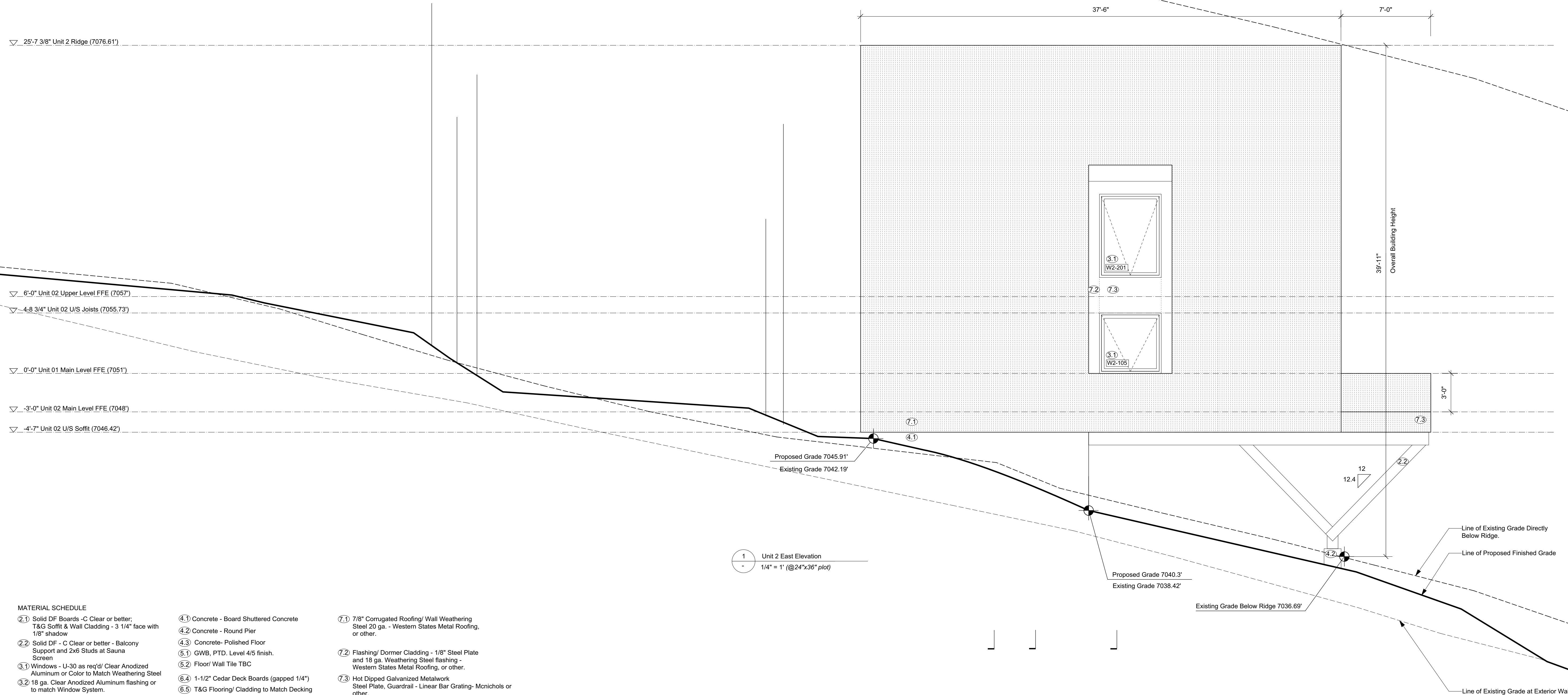
**A4.02**

Exterior Elevations

23 JUNE 2021



40' Maximum Height Limit from Existing Grade Directly Below Ridge



- MATERIAL SCHEDULE**
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  - ② Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen
  - ③ Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel
  - ④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.
  - ⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.

- ④.1 Concrete - Board Shuttered Concrete
- ④.2 Concrete - Round Pier
- ④.3 Concrete - Polished Floor
- ⑤.1 GWB, PTD. Level 4/5 finish.
- ⑤.2 Floor/ Wall Tile TBC
- ⑥.4 1-1/2" Cedar Deck Boards (gapped 1/4")
- ⑥.5 T&G Flooring/ Cladding to Match Decking
- ⑥.6 Millwork/ Doors - Marine Grade Plywood, Finish TBC.

- ⑦.1 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.
- ⑦.2 Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.
- ⑦.3 Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Mcnichols or other.

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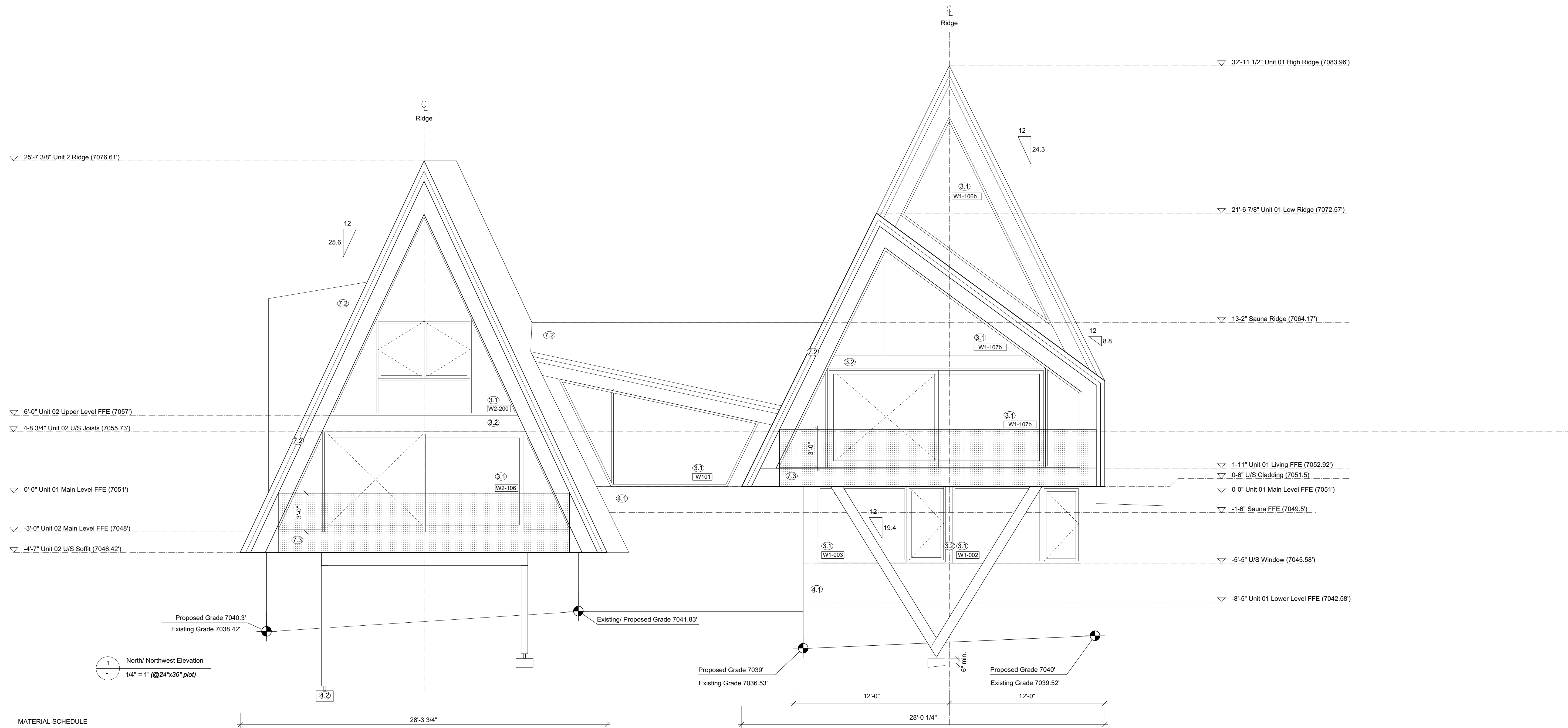
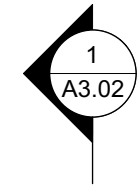
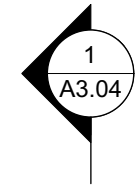
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1 Unit 2 East Elevation  
 1/4" = 1' (@24"x36" plot)

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**A4.03**  
 Exterior Elevations



1 North/ Northwest Elevation  
1/4" = 1' (@24"x36" plot)

**MATERIAL SCHEDULE**

- |  |  |  |
|--|--|--|
| <p>① Solid DF Boards - C Clear or better; T&amp;G Soffit &amp; Wall Cladding - 3 1/4" face with 1/8" shadow</p> <p>② Solid DF - C Clear or better - Balcony Support and 2x6 Studs at Sauna Screen</p> <p>③ Windows - U-30 as req'd/ Clear Anodized Aluminum or Color to Match Weathering Steel</p> <p>④ 18 ga. Clear Anodized Aluminum flashing or to match Window System.</p> <p>⑤ Solid Wood Entry Doors - Copper Plate Exterior Finish.</p> | <p>④.1 Concrete - Board Shuttered Concrete</p> <p>④.2 Concrete - Round Pier</p> <p>④.3 Concrete- Polished Floor</p> <p>⑤.1 GWB, PTD. Level 4/5 finish.</p> <p>⑤.2 Floor/ Wall Tile TBC</p> <p>⑥.4 1-1/2" Cedar Deck Boards (gapped 1/4")</p> <p>⑥.5 T&amp;G Flooring/ Cladding to Match Decking</p> <p>⑥.6 Millwork/ Doors - Marine Grade Plywood, Finish TBC.</p> | <p>⑦.1 7/8" Corrugated Roofing/ Wall Weathering Steel 20 ga. - Western States Metal Roofing, or other.</p> <p>⑦.2 Flashing/ Dormer Cladding - 1/8" Steel Plate and 18 ga. Weathering Steel flashing - Western States Metal Roofing, or other.</p> <p>⑦.3 Hot Dipped Galvanized Metalwork Steel Plate, Guardrail - Linear Bar Grating- Mnichols or other.</p> |
|--|--|--|

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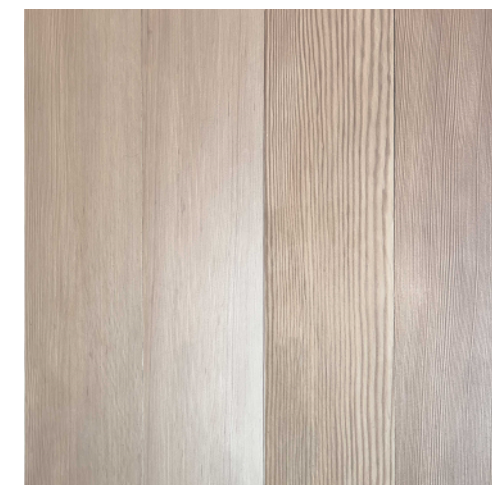
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**A4.04**  
 Exterior Elevations

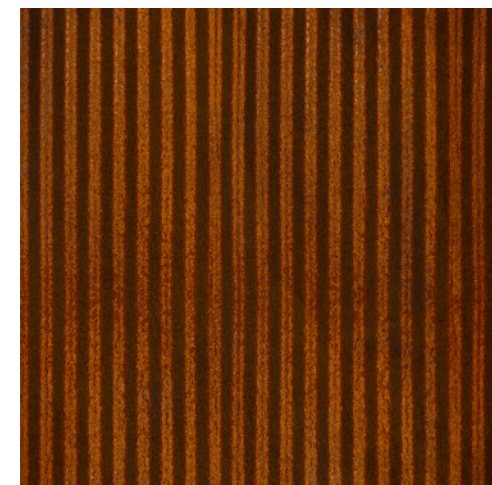
②.2 Roughsawn Solid DF - C Clear or better  
- Balcony Support and 2x6 Studs at  
Sauna Screen



④.1 Concrete- Board Shuttered Concrete.



②.1 DF Boards - C Clear or better T&G  
Soffit/ Wall Cladding



⑦.1 7/8" Corrugated Roofing/ Wall  
Weathering Steel 20 ga. - Western  
States Metal Roofing, or other.



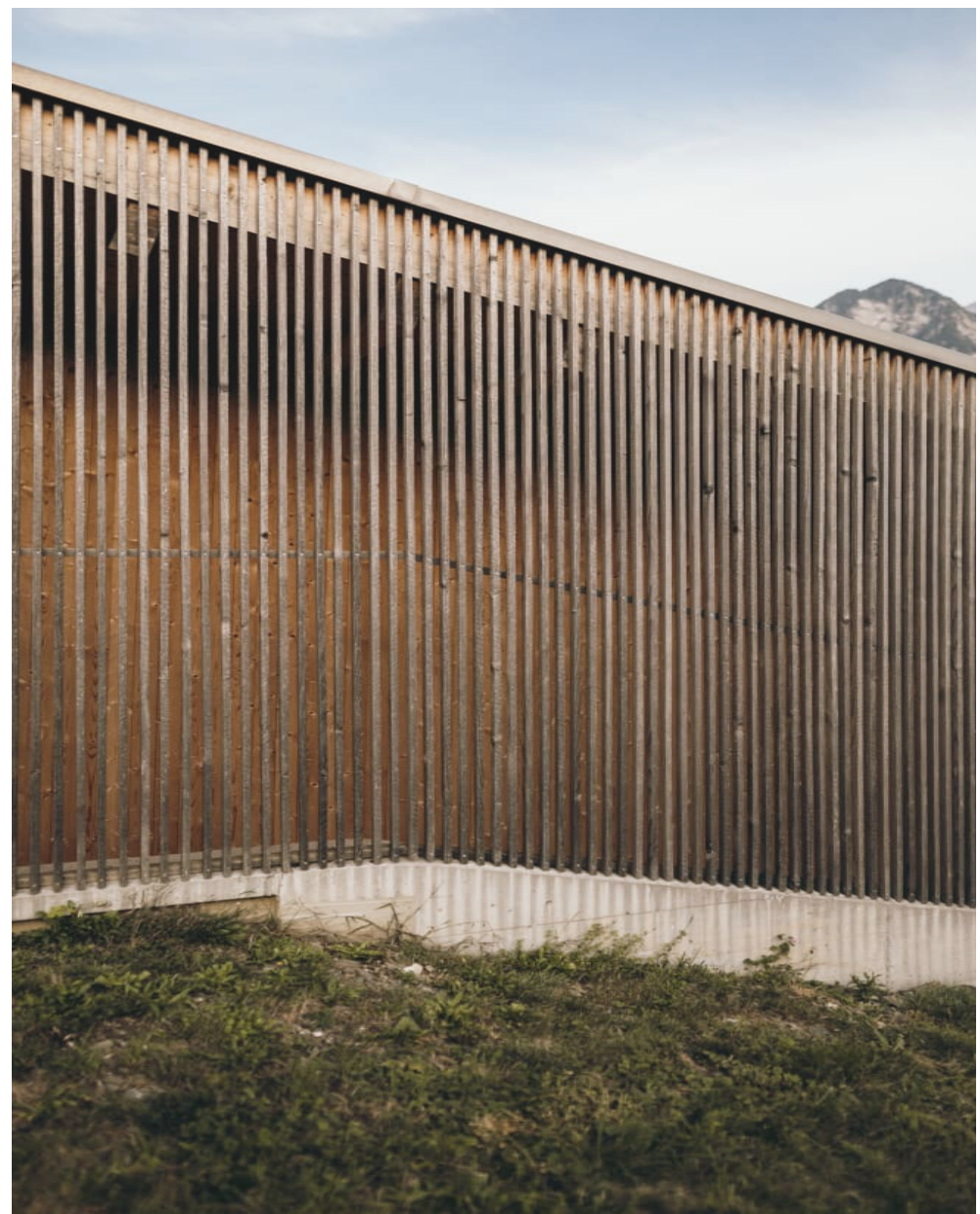
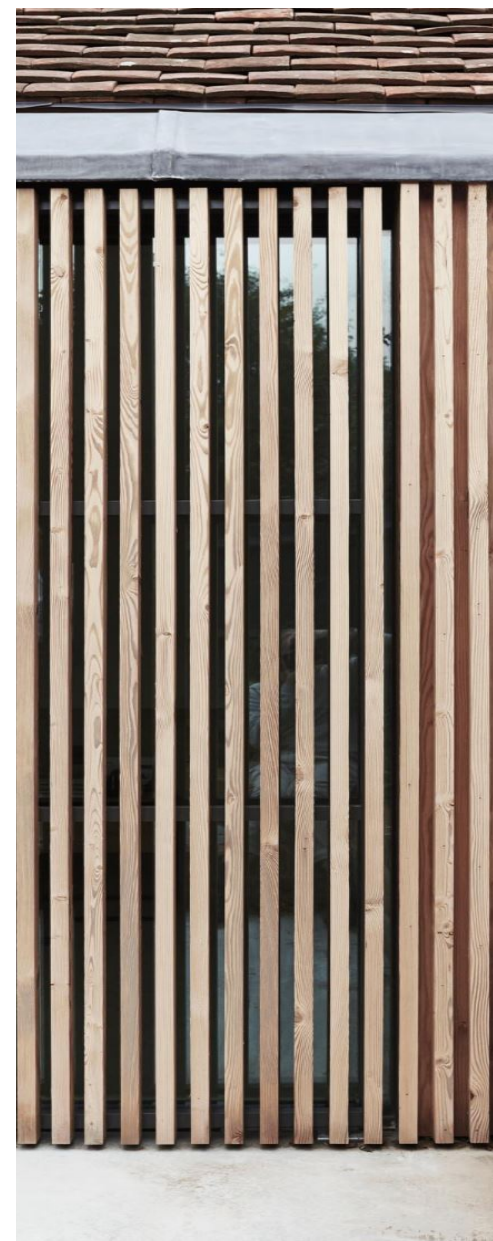
⑦.2 Flashing/ Dormer Cladding - 1/8" Steel  
Plate and 18 ga. Weathering Steel  
flashing - Western States Metal  
Roofing, or other.



⑦.3 Guardrail - Linear Bar Grating-  
Monichols or other,  
Hot Dipped Galvanized Finish.



④.3 Entry Doors - Copper Plate



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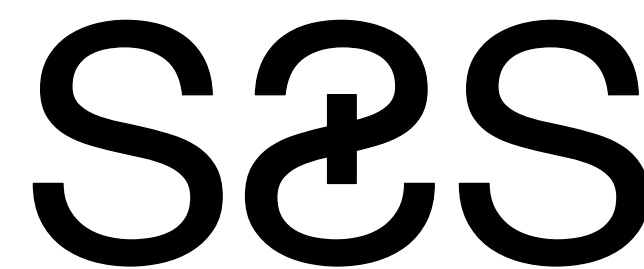
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A4.05

Exterior Materials

23 JUNE 2021

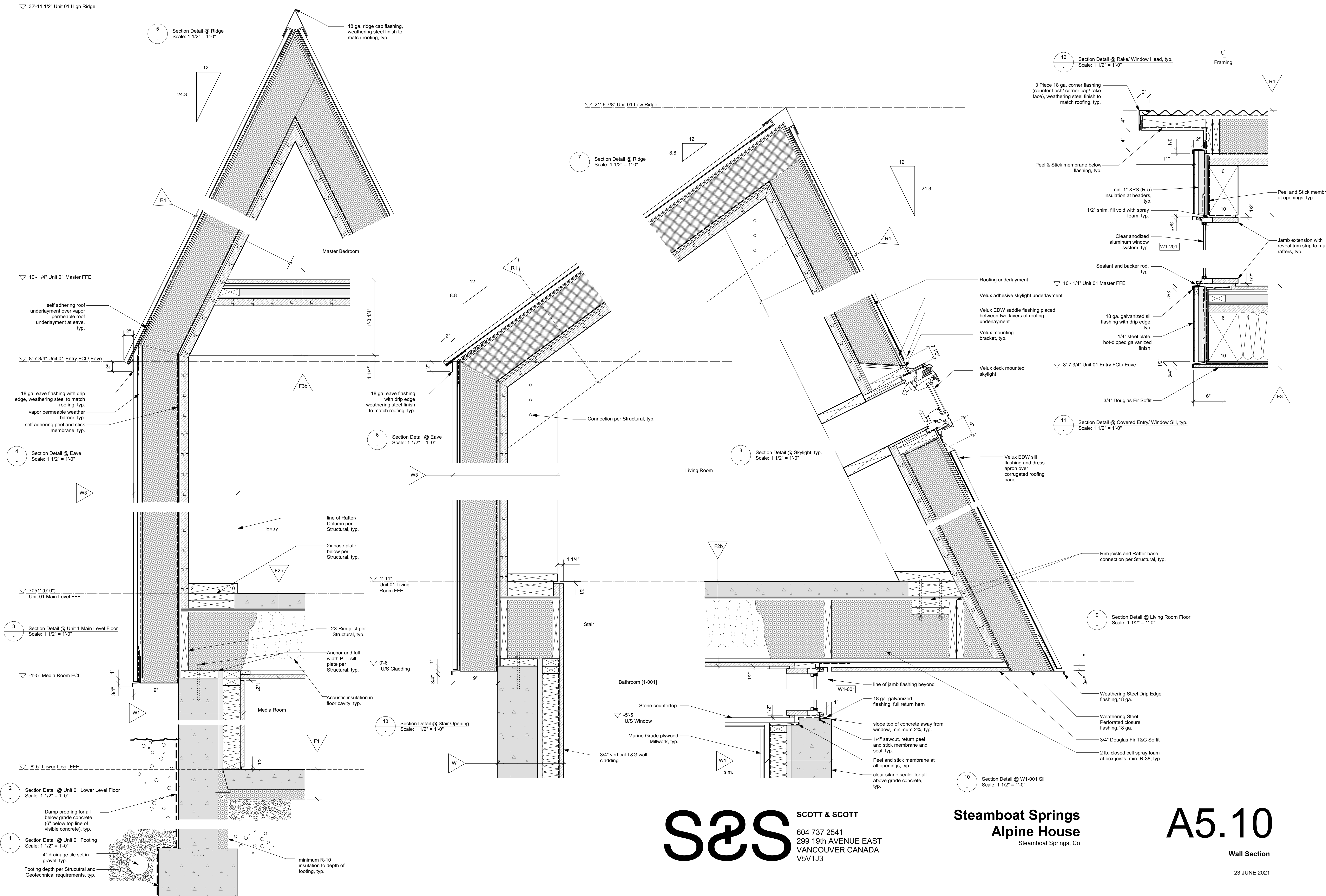


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**A4.06**  
Exterior Street View

23 JUNE 2021

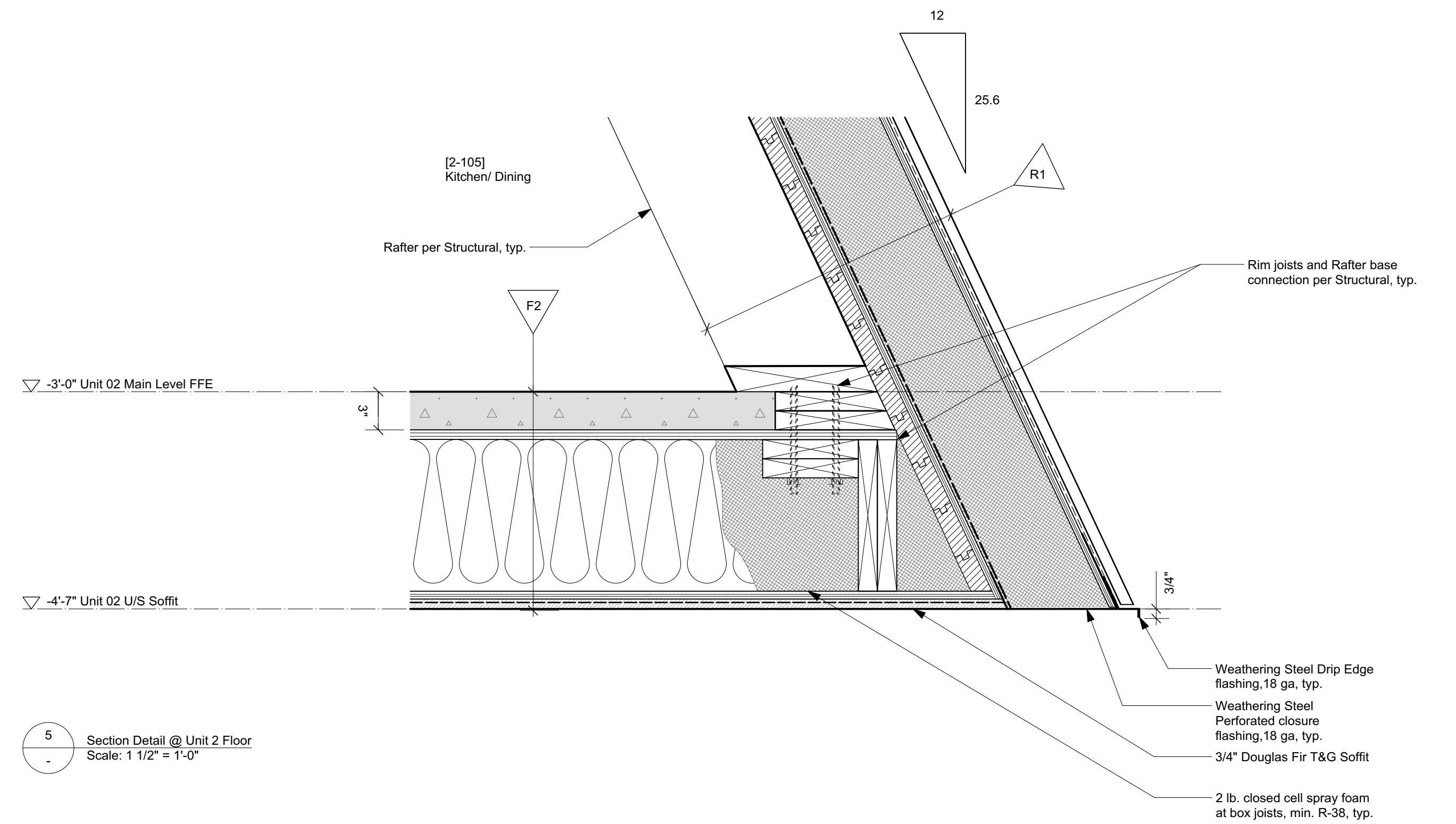
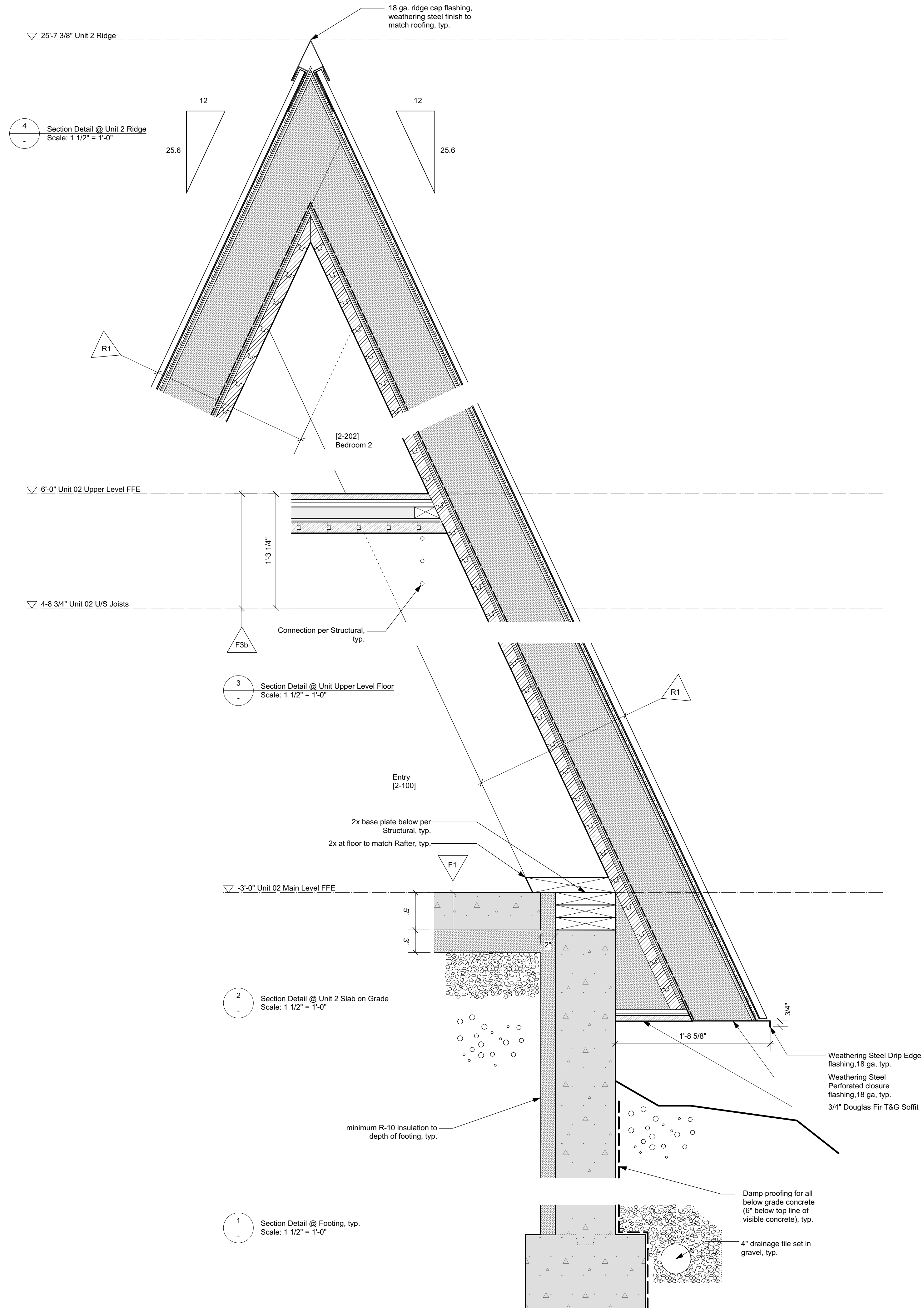


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**A5.10**

Wall Section  
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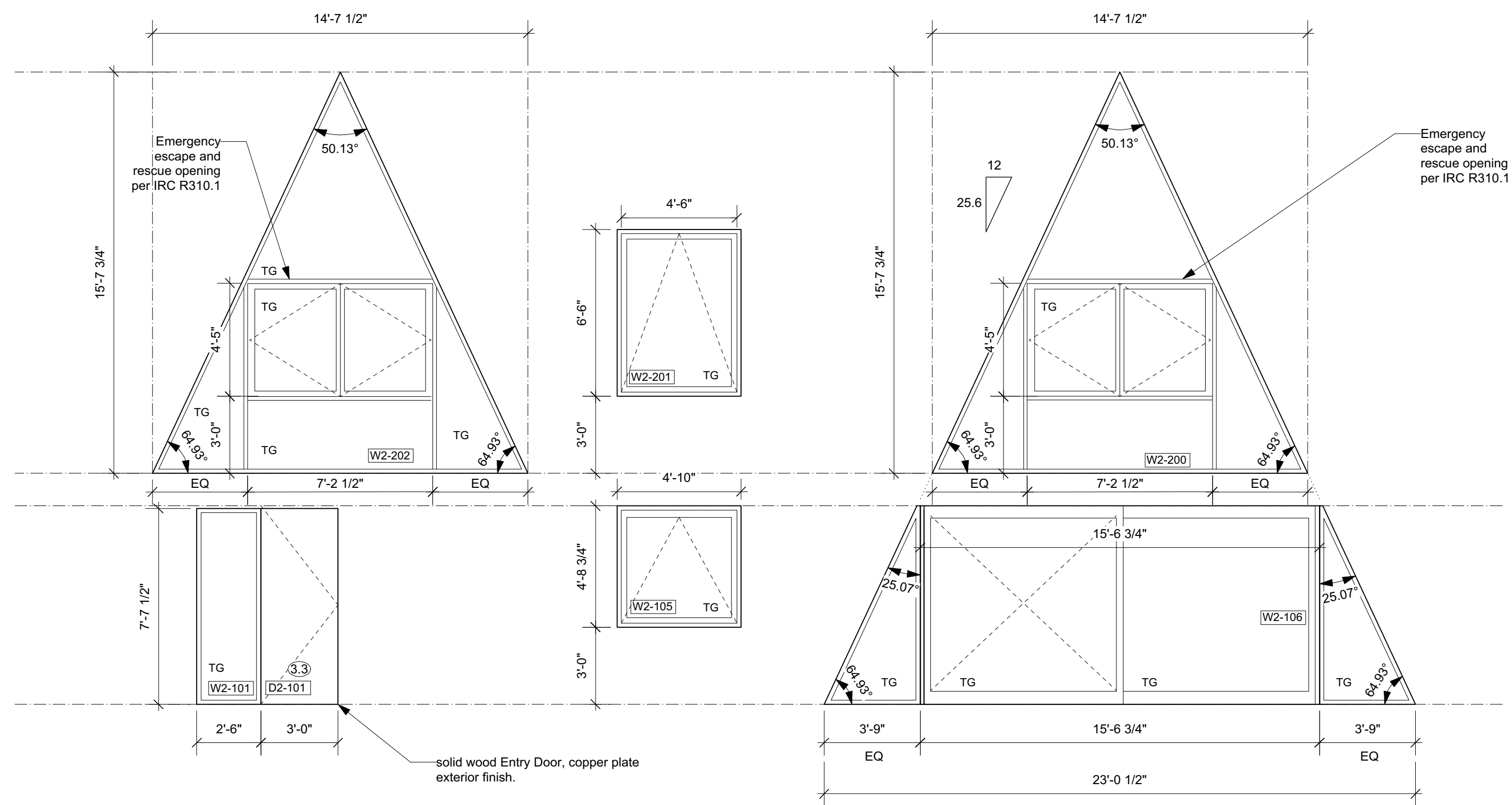
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**A5.11**

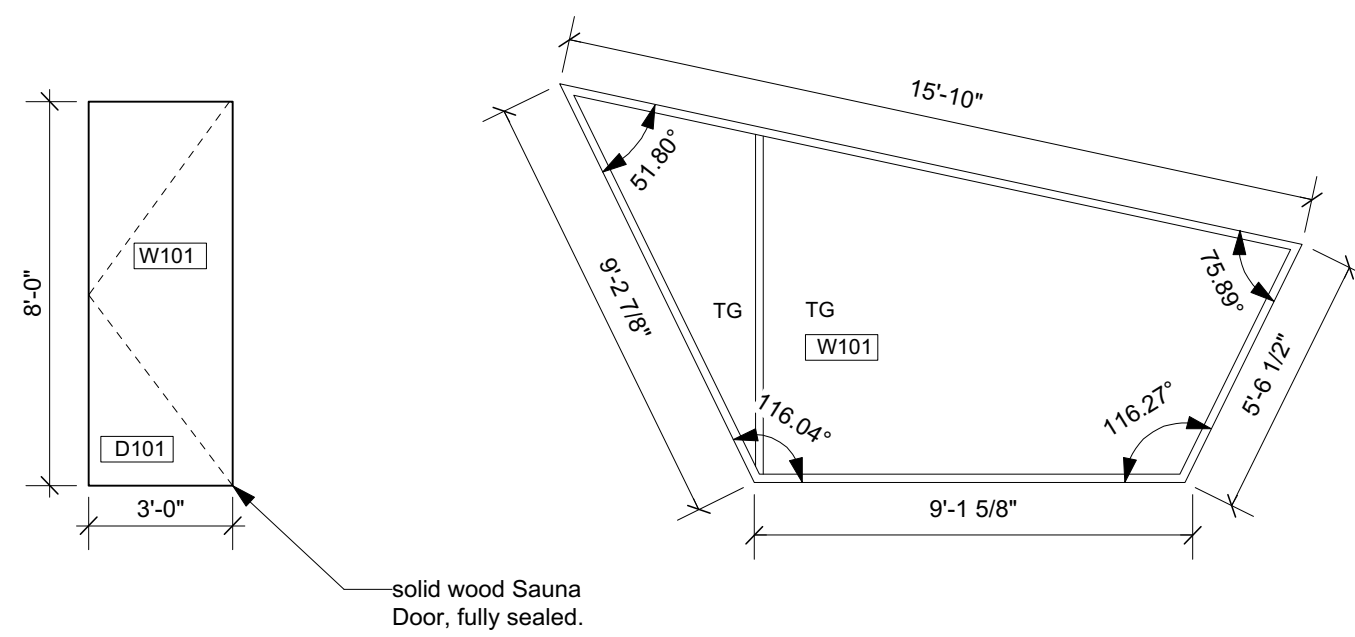
Wall Section

23 JUNE 2021





1 Unit 2 Window/ Door Elevations  
1/4" = 1' (@24"x36" plot)



2 Sauna Window/ Door Elevations  
1/4" = 1' (@24"x36" plot)

**GENERAL NOTES:**

- The sizes indicated are rough openings, it is the Contractor's responsibility to determine finished frame sizes.
- All window dimensions in this drawing to be verified in field prior to fabrication.
- Provide window and door shop drawings for review prior to fabrication, showing all sizes, hardware types, and assembly details.
- All windows and doors to meet 2018 IRC, 2018 IECC, and local requirements for security and tempered glazing locations.
- TG indicates Tempered Glazing.
- Refer to Floor Plans for door swing directions.
- All windows and doors in this drawing are shown viewed from the outside unless otherwise indicated.
- Operable windows are to open outward unless otherwise indicated.
- Window exterior to be Clear anodized Aluminum, or color to match weathering steel.
- Windows and Sliding Doors to have a maximum U-value of 0.30
- Skylights to have a maximum U-value of 0.55

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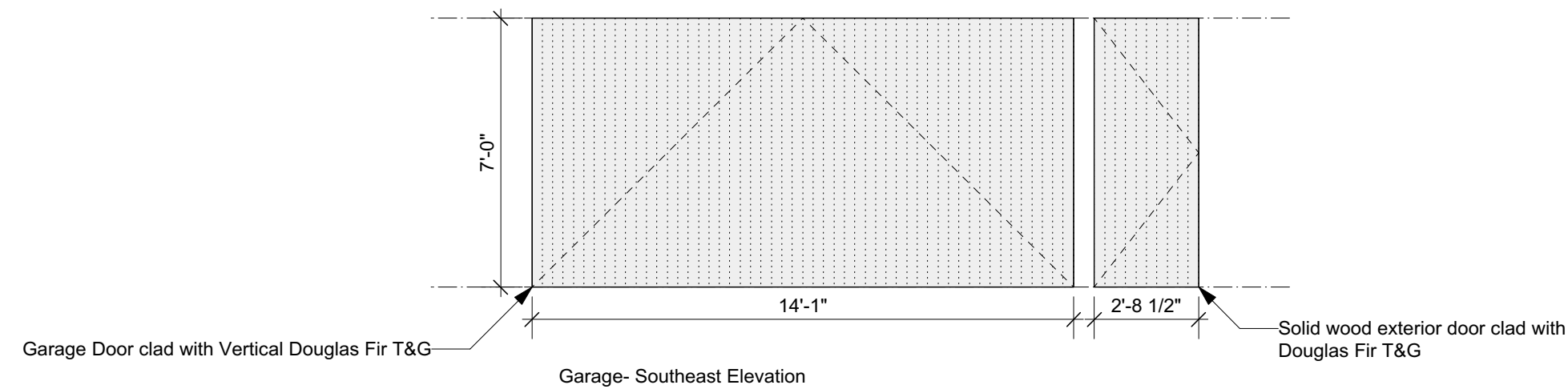
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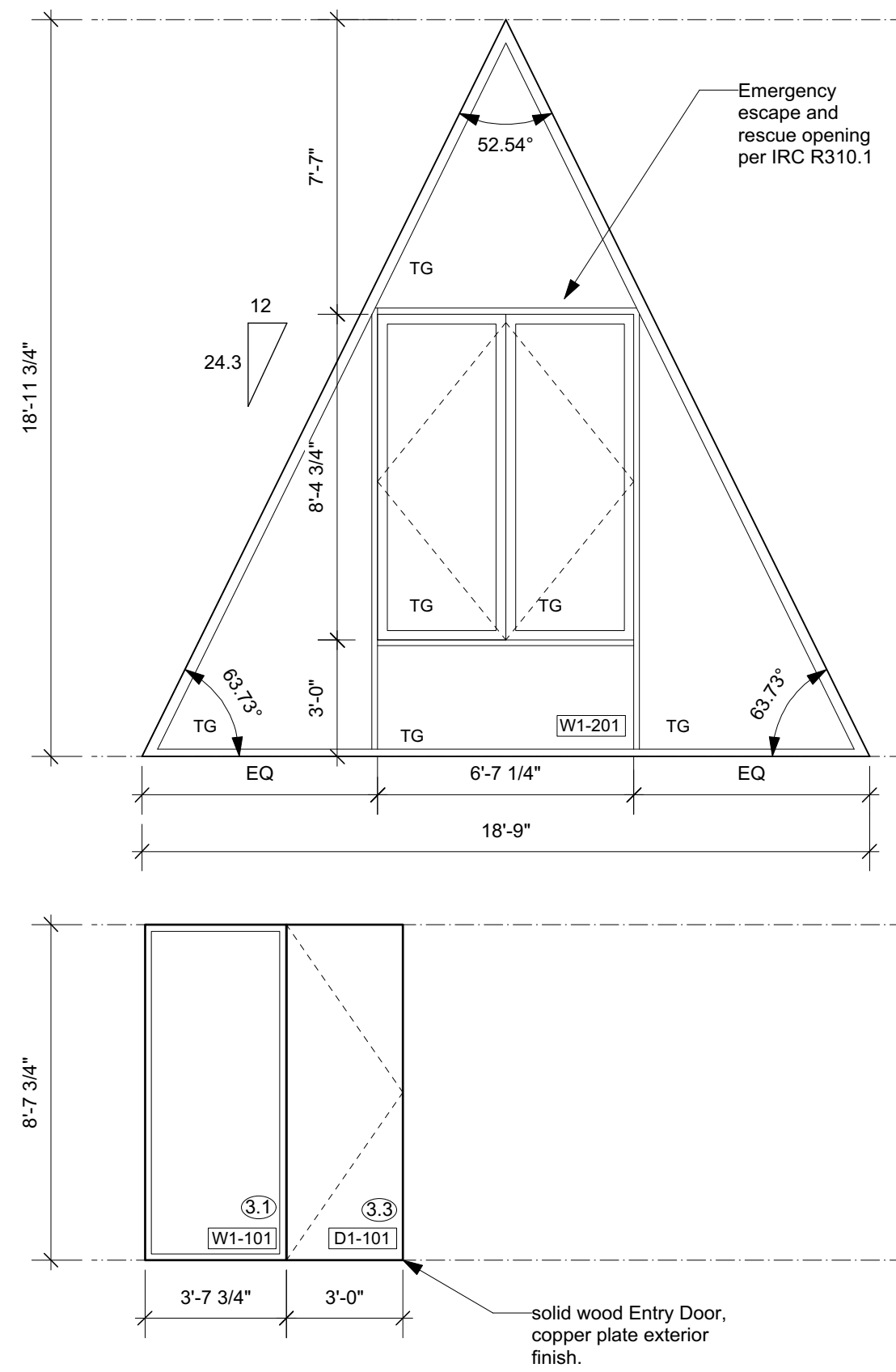
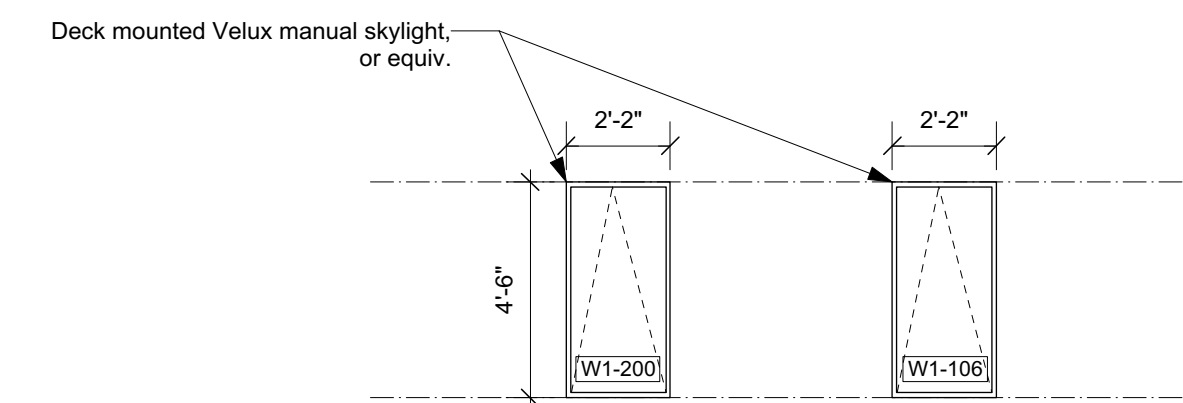
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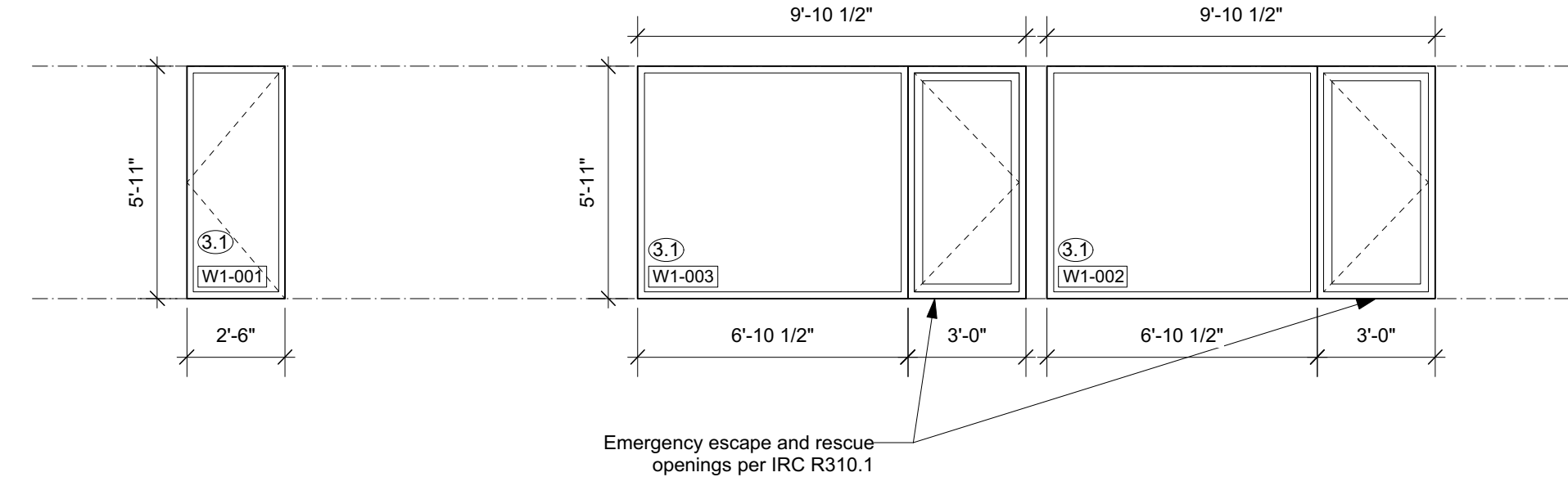
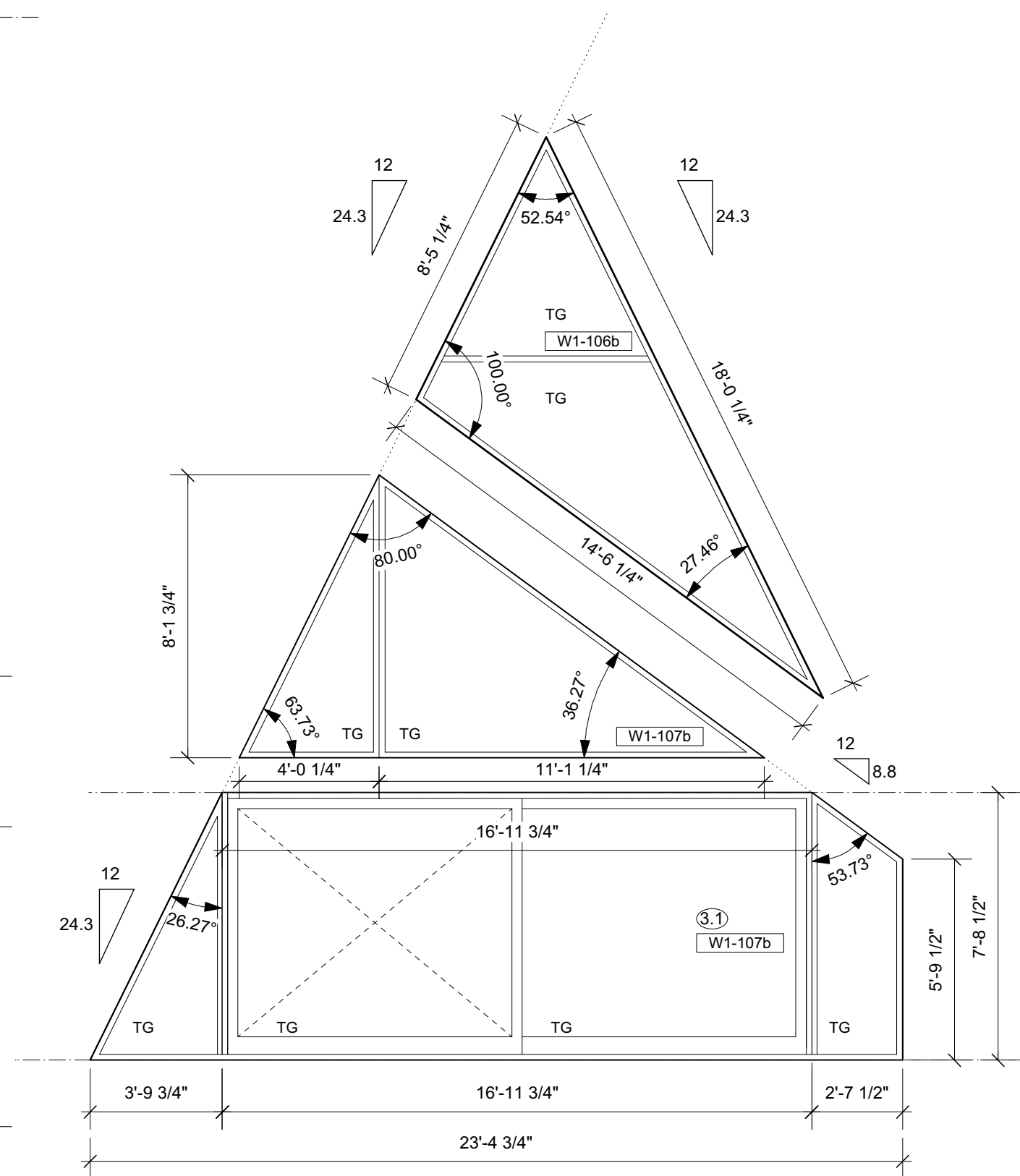
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3 Garage Door Elevations  
1/4" = 1' (@24"x36" plot)



4 Unit 1 Window/ Door Elevations  
1/4" = 1' (@24"x36" plot)



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**A9.00**

Window Door Schedule

**GENERAL**

- DESIGN LIVE LOADS: Snow=85psf, Floor=40psf, Wind 90mph (3 Second Gust), Seismic Zone B
- RESPONSIBILITY: The contractor is responsible for cross referencing all plans and inspecting work placement at the site to assure that no omissions or discrepancies exist that might adversely affect construction or the integrity of the finished product. Job site and construction safety are not addressed in these plans and are the responsibility of the contractor. These responsibilities are industry standard.
- These plans are intended to be in accordance with 2018 IRC and IRC codes. All construction to be in conformance with these codes.

**FOUNDATION**

- Foundation designed in accordance with NWCC Site Specific Soils Report with a Maximum allowable soil bearing pressure = 3000 psf, 700 min. Proper authorization for use of the report or its recommendations are the responsibility of the owner.
- We recommend the soils engineer verify during excavation (and before construction of any part of the foundation) that soil types and conditions match those described in the pit log(s) of the above mentioned soils report.
- Remove topsoils, organic material, and any questionable material below pads and footers. All pads and footings exposed to frost must maintain the required 48" frost depth. Minimum pad thickness = 12". The footing elevations of this design are indicated in economical relation to architectural elements. Proper soil bearing and/or the soil report may require lower footings.
- Drainage and grading details to divert surface drainage at least 10' away from the structure. Do not backfill against any foundation or retaining wall until all supporting floor and slab systems are in place and securely anchored, or other adequate wall support is provided.
- Where exterior backfill rises above any adjacent floor, use granular free draining backfill from drain tile up. Exterior backfill may be native inorganic material where final grade is below lowest floor (UNO). Before placing finish topsoil, we recommend capping backfill with a Mirafi fabric under 12"-24" of water impermeable material (e.g. clay).
- Provide 4" diameter perforated PVC drain tile in a 12" by 12" gravel envelope at lowest levels and perimeter of excavation sloped a minimum of 1/8" per foot to an adequate daylighting drain. Provide cleanouts and screen end, Mirafi or other filter barriers will help prevent drain clogging. Test drain tile before and after backfilling.
- All construction and materials to conform with ACI 318.
- Reinforcing bar to be deformed 60 ksi steel (per ASTM A-615). Lap all rebar splices and corners 38 bar diameters minimum.
- Concrete supplier to provide mixes that replace 20% of portland cement with recycled fly ash from local coal burning power plants.
- Minimum concrete 28 day compressive strength = 3500psi for walls, footers, and pads, and 4000psi for slabs.
- Concrete cover: Concrete cast against and permanently exposed to earth: footing, pad = 3". Concrete exposed to earth or weather: walls, slabs = 1.5"
- Consolidate concrete per ACI 309. Cast in place concrete shall be poured continuously so as to prevent cold joints.
- Provide 1/2" diameter by 10"min anchor bolts at 24" on center with an embedment of 7" to connect framing to foundation (UNO). Anchor bolts to be located not more than 12" from foundation corner (TYP). Use galvanized anchor bolts with pressure treated plates. Finish all concrete wall tops to within 1/8" of specified elevations.
- Foundation insulation and waterproofing to be specified and installed in accordance with the above mentioned soils report, IRC, local codes, and accepted construction practice.
- Do not use foam form systems without approval of Engineer.
- Provide slab shrinkage reinforcement of 6x6xW1.4 welded wire mesh with 2" laps, or a poly fiber mesh per manufacturer's instructions.
- Slab surfaces to be left free from trowel marks, uniform in appearance, and with a surface plane tolerance not exceeding 1/8" in 10'0" when tested with a 10' straightedge.
- Provide 1" deep tooled (or cut) control joints at approximately 10' on center in each direction.
- Provide 1/2" expansion joint material at all slab to wall, footing, or column interfaces. Provide a 6 mil poly barrier under all interior slabs for moisture protection and as a bond breaker. Provide an approved hardener and sealer to the surface of all slabs.
- If foundation is to sit through winter without complete framing, we recommend the building achieve enough backfill, framing, and floor sheathing to protect foundation bearing soils from moisture accumulation and frost heave.

**WOOD FRAMING**

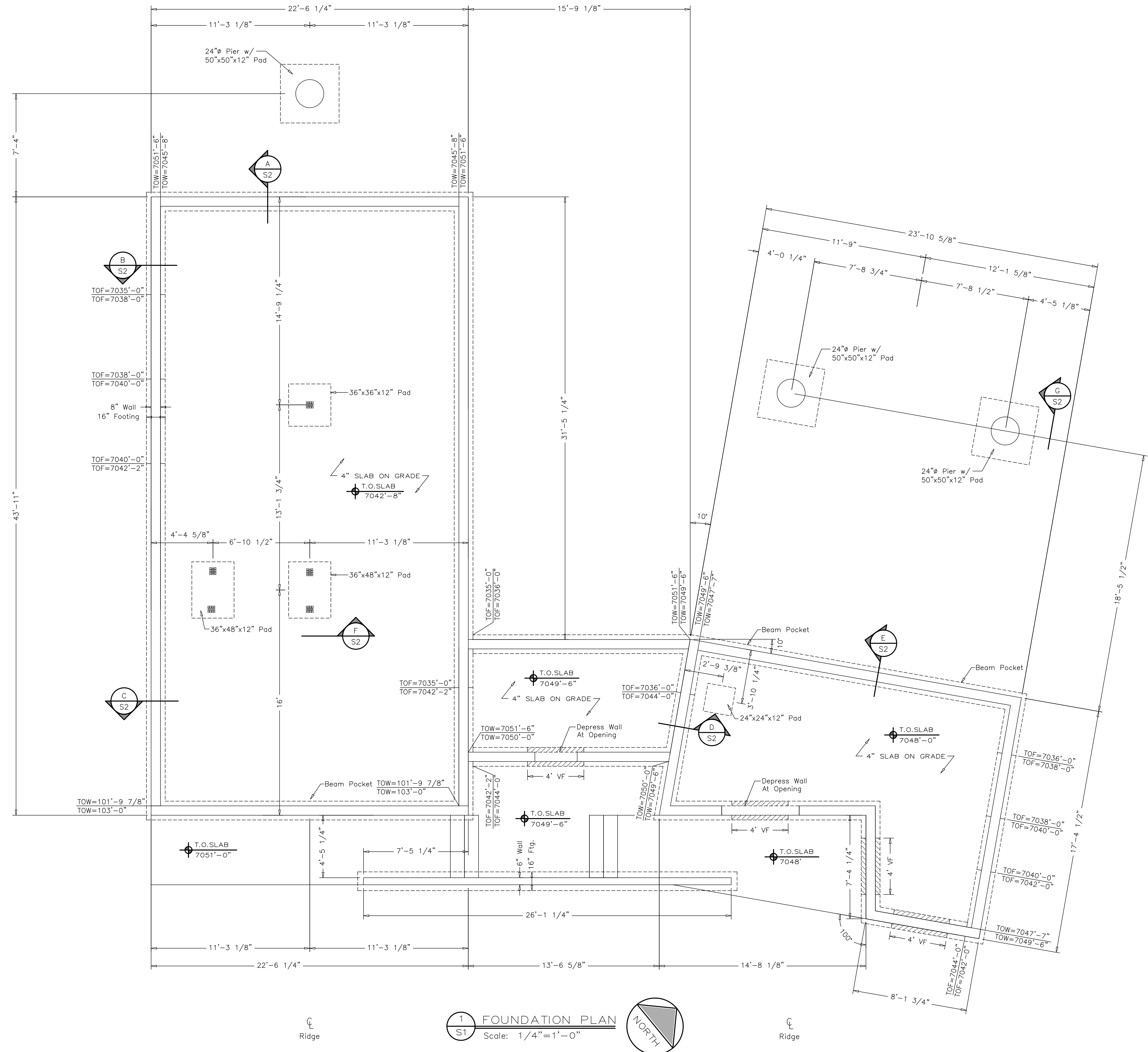
- Framing plans show structural requirements only. Additional members may be required for blocking, nailers and code requirements.
- Use Douglas Fir or Hem Fir "stud grade" (S4S) 2x4/2x6 at 16"o.c. for all wall studs(UNO). Use DF#2 (S4S) or better for all multi-stud posts, joists, rafters, headers, posts, beams and plates. Sill plates and any other lumber in direct contact with concrete- California Foundation Grade Redwood or Species Group B Pressure Treated Lumber. Use galvanized anchor bolts with pressure treated plates.
- Glulams (GL)- 24F-V8 manufactured in accordance with AITC 117-84, fb=2400psi. OK to use 24F-V4 for simple span applications only. All Glulams used in exterior applications must be sealed and protected from moisture with an appropriate preservative.
- Laminated Veneer Lumber (LVL)- manufactured in accordance with APA criteria. fb=2600psi.(or X-Beam Equiv.)
- Timbers- Douglas Fir (DF) Grade specified on plan- #1 Fb>1300psi, #2 Fb>850psi.
- Exterior Wall Ply- 7/16" OSB APA rated 24/16 min with 8d's @6"oc edge, 12" oc field. Manufactured in conformance with APA PS 1-83. Floor Ply- 3/4" T&G OSB APA rated 24/0 minimum, 8d's @6"oc edge, 10" oc field. Glue to joists. Roof Ply - 5/8" OSB APA rated 40/20 minimum, 8d's @6"oc edge, 12" oc field. OK to use 1 1/2" Zip wall system in lieu of 7/16" OSB. 1 1/2" Zip wall system nailing: 16d sinkers (0.131" dia), 3" oc Edge and 12" oc Field.
- Roof Trusses- 85 psf snow load, 24" oc. Truss design and fabrication by others. No drop top gable truss adjacent to scissor truss without approval of Engineer.
- Rigid insulation decking- 9 1/2" Insulm or equal. Attach with 10 1/2" deck screws @12" oc each way.
- Maintain 6" clearance between untreated wood or siding and soils at finish grade.
- 1/2" Sheath 100% all exterior frame. Ply to lap floor rim, top plates and sill plate.
- All floor and roof plywood place with 8' dimension perpendicular to framing with end joints staggered.
- Typical headers unless noted otherwise on plans: All load bearing headers in 2x6 wall (2)2x10; in 2x4 wall (2)2x10, (UNO).
- Provide 2 studs under each end of all load bearing beams or headers >38"(UNO). (1)king stud min.(UNO)
- Multiple stud posts anticipate 2' min wall sections preventing buckling. Verify new adjacent openings with engineer.
- Studs removed for doors and windows shall be placed equally at the end of headers, up to (2)king (full height) studs each end.
- Posts to stack over equal below (UNO). Trusses spanning >18' to stack over studs below (UNO). Provide end joint where studs above do not stack over studs below.
- Solid block all bearing walls and posts for continuity to foundation.
- Block all trusses, outlookers, rafters and joists at all bearing points.
- Where full height foundation wall parallel to joists, block 1st joist space @24" oc.
- Wall studs to be continuous from floor to floor, or floor to roof. Balloon frame all gable walls. Provide firestop blocking at 10' max intervals in any wall with studs over 10' height.
- Connect joists to blocking with a minimum of (2)10d nails and connect joists to plate or beam below with a minimum of (3)10d toenails. Connect rim to plate below with 10d toenails @6" oc.
- Nail exterior wall sole plate to joists below with (3)10d and to blocking, rim or end joist with 10d's @4" oc.
- Connect all TJI rafters to blocking with (3)10d nails, and to plate or beam below with (4) 10d nails. Provide beveled bearing plate at interior bearing, birdsmouth cut at exterior bearing. Provide beveled web stiffeners at birdsmouth and regular web stiffeners at interior bearing. Strap TJI rafters across ridge with LSTA 1.8. Connect blocking to plate below with (3)16d toenails minimum. Refer to TJI Specifiers Guide roof details.
- Connect all 2x rafters to blocking with (3)10d nails, and to plate or beam below with (4) 10d nails. Provide birdsmouth or seat cut bearing at all beams and wall plates UNO.
- Connect common trusses to all bearing points with Simpson H2.5 connectors (UNO). Scissor trusses connect one end with Simpson TQ26. Connect to blocking with (3)16d nails
- Ventilate roof framing per local codes.
- Nailing, blocking, and all other construction details per 2018 IRC and IRC, such as Table R602.3(1). (UNO)
- All connector callouts to be Simpson Strong-Tie or equal by Simpson Strong-Tie Company, Inc. Install per manufacturer's instructions.
- TJI and MicroLam (ML) are products by Trus Joist MacMillan. Install per manufacturer's instructions.
- Steel beams pack out per detail where noted. Where not otherwise noted, provide 2x full width nailer on top with 1/2" Thru bolt at 24" oc staggered side to side of beam web. Where frame wall pocket prevents beam rolling, connect steel beam base to post or beam below with (2)5/8" Lags. Otherwise connect beam to bearing via welded "lags" i.e., flanges similar to Simpson CC. Provide 1/4" fitted web stiffeners at steel beam point loads and bearing points (UNO).
- If slab on grade is placed on expansive soils (i.e. minimum soil bearing required, see foundation note 1 above) all partition walls framed on slab to be slip jointed per soils report.

**STRUCTURAL STEEL**

- All structural steel shall conform to ASTM specifications A36 except pipe columns which shall conform to ASTM A53 Grade B, and steel tube columns which shall conform to ASIM A500 Grade B. Steel to steel member connection bolts shall be A325 steel and miscellaneous wood embedded items shall be A36 steel.
- Steel column base plates shall bear evenly to concrete below via 4000 psi non shrink grout.
- Minimum welds to be per AWS C and/or AWS, but not less than 3/16" continuous fillet unless otherwise noted. Welding quality control shall be per AWS. All welders shall have evidence of passing the American Welding Society Standard Qualifications Test as detailed in AWS D1.1.

**TYPICAL ABBREVIATIONS**

- BGB = bottom of grade beam
- BRC = bearing
- CL = center line
- E.E. = each end
- E.M. = each member
- E.S. = each side
- E.W. = each way
- GL = Glulam
- HDR = header
- LVL = Laminated veneer lumber
- OC = on center
- OF = overframe
- OH = overhang
- OPP SM = opposite similar
- PL = plate
- PT = pressure treated
- PSL = parallel
- R.O. = Rough opening
- SOG = slab on grade
- STR = Structural
- TOBL = top of brick ledge
- TOF = top of footing
- TOGB = top of grade beam
- TOS = top of slab
- TOSB = top of steel beam
- TOW = top wall
- TYP = typical
- UNO = Unless noted otherwise
- WS = steel web stiffeners



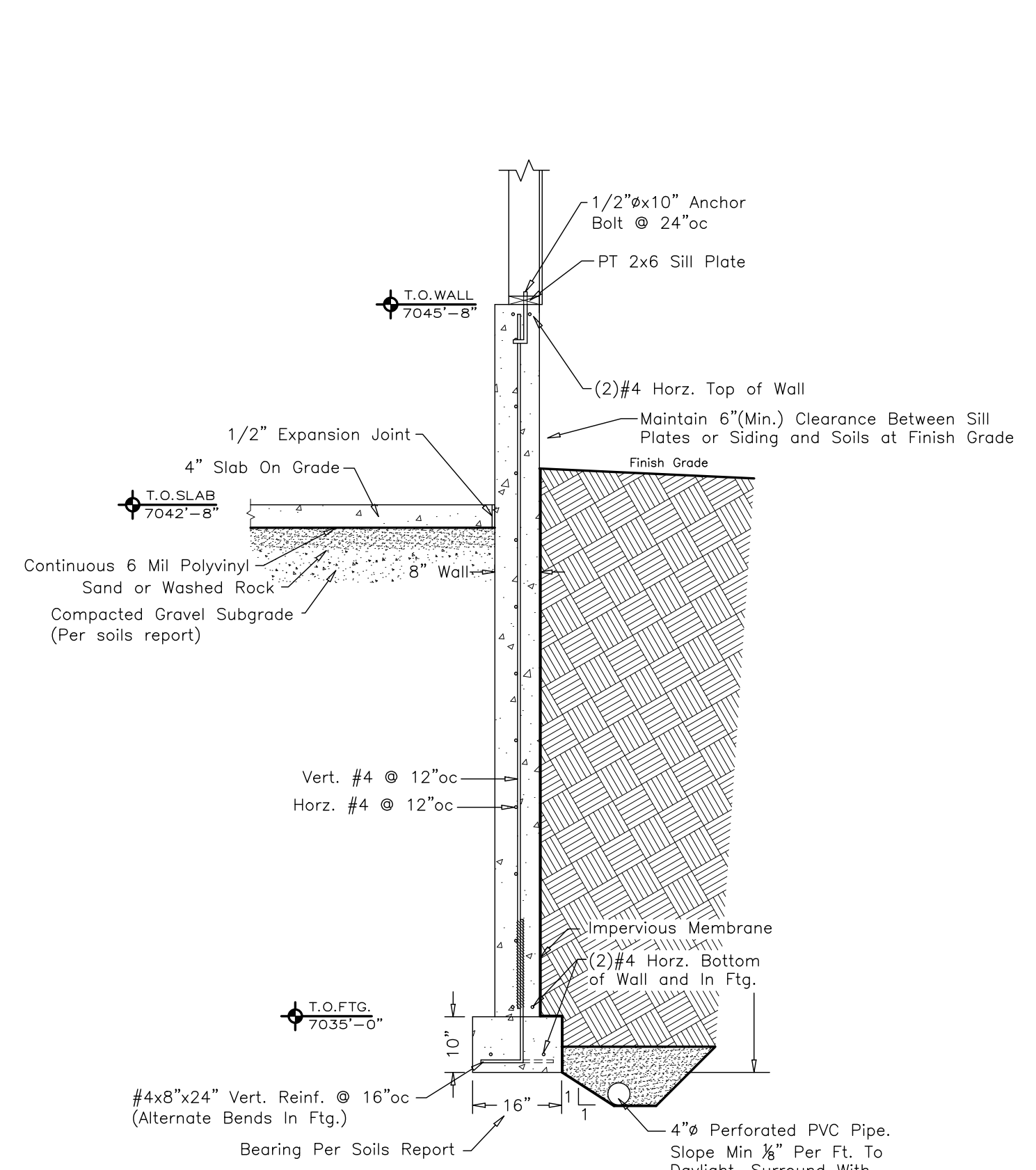
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 Steamboat Springs, CO 80487  
 P.O. Box 775729  
 Steamboat Springs, CO 80477  
 info@engineeringdesignworks.com  
 PHONE: (970)879-4890

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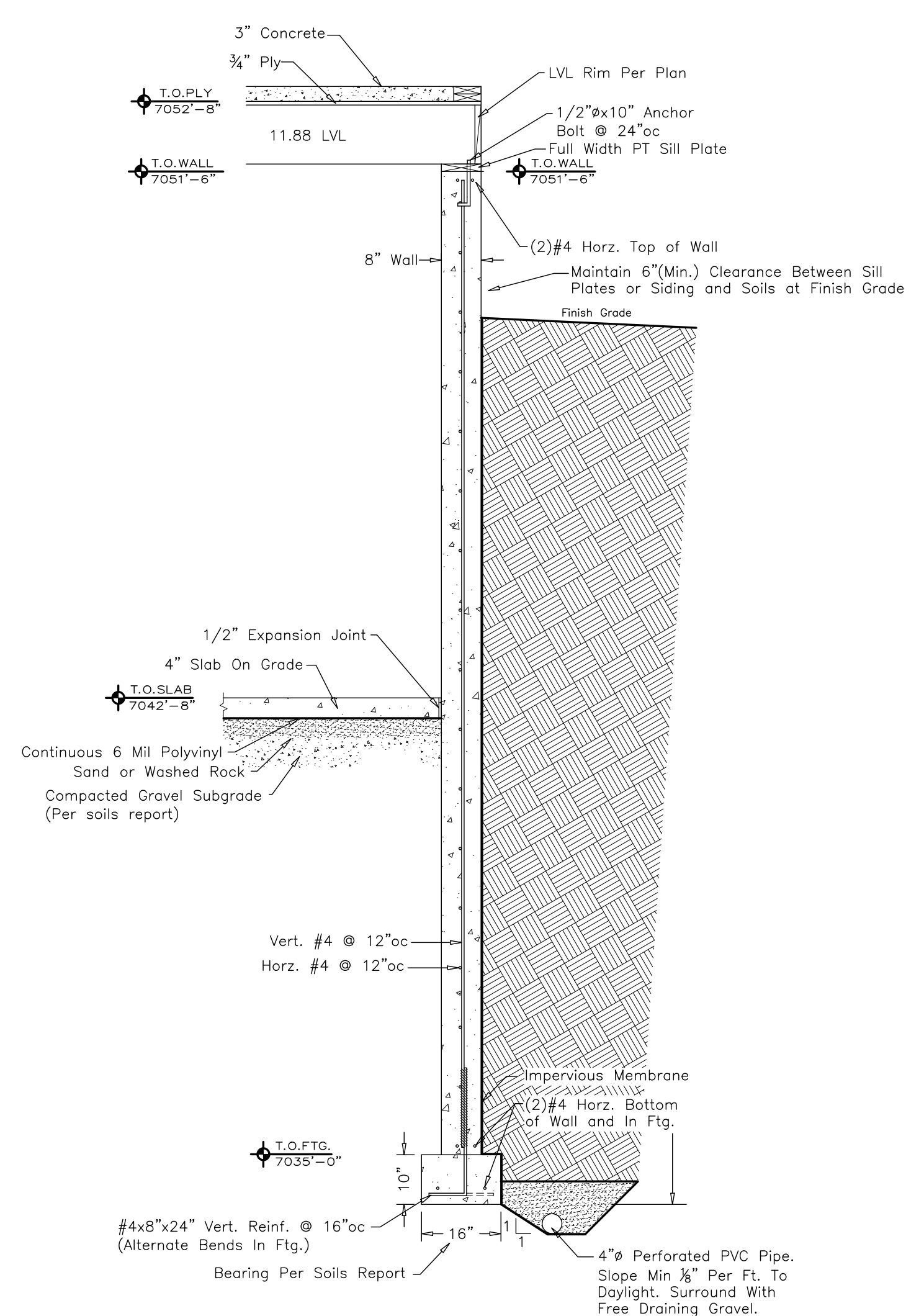
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FOUNDATION PLAN for the proposed:  
**STEAMBOAT SPRINGS ALPINE HOUSE**  
 1859 RIVER QUEEN LANE  
 STEAMBOAT SPRINGS, COLORADO

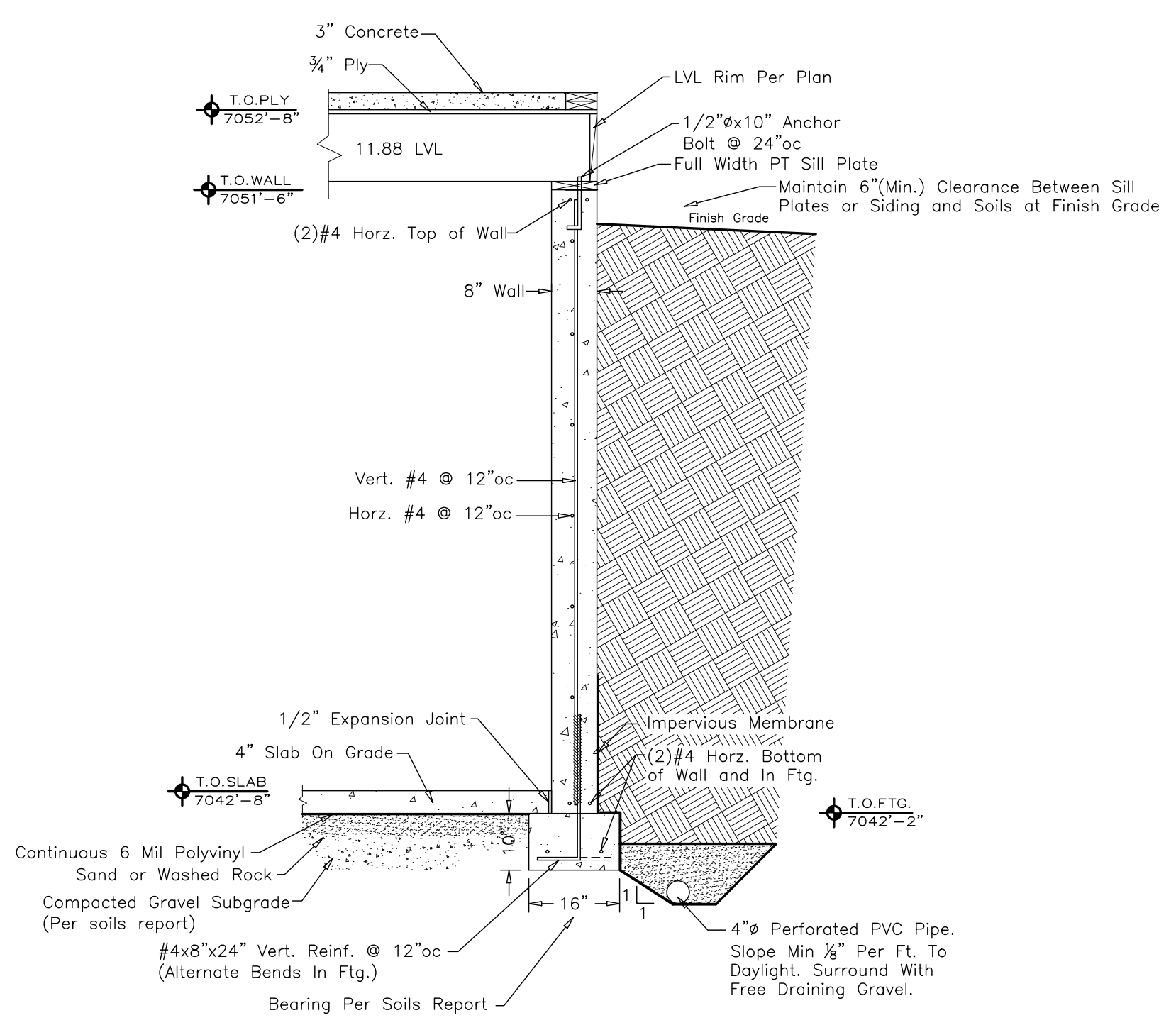
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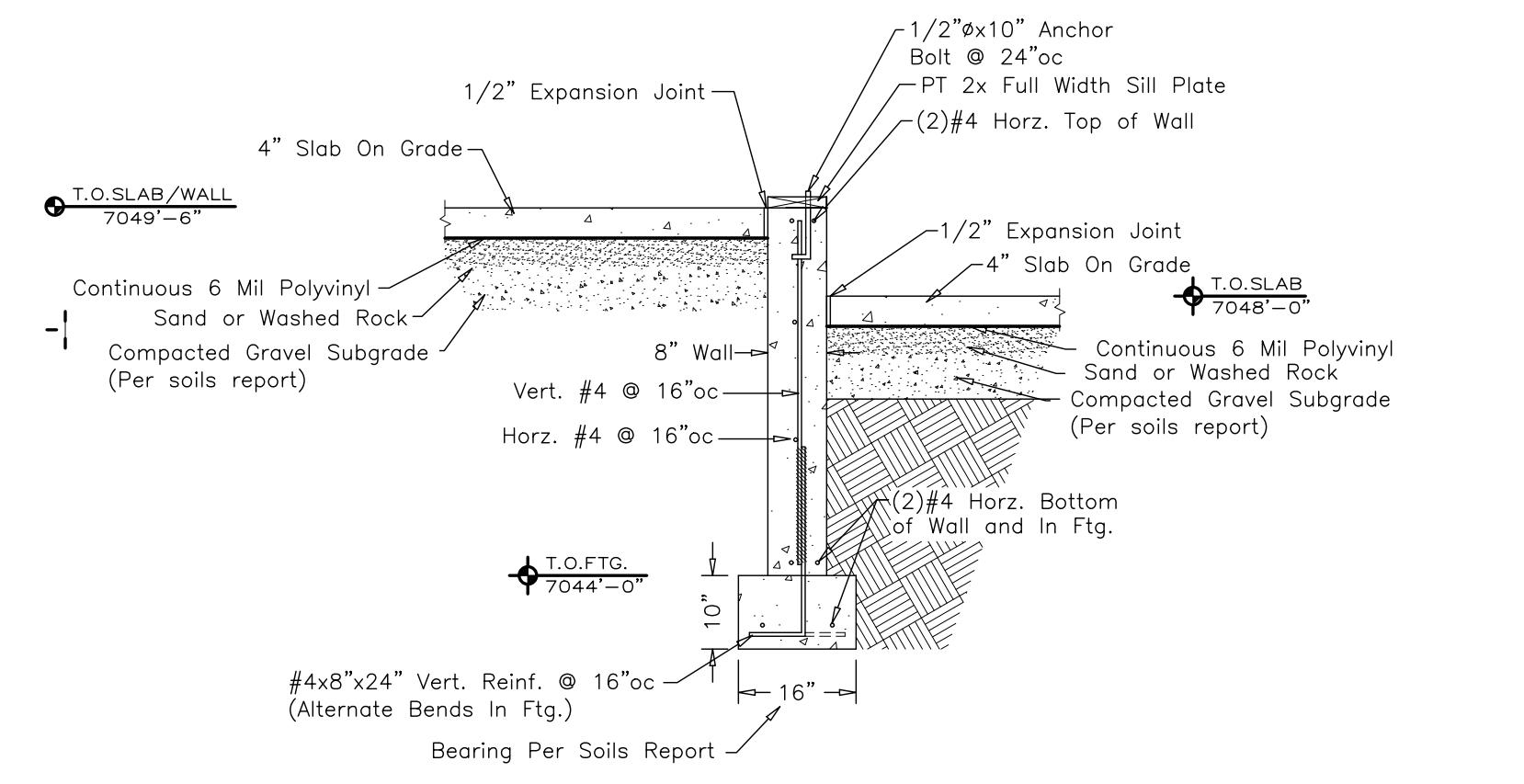
**A WALL DETAIL A**  
S2 Scale: 1/2"=1'-0"



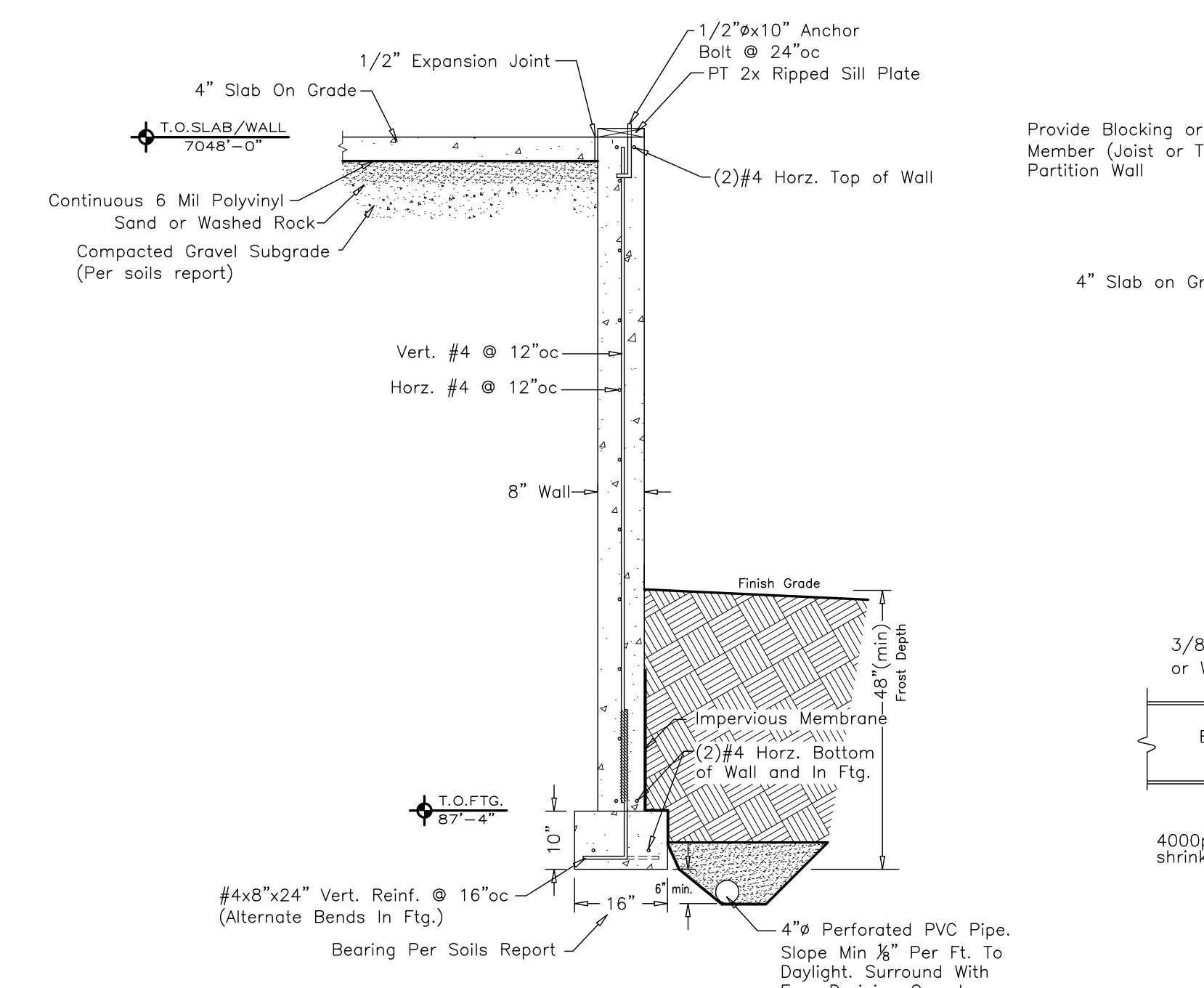
**B WALL DETAIL B**  
S2 Scale: 1/2"=1'-0"



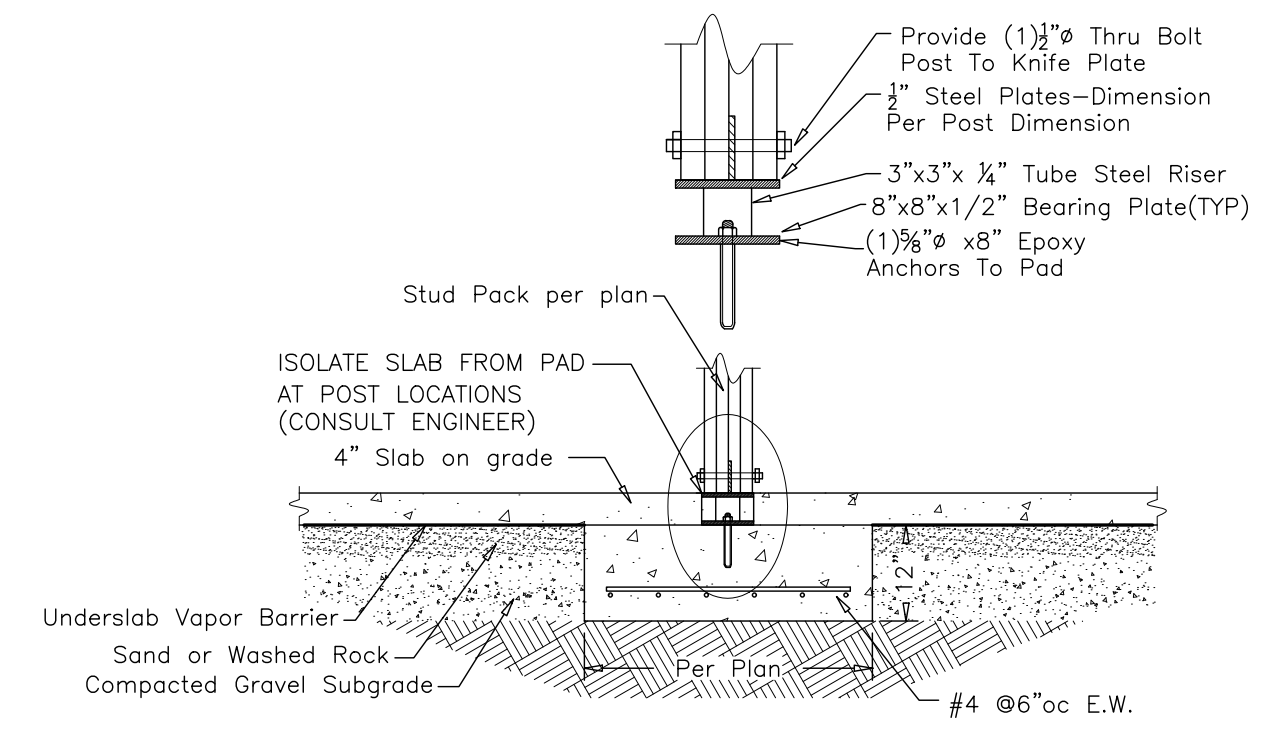
**C WALL DETAIL C**  
S2 Scale: 1/2"=1'-0"



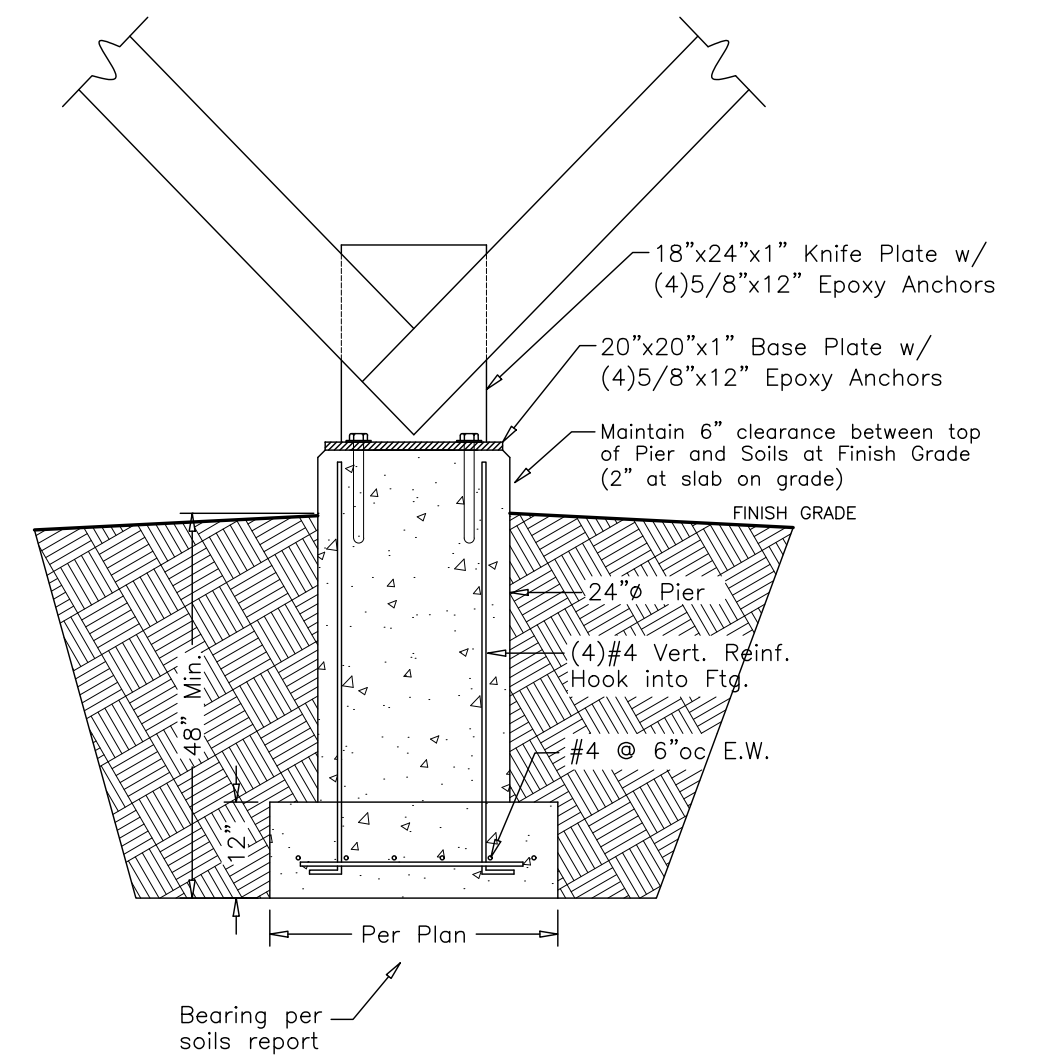
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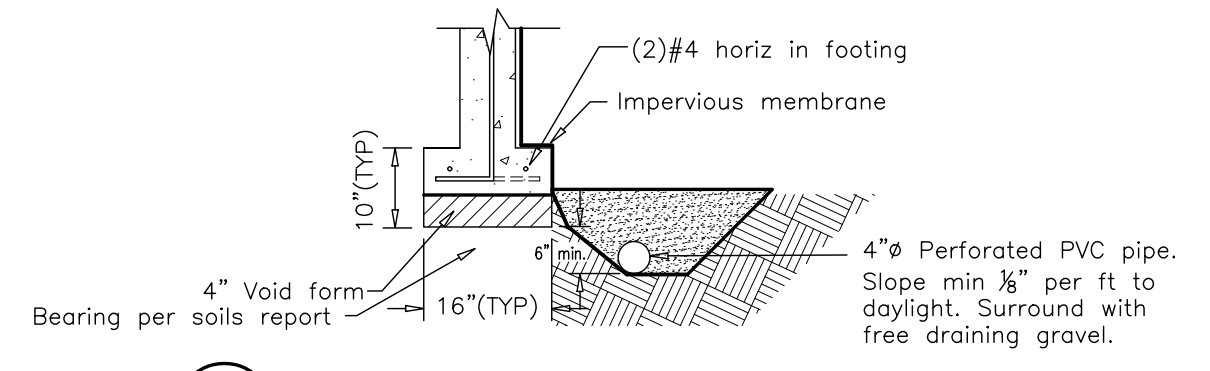
**E WALL DETAIL E**  
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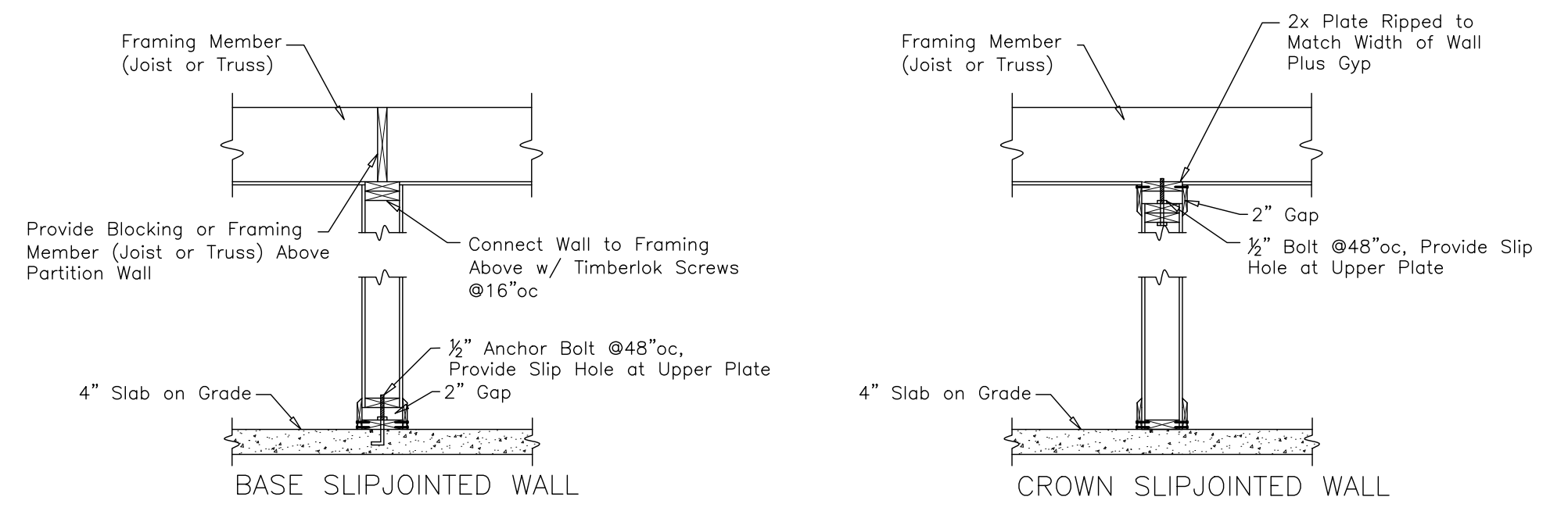
**F INTERIOR PAD DETAIL F**  
S2 Scale: 1/2"=1'-0"



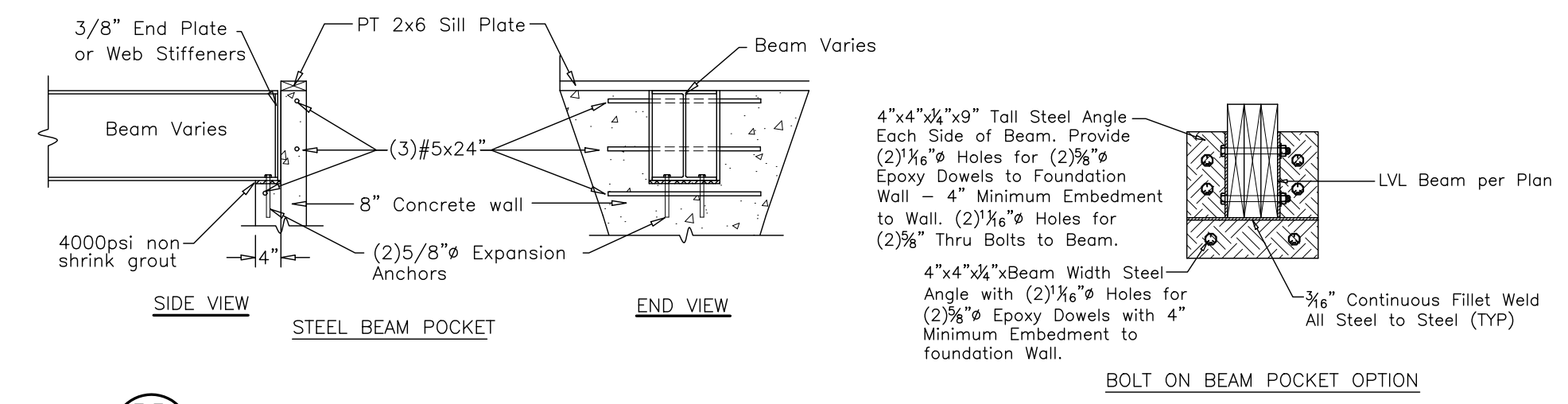
**G EXTERIOR PAD/PIER DETAIL G**  
S2 Scale: 1/2"=1'-0"



**VF VOID FORM DETAIL VF**  
S2 Scale: 1/2"=1'-0"



**SJ TYPICAL SLIP JOINT PARTITION WALL DETAIL**  
S2 1/2"=1'-0" (TYPICAL ALL WALLS FRAMED ON SLABS)



**BP BEAM POCKET DETAIL BP**  
S2 Scale: 1/2"=1'-0"



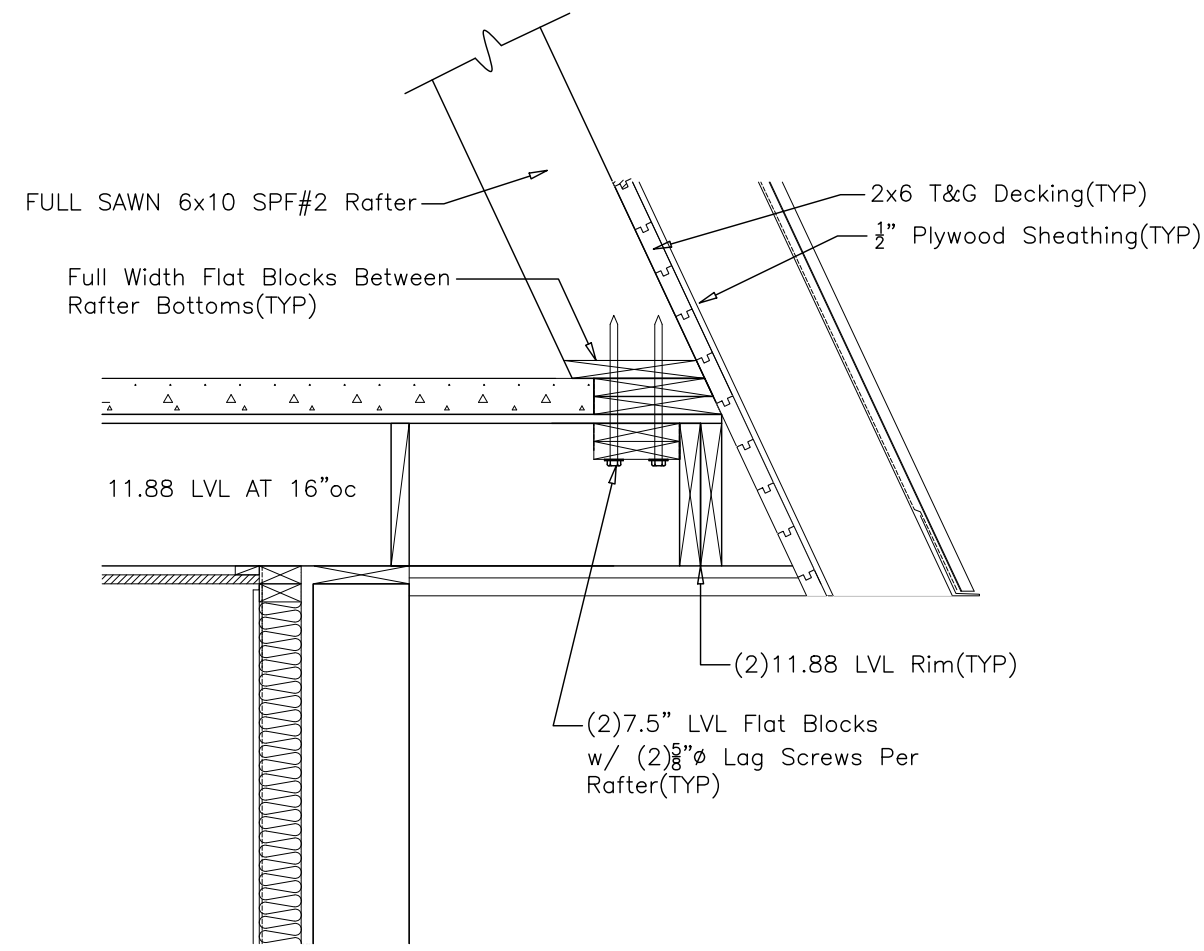
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1855 Sky Tower Square, Unit 12C  
Steamboat Springs, CO 80487  
P.O. Box 775729  
Steamboat Springs, CO 80477  
enr@engineeringdesignworks.com  
PHONE: (970)879-4890

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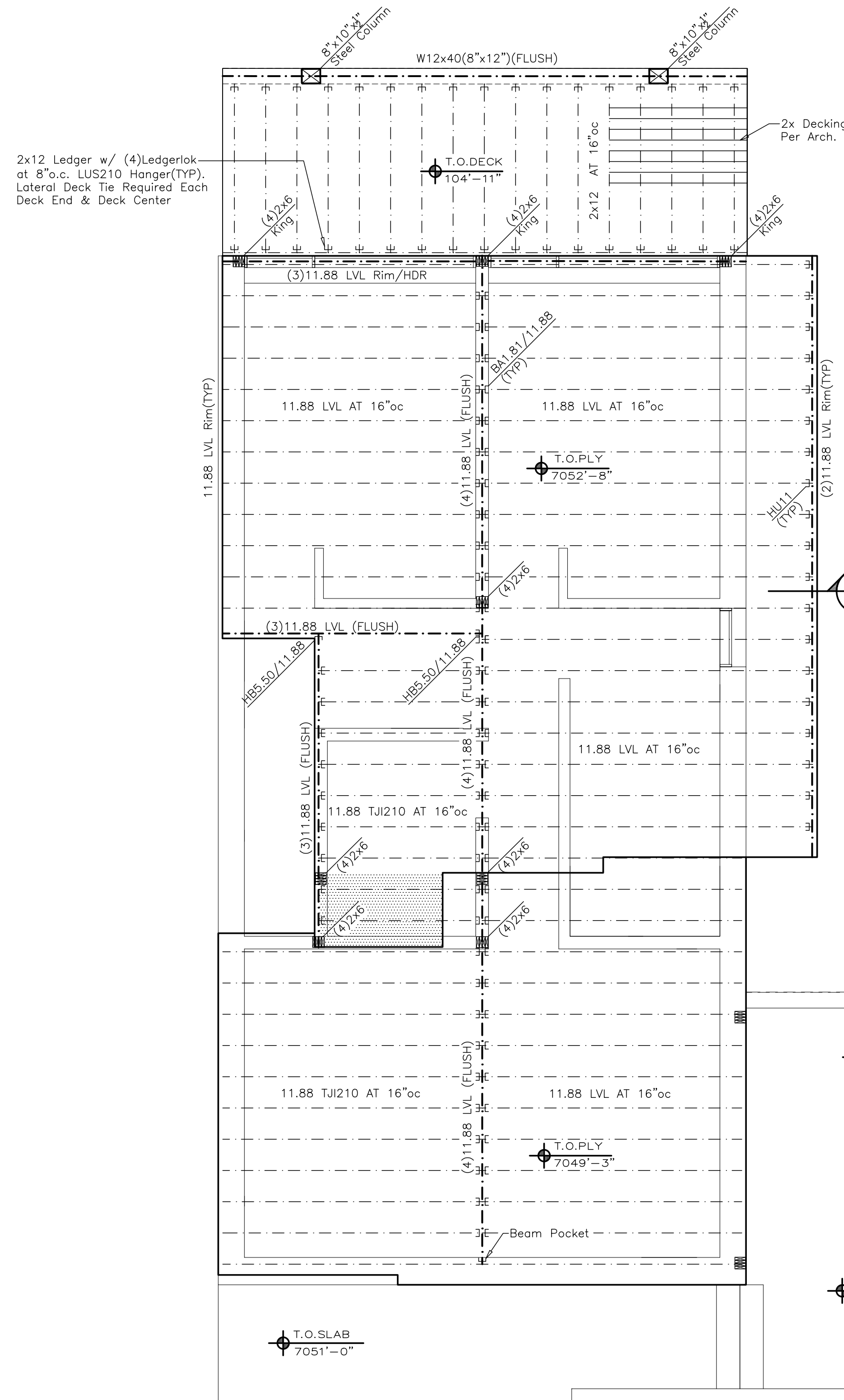
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DETAILS for the proposed:  
**STEAMBOAT SPRINGS ALPINE HOUSE**  
1859 RIVER QUEEN LANE  
STEAMBOAT SPRINGS, COLORADO

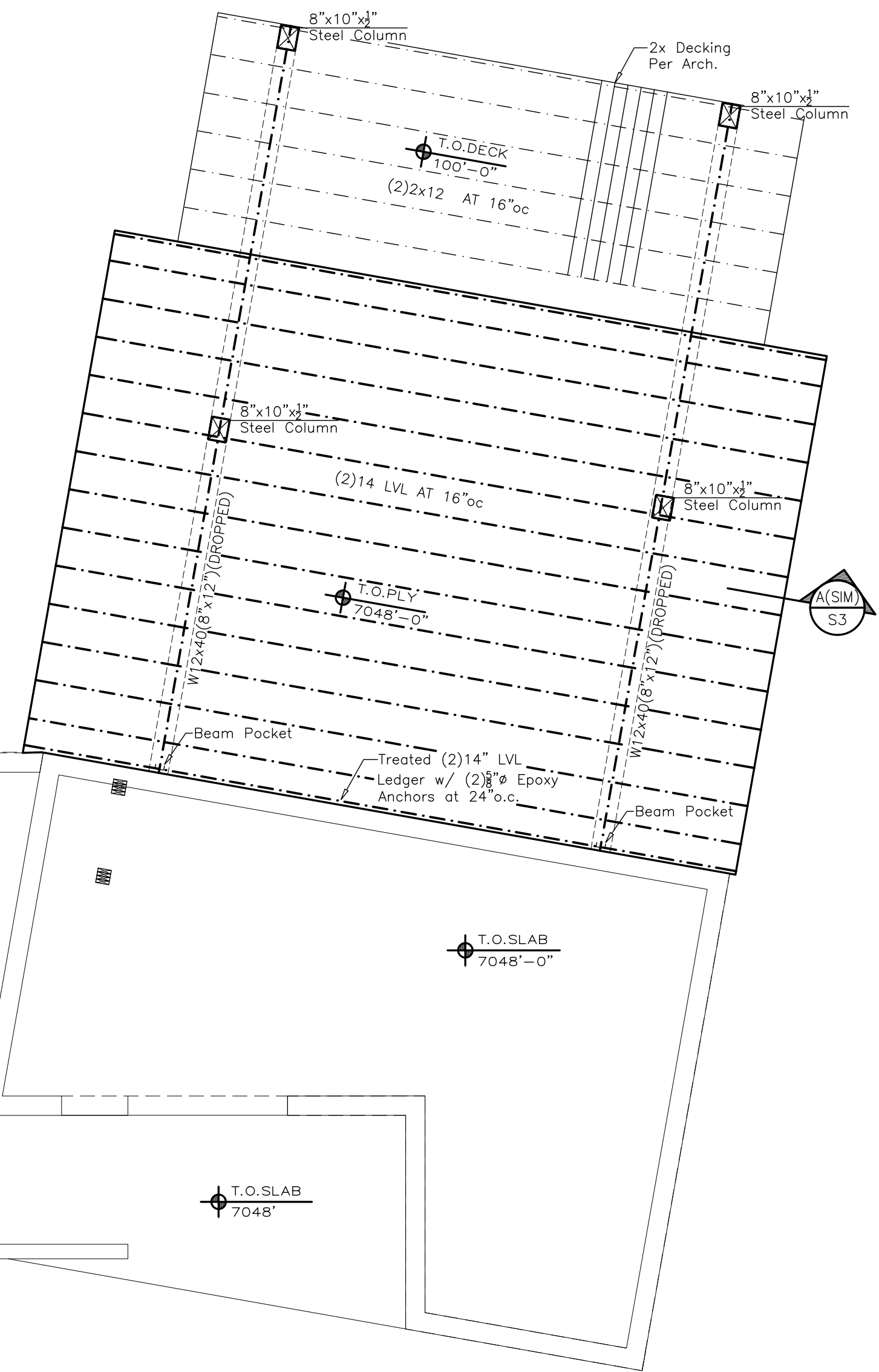
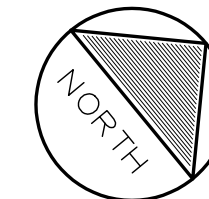
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**S2**  
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**A**  
S3 RAFTER TO FLOOR DETAIL A  
Scale: 3/4"=1'-0"



**1**  
S3 MAIN FLOOR FRAMING  
Scale: 1/4"=1'-0"



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1855 Sky Tower Square, Unit E2C  
Steamboat Springs, CO 80487  
P.O. Box 775729  
Steamboat Springs, CO 80477  
enr@engineeringdesignworks.com  
PHONE: (970)879-4890

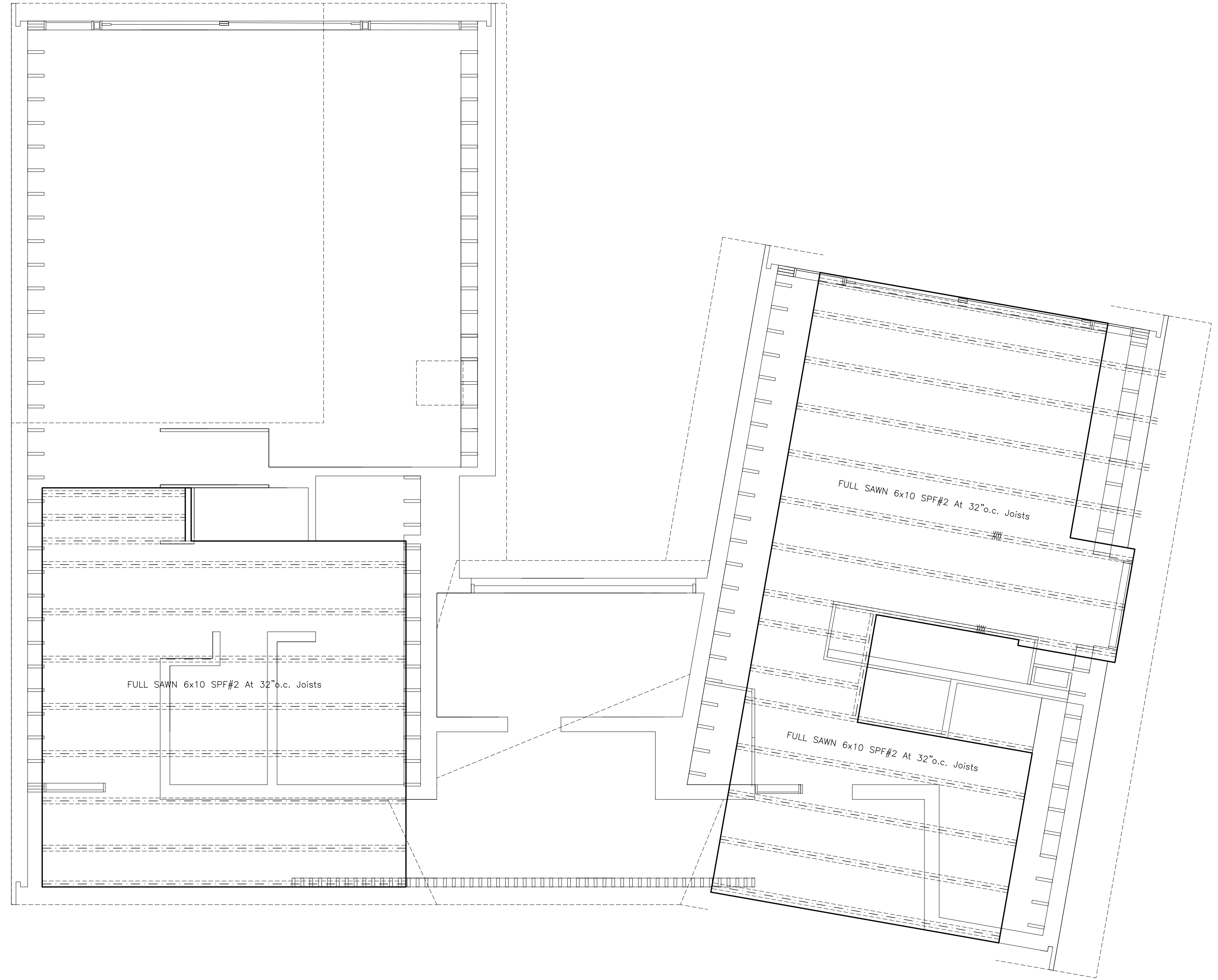
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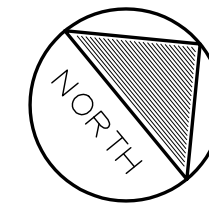
MAIN FLOOR FRAMING for the proposed:  
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1859 RIVER QUEEN LANE  
STEAMBOAT SPRINGS, COLORADO

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These plans are intended for use by the original owner in the  
state of Colorado and are not to be used for any other project  
without the express written consent of the engineer.



1 UPPER FLOOR FRAMING  
 S4 Scale: 1/4"=1'-0"

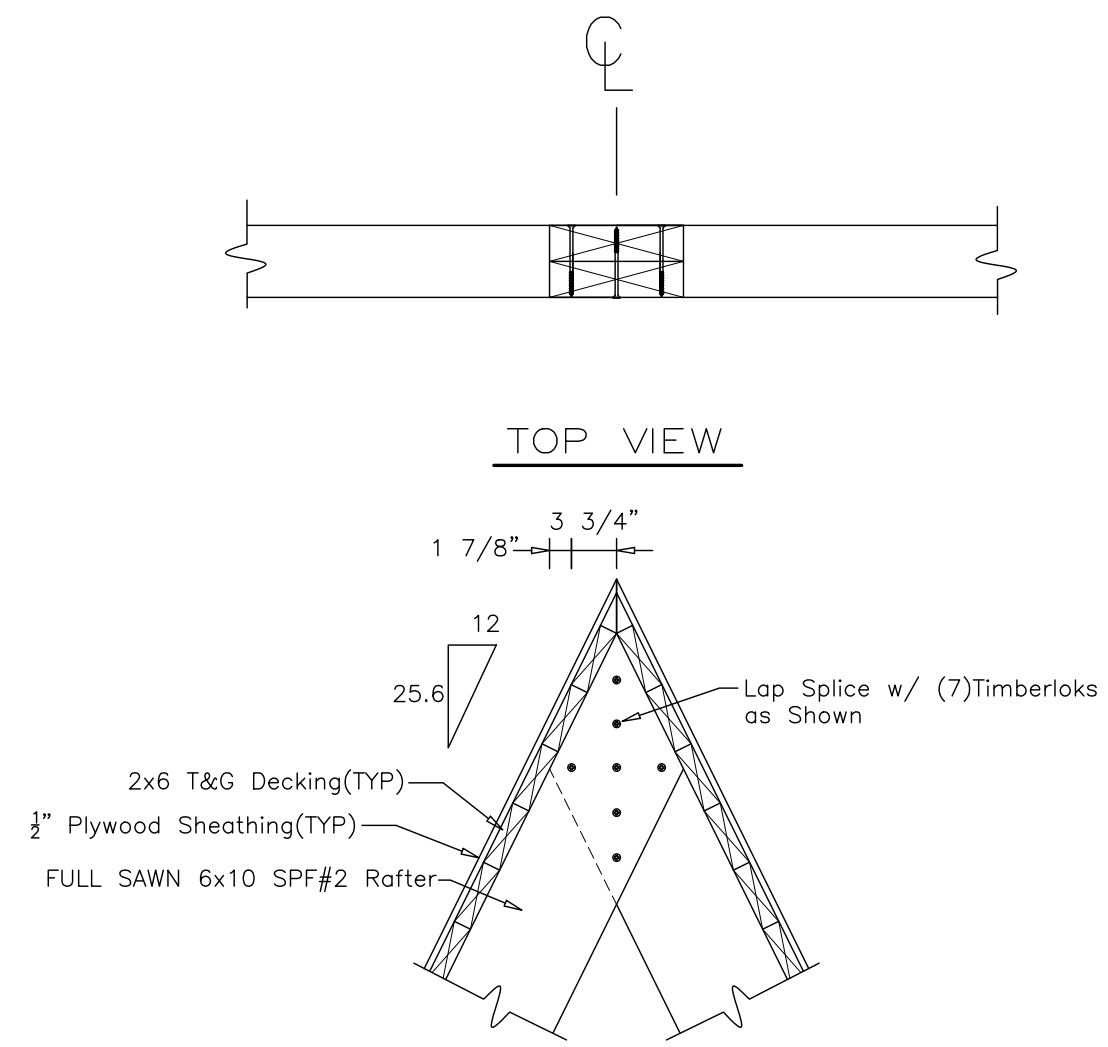


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 1855 Sky Tower Square, Unit 122C  
 Steamboat Springs, CO 80487  
 P.O. Box 775729  
 Steamboat Springs, CO 80477  
 enr@engineeringdesignworks.com  
 PHONE: (970)879-4890

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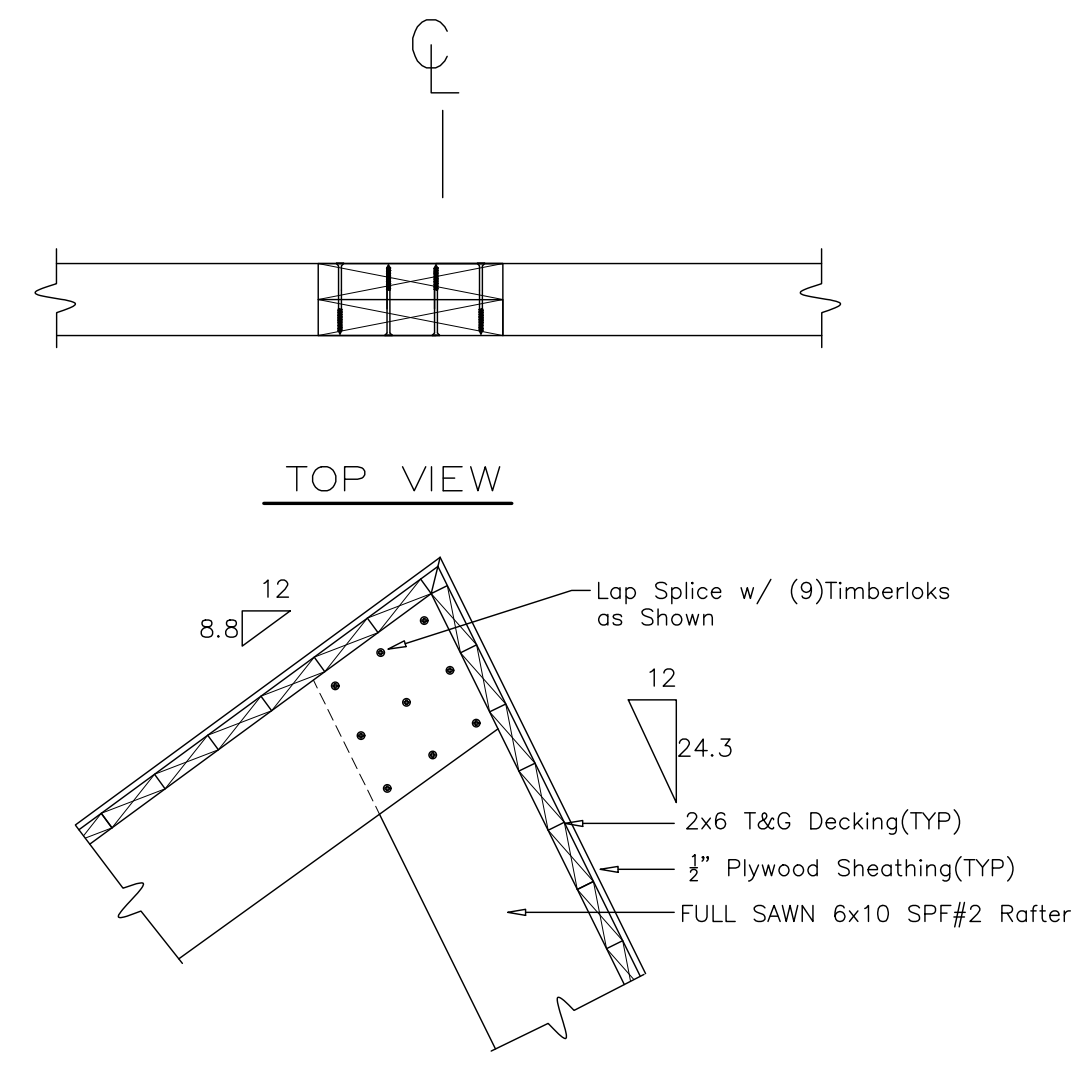
UPPER FLOOR FRAMING for the proposed:  
**STEAMBOAT SPRINGS ALPINE HOUSE**  
 1859 RIVER QUEEN LANE  
 STEAMBOAT SPRINGS, COLORADO



TOP VIEW

FRONT VIEW

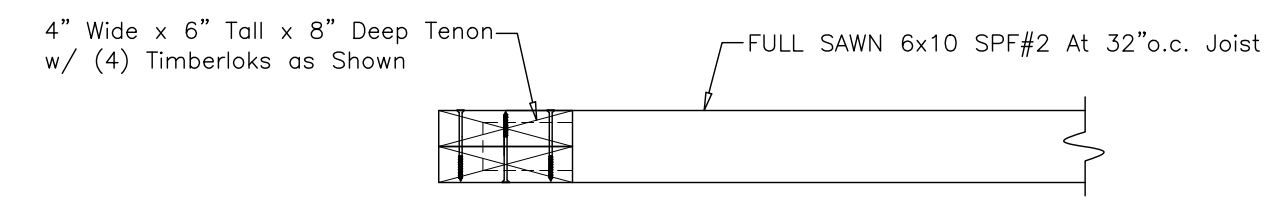
**A** RIDGE LAP DETAIL A  
S5 Scale: 3/4"=1'-0"



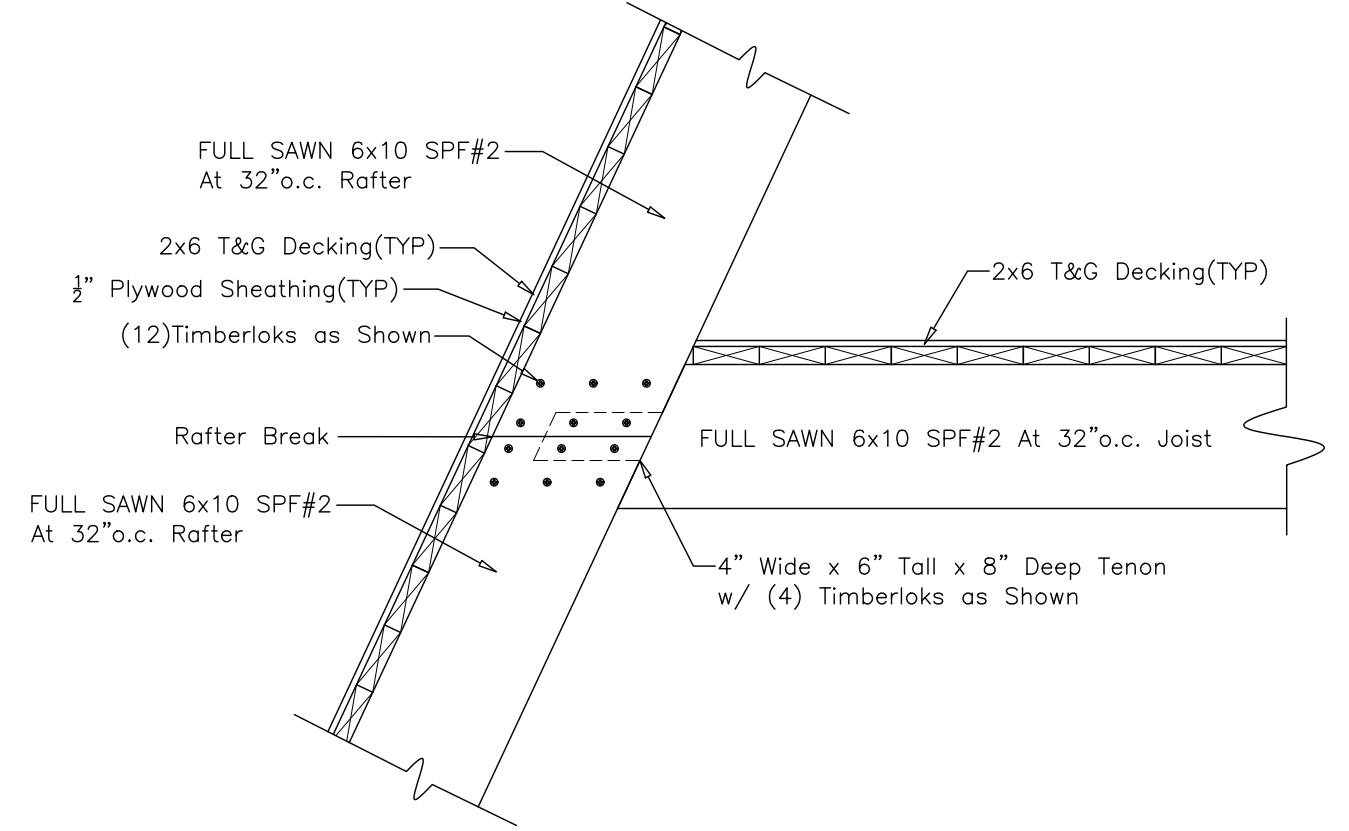
TOP VIEW

FRONT VIEW

**C** RIDGE LAP DETAIL C  
S5 Scale: 3/4"=1'-0"

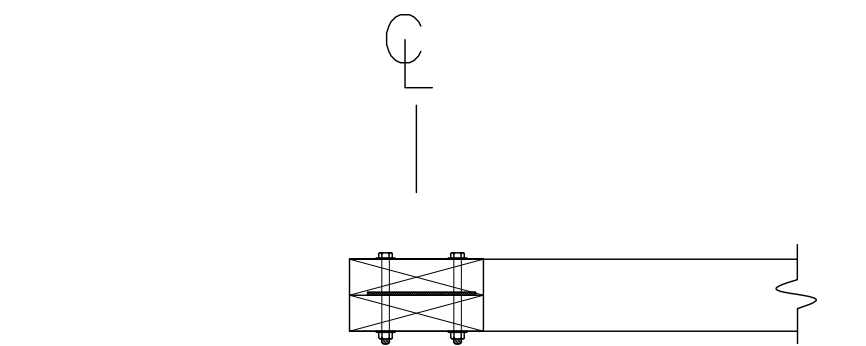


TOP VIEW

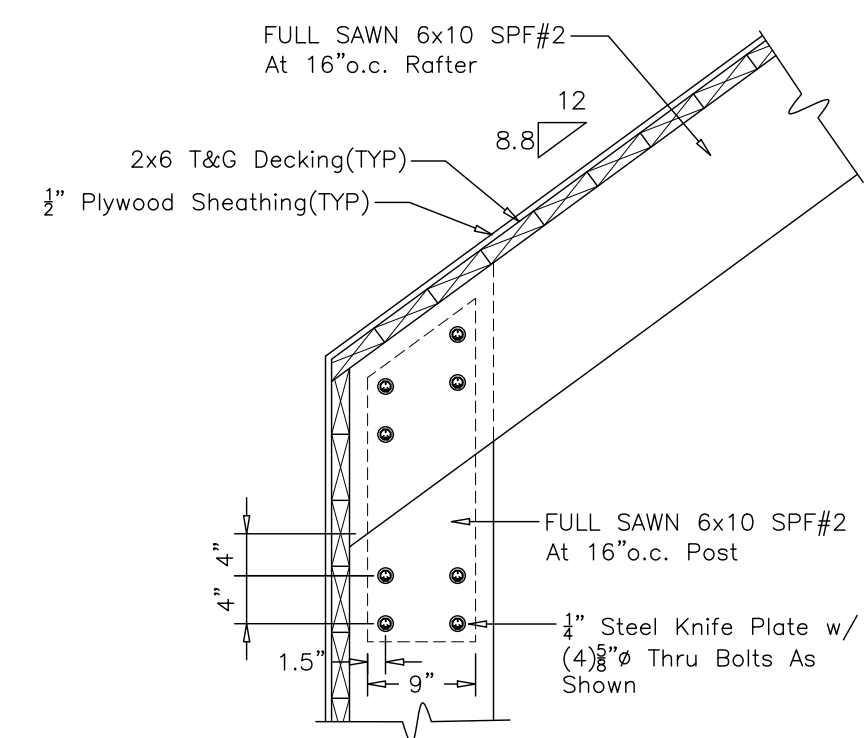


FRONT VIEW

**B** RAFTER/LOFT JOIST LAP DETAIL B  
S5 Scale: 3/4"=1'-0"

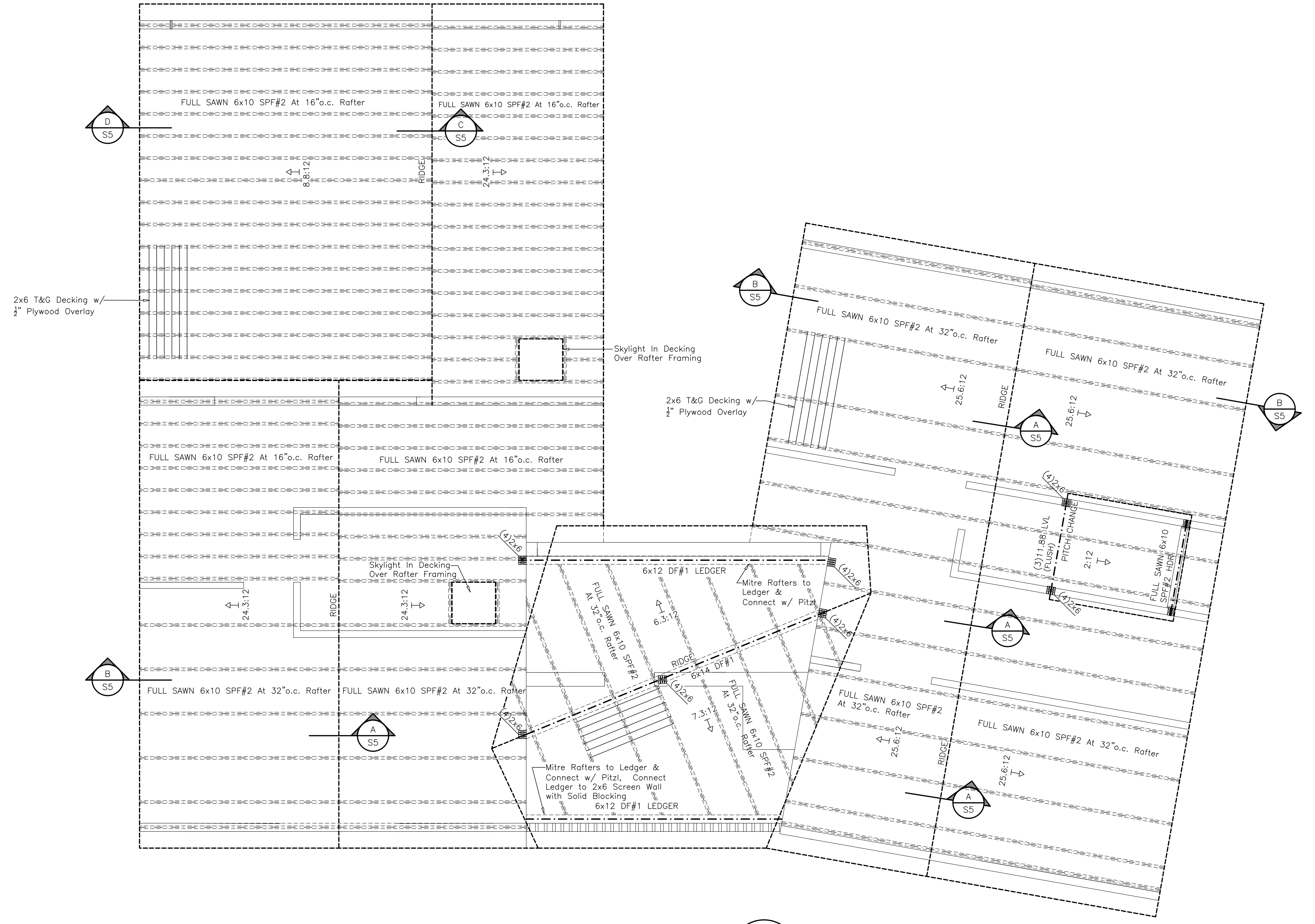


TOP VIEW



FRONT VIEW

**D** RAFTER/POST LAP DETAIL D  
S5 Scale: 3/4"=1'-0"



**1** ROOF FRAMING PLAN  
S5 Scale: 1/4"=1'-0"  
NORTH



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1855 Skyline Square, Unit 12C  
Steamboat Springs, CO 80487  
P.O. Box 775729  
Steamboat Springs, CO 80477  
enr@engineeringdesignworks.com  
PHONE: (970)879-4890

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ROOF FRAMING PLAN for the proposed:  
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