


















NOTES

1. EXISTING CONDITIONS SURVEY OF LOT A & B, MOUNTAIN OFFICE PARK SUBDIVISION TO THE PLAT THEREOF AS RECORDED AT CLERK AND RECORDER'S OFFICE, AT RECEPTION NO. 298528, COUNTY OF ROUTT, STATE OF COLORADO.
2. FIELD SURVEYING COMPLETED MARCH 13, 2024 AND MAY 13, 2024 AND FEBRUARY 3, 2025.
3. THIS CERTIFICATE DOES NOT CONSTITUTE A TITLE SEARCH BY FOUR POINTS SURVEYING AND ENGINEERING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, OR TITLE OF RECORD, FOUR POINTS SURVEYING AND ENGINEERING, INC. RELIED UPON THE FINAL PLAT OF MOUNTAIN OFFICE PARK SUBDIVISION. NO ADDITIONAL TITLE RESEARCH WAS COMPLETED BY FOUR POINTS SURVEYING AND ENGINEERING.
4. LEGAL DESCRIPTION PROVIDED BY ROUTT COUNTY ASSESSOR.
5. LOCATES FOR UTILITIES WERE NOT REQUESTED OR OBTAINED BY FOUR POINTS SURVEYING AND ENGINEERING, INC. IN CONJUNCTION WITH THIS SURVEY. UTILITY LOCATES SHOULD BE OBTAINED PRIOR TO PERFORMING ANY WORK IN THE REFERENCED AREA.
6. STREET ADDRESS: 2955 VILLAGE DRIVE, STEAMBOAT SPRINGS.
7. PROPERTY CORNERS FOUND AND SET AS SHOWN HEREON.
8. ZONING MF-3 PER CITY OF STEAMBOAT SPRINGS.
9. NO FLOOD PLAIN CONCERNS, ZONE X - MINIMAL FLOOD HAZARD.
10. GROSS LOT AREA: 1.28 ACRES.
11. EXISTING BUILDING ENCLOSES THE FRONT SETBACK ON VILLAGE DRIVE AS SHOWN.

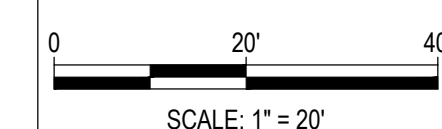
| LEGEND  |                                 |
|---|---------------------------------|
|  | PROPERTY BOUNDARY               |
|  | ADJACENT PROPERTY BOUNDARY      |
|  | EXISTING EASEMENT               |
|  | EXISTING EDGE OF ASPHALT        |
|  | EXISTING 1' CONTOUR             |
|  | EXISTING 5' CONTOUR             |
|  | CENTER LINE OF DITCH            |
|  | EXISTING WATER LINE             |
|  | EXISTING SEWER LINE             |
|  | EXISTING UNDERGROUND ELECTRICAL |
|  | EXISTING UNDERGROUND TELEPHONE  |
|  | EXISTING UNDERGROUND GAS LINE   |
|  | EXISTING CONCRETE PAVING        |
|  | EXISTING BUILDINGS              |
|  | COLORADO BLUE SPRUCE            |
|  | ASPEN                           |
|  | BIRCH                           |

| Line Table |        |               |
|------------|--------|---------------|
| Line #     | Length | Direction     |
| L29        | 0.88   | N1° 56' 38"W  |
| L30        | 91.92  | S88° 03' 22"W |
| L32        | 77.66  | S1° 43' 31"W  |
| L2         | 5.70   | S1° 32' 26"W  |
| L3         | 9.30   | S88° 27' 34"E |
| L4         | 4.30   | S1° 32' 26"W  |
| L5         | 8.50   | S88° 27' 34"E |
| L6         | 12.00  | N1° 32' 26"E  |
| L7         | 36.30  | S88° 27' 34"E |
| L8         | 8.00   | S1° 32' 26"W  |
| L9         | 18.10  | S88° 27' 34"E |
| L10        | 38.30  | S1° 32' 26"W  |
| L11        | 8.80   | N88° 27' 34"W |
| L12        | 10.30  | S1° 32' 26"W  |
| L13        | 9.75   | N88° 27' 34"W |
| L14        | 0.30   | N1° 32' 26"E  |
| L15        | 35.70  | N88° 27' 34"W |
| L16        | 16.00  | N1° 32' 26"E  |
| L17        | 12.70  | N88° 27' 34"W |
| L18        | 6.00   | S1° 32' 26"W  |

| Line Table |        |           |      |
|------------|--------|-----------|------|
| Line #     | Length | Direction |      |
| L19        | 7.50   | N88° 27'  | 34°W |
| L20        | 4.30   | S1° 32'   | 26°W |
| L21        | 4.80   | N88° 27'  | 34°W |
| L22        | 0.30   | N1° 32'   | 26°E |
| L1         | 24.55  | S88° 27'  | 34°E |
| L23        | 12.50  | N88° 27'  | 34°W |
| L24        | 48.30  | N1° 32'   | 26°E |

**VILLAGE DRIVE APARTMENTS  
CIVIL CONSTRUCTION DRAWINGS  
2955 VILLAGE DRIVE  
LOT A AND LOT B  
MT. OFFICE PARK SUBDIVISION**

### Horizontal Scale



**Contour Interval = 2 ft**

DATE: 3-3-2025

JOB #: 2033-004  
DRAWN BY: WNM

DESIGN BY:

**REVIEW BY:**

IF THIS DRAWING IS PRESENTED IN A  
FORMAT OTHER THAN 24" X 36", THE  
GRAPHIC SCALE SHOULD BE UTILIZED.

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