Line Table FOUND 1.5" ALUMINUM CAP, ON NO. 5 REBAR, PLS 29039-0.2 FT ABOVE GROUND Line # | Length | Direction L1 | 25.33 | S70° 29' 19"W 6.19 | S19° 30′ 41″E 12.11 | S70° 29' 19"W 10' DRAINAGE AND 7.50 N19° 30′ 41″W UTILITY EASEMENT RECEPTION NO. 795570 L5 | 30.40 | S70° 29' 19"W FILE NO. 14367 L6 | 24.48 | N19° 30′ 41″W 10' DRAINAGE AND _UTILITY EASEMENT L7 31.78 N52° 53' 58"E RECEPTION NO. 795570 9.96 | N19° 30′ 41″W FILE NO. 14367 L9 3.50 N70° 29' 19"E L10 5.00 N19° 30′ 41″W DECK-EAGLE'S VISTA SUBDIVISION 17.96 | N70° 29' 19"E L12 | 3.87 | N19° 30′ 41″W L13 | 13.88 | N70° 29' 19"E L14 | 25.71 | S19° 30′ 41″E L15 2.21 N70° 29' 19"E RECEIVING -EDGE OF ASPHALT 43.71 | S19° 30′ 41″E L16 PERVIOUS AREAS RECEPTION NO. 795570 FILE NO. 14367 L17 | 10.34 | N64° 47′ 49″E L18 | 39.32 | N25° 12' 11"W L19 | 15.03 | N64° 47′ 49″E L20 | 25.03 | S25° 12' 11"E EAGLE'S VISTA -BOULDER WALL REC NO. 795570 FILE NO. 14367 0.23 ACRES 10,039 SQ. FT. FIRE HYDRANT-GAS SERVICE MARKER FOUND 1.5" ALUMINUM CAP, ON NO. 5 REBAR, PLS 29039-FLUSH TO GROUND __EDGE OF ASPHALT -CABLE PEDESTAL CURB STOP WITH HOUSE FFE ox — ox ELEVATION = 7077.20FT SERVICE MARKERS GARAGE FFE ELEVATION = 7074.25FT CONSTRUCTION ACCESS 12" CMP CULVERT-_DRIVEWAY FOUND PK NAIL AND WASHER IN ASPHALT, PLS 29039 15' UTILITY, DRAINAGE AND SNOW REMOVAL-AND SNOW STORAGE EASEMENT FOUND 1.5" ALUMINUM CAP, ON NO. 5 REBAR, PLS 29039— FLUSH TO GROUND 15' UTILITY, DRAINAGE AND SNOW REMOVAL-AND SNOW STORAGE EASEMENT FOUND 1.5" ALUMINUM CAP, ON NO. 5 REBAR, PLS 29039— CENTURY LINK _CENTERLINE DRIVEWAY BOX BURIED 0.2 FT ABOVE GROUND ELEVATION = 7071.23 FT─24" CMP CULVERT `—EDGE OF ASPHALT

IMPROVEMENT LOCATION CERTIFICATE AND FOUNDATION LOCATION CERTIFICATE

OF LOT 1, EAGLE'S VISTA SUBDIVISION

LOCATED IN THE SW $\frac{1}{4}$ SW $\frac{1}{4}$ OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO

NOTES:

- 1. IMPROVEMENT LOCATION CERTIFICATE AND FOUNDATION LOCATION CERTIFICATE SURVEY OF LOT 1, EAGLE'S VISTA SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED AT CLERK AND RECORDER'S OFFICE, AT FILE NO. 14367, AND RECEPTION NO. 795580 ON NOVEMBER 29, 2018, COUNTY OF ROUTT, STATE OF COLORADO
- 2. FIELD SURVEYING COMPLETED MAY 21, 2024.
- 3. THIS CERTIFICATE DOES NOT CONSTITUTE A TITLE SEARCH BY FOUR POINTS SURVEYING AND ENGINEERING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS—OF—WAY, OR TITLE OF RECORD. FOUR POINTS SURVEYING AND ENGINEERING, INC. RELIED UPON THE EAGLE'S VISTA SUBDIVISION FINAL PLAT AS RECORDED AT CLERK AND RECORDER'S OFFICE, AT FILE NO. 14367, AND RECEPTION NO. 795580 ON NOVEMBER 29, 2018, COUNTY OF ROUTT, STATE OF COLORADO. NO ADDITIONAL TITLE RESEARCH WAS COMPLETED BY FOUR POINTS SURVEYING AND ENGINEERING.
- 4. LEGAL DESCRIPTION PROVIDED BY ROUTT COUNTY ASSESSOR.
- 5. LOCATES FOR UTILITIES WERE SURVEYED AS SHOWN BY FOUR POINTS SURVEYING AND ENGINEERING, INC. IN CONJUNCTION WITH THIS SURVEY. UTILITY LOCATES SHOULD BE OBTAINED PRIOR TO PERFORMING ANY WORK IN THE REFERENCED AREA.
- 6. STREET ADDRESS: 1851 RIVER QUEEN LANE, STEAMBOAT SPRINGS.
- 7. PROPERTY CORNERS FOUND AND MARKED AS SHOWN HEREON.

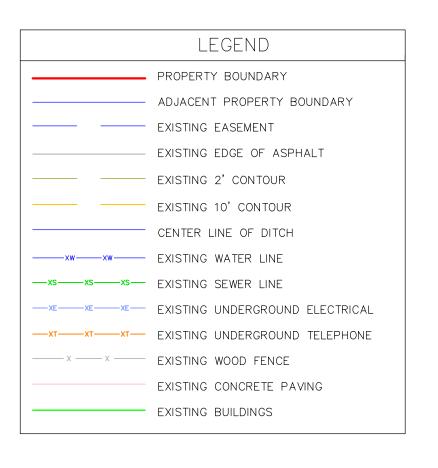
I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE AND FOUNDATION LOCATION CERTIFICATE WAS PREPARED FOR MATTHEW & HILARY BARNETT, CITY OF STEAMBOAT SPRINGS, AND SALTBOX CUSTOM HOMES AND THAT IT IS NOT A LAND SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES. THIS CERTIFICATE IS VALID ONLY FOR USE BY MMATTHEW & HILARY BARNETT, CITY OF STEAMBOAT SPRINGS, AND SALTBOX CUSTOM HOMES AND DESCRIBES THE PARCELS APPEARANCE ON MAY 21,

I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, MAY 21, 2024 EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED HEREON.

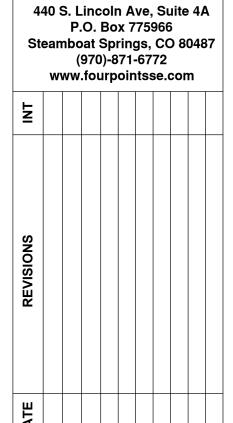
WALTER N, MAGILL, PLS 38024 PROFESSIONAL LAND SURVEYOR



Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	31.00	60.00	29.61	N33° 10′ 17"W	30.66
C2	16.10	15.00	61.50	S49° 06' 50"E	15.34
С3	86.37	161.00	30.74	N84° 46′ 25″E	85.34







SUBDIVISION
1851 RIVER QUEEN LANE
STEAMBOAT SPRINGS, CO 80

Horizontal Scale

Contour Interval = 2 ft

DATE: 5-20-2024

JOB #: 1760-019

DRAWN BY: DF

DESIGN BY:

REVIEW BY:

IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36", THE
GRAPHIC SCALE SHOULD BE UTILIZED.

IMPROVEMENT ATION CERTIFICATE ND FOUNDATION ATION CERTIFICATE

IEET #

SHEET#

1