

GENERAL NOTES AND DESIGN SPECIFICATIONS

- GENERAL NOTES:
1. EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS, BUT BECAUSE TIMBERLYNE CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.
 2. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGER SCALE OVER SMALLER SCALE.
 3. ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESIGN/BUILD FURNISHED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.
 4. ALL TIMBERS ARE FULL DIMENSION ROUGH SAWN UNLESS NOTED. SILL PLATE IS 2X TREATED UNLESS NOTED OTHERWISE. WE RECOMMEND SILL SEALER BE INSTALLED BENEATH THE SILL PLATE.
 5. WHERE FEASIBLE INSTALL THE BOLTS IN THE PLATE JOINERY SO THAT THE NUTS CAN BE ACCESSED FROM THE INTERIOR OF THE BARN. THE SIDING OR FRAMING MAY NEED TO BE NOTCHED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.
 6. VERIFY WINDOW AND DOOR ROUGH OPENINGS BEFORE FRAMING.
 7. WE RECOMMEND 1X4 BREAKER BOARD BE INSTALLED AT SIDING SPLICES. WE RECOMMEND THAT THE CONTRACTOR INSTALL 2 FLASHING @ ALL BREAKER BOARD LOCATIONS.
 8. EXTERIOR FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING IS NOT SUPPLIED BY TIMBERLYNE.
 9. ANY MATERIALS SHOWN ON THESE DRAWINGS WHICH ARE NOT WRITTEN IN YOUR CONTRACT OR INCLUDED IN THE TIMBERLYNE MATERIALS LIST ARE TO BE PROVIDED BY THE BUYER.
 10. WHERE TREATED WOOD IS CROSSCUT, NOTCHED, OR BORED ON SITE, THE EXPOSED UNTREATED WOOD SHOULD BE GIVEN TWO LIBERAL COATS OF A WOOD PRESERVATIVE SEALANT.

FOUNDATION NOTES:

1. FOUNDATION DESIGN AND ALL STRUCTURAL DETAILS ARE NOT SUPPLIED BY SAND CREEK POST & BEAM. ALL INFORMATION FOR FOUNDATION IS DESIGNED BY OTHER.

CODE: 2021 INTERNATIONAL BUILDING CODE & LOCAL CODES

LOADS
GROUND SNOW LOAD: 130 PSF
ROOF LIVE/SNOW LOAD: 101 PSF
FLOOR LIVE LOAD: 40 PSF
DECK LIVE LOAD: 60 PSF
WIND LOAD : 115 MPH (ULT) 1/2" EXPOSURE
(3 SECOND GUST)
SEISMIC DESIGN CATEGORY: C
IMPORTANCE CATEGORY: II

BUILDING ERECTION SAFETY NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

WOOD TYPE

STRUCTURAL FRAMING: DOUG FIR #1 UNO
PURLIN: DOUG FIR #1 UNO

REVISION HISTORY

REV#	DATE:	DESCRIPTION:
0.0	06/06/2024	INITIAL DRAWING CREATED
0.1	06/20/2024	ADDED FLOOR PLAN, UPDATED ROOF LINES
0.2	07/01/2024	UPDATED FLOOR PLAN AND DOORS AND WINDOWS
1.0	07/24/2024	STRUCTURAL PLANS CREATED
1.1	08/16/2024	STEP DOWN FOUNDATION, GIRDER SYSTEM BY TIMBERLYNE
2.0	08/26/2024	ENGINEERING REDLINES
2.1	09/09/2024	EXTENDED BENT #13 POST
3.0	10/04/2024	PERMITTING REDLINES
3.1	10/16/2024	MOVED AND ROTATED BUILDINGS

SYMBOLS

WOOD IN SECTION

CONCRETE IN SECTION

SAND OR GRAVEL IN SECTION

STEEL IN SECTION

BATT INSULATION IN SECTION

INSULATION NAILBASE IN SECTION

ARCH ROOF

BOARD AND BATTEN SIDING

E1

ELEVATION NUMBER

A-S300

VIEW DIRECTION OF BUILDING ELEVATION

DESCRIBES DETAIL LETTER

DESCRIBES PAGE DETAIL IS ON

1

VIEW DIRECTION OF SECTION DETAILS

2

POST CONNECTION TYPE

STANDARD ABBREVIATIONS

CONC	CONCRETE	MAX	MAXIMUM	EXT	EXTERIOR
CONT	CONTINUOUS	MIN	MINIMUM	FF	FINISHED FLOOR
DBL	DOUBLE	NIS	NOT TO SCALE	FTG	FOOTING
DF	DOUGLAS FIR	T.O.F.	TOP OF FOUNDATION	INSUL	INSULATION
EA	EACH	T.O.S.	TOP OF SUBFLOOR	INT	INTERIOR
STD	STANDARD	T&G	TONGUE & GROOVE	TYP	TYPICAL

SHEET INDEX

6000	COVER SHEET
D200	MAIN FLOOR PLAN
D201	UPPER WINDOW PLAN
	LOWER FLOOR PLAN
D300	EXTERIOR ELEVATIONS
D301	EXTERIOR ELEVATIONS
S200	FLOOR FRAMING PLAN RUSHMORE PAGES
S201	ROOF FRAMING PLAN
S202	RAFTER ATTACHMENT DETAILS
S300	BUILDING SECTIONS
S301	BUILDING SECTIONS
S400	BENT DETAILS
	PLATE JOINERY DETAILS
S401	BENT DETAILS
S500	BENT LAYOUT
S501	FRAME 150
S600	SHEAR WALL SCHEDULE
S601	UPPER & LOWER SHEAR WALL SCHEDULE
S602	STRAPPING LOCATION AND DETAIL
S100	FLOOR FRAMING PLAN STEAMBOAT PAGES
S101	ROOF FRAMING PLAN
S102	RAFTER ATTACHMENT DETAILS
S800	BUILDING SECTIONS
S801	BUILDING SECTIONS
S802	BUILDING SECTIONS
S900	BENT DETAILS
	PLATE JOINERY DETAILS
S901	BENT DETAILS
S1000	BENT LAYOUT
S1001	FRAME 150
S1100	SHEAR WALL SCHEDULE

REVIEWED
FOR
CODE
COMPLIANCE
11/15/2024

CUSTOMER INFORMATION:
DAN
MCENTEE

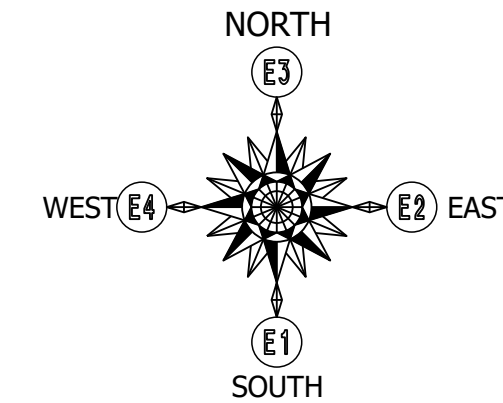
PROJECT INFORMATION:
MCENTEE GROUP
HOME
200&202 SUNDANCE CT
STEAMBOAT SPRINGS, CO 80487
NUMBER: MGR0524-1
CATEGORY: Residential
STYLE: SINGLE SLOPE
OTHER: --
OTHER: --
PM: CM

DRAWING INFORMATION:
DRAWN BY: BL
DATE: 10/16/24
STATUS: STRUCTURAL
OTHER: --
OTHER: --

SHEET NOTES

SHEET

D200



RV502.1 One- and Two-family Dwellings and Townhouses. Each dwelling unit with a dedicated attached or detached garage or other onsite designated parking provided for the dwelling unit shall be provided with one EV ready space per dwelling unit. Re: General Notes on sheet A100 for further requirements.

EV Ready space per general notes A100

EV Ready space per general notes A100

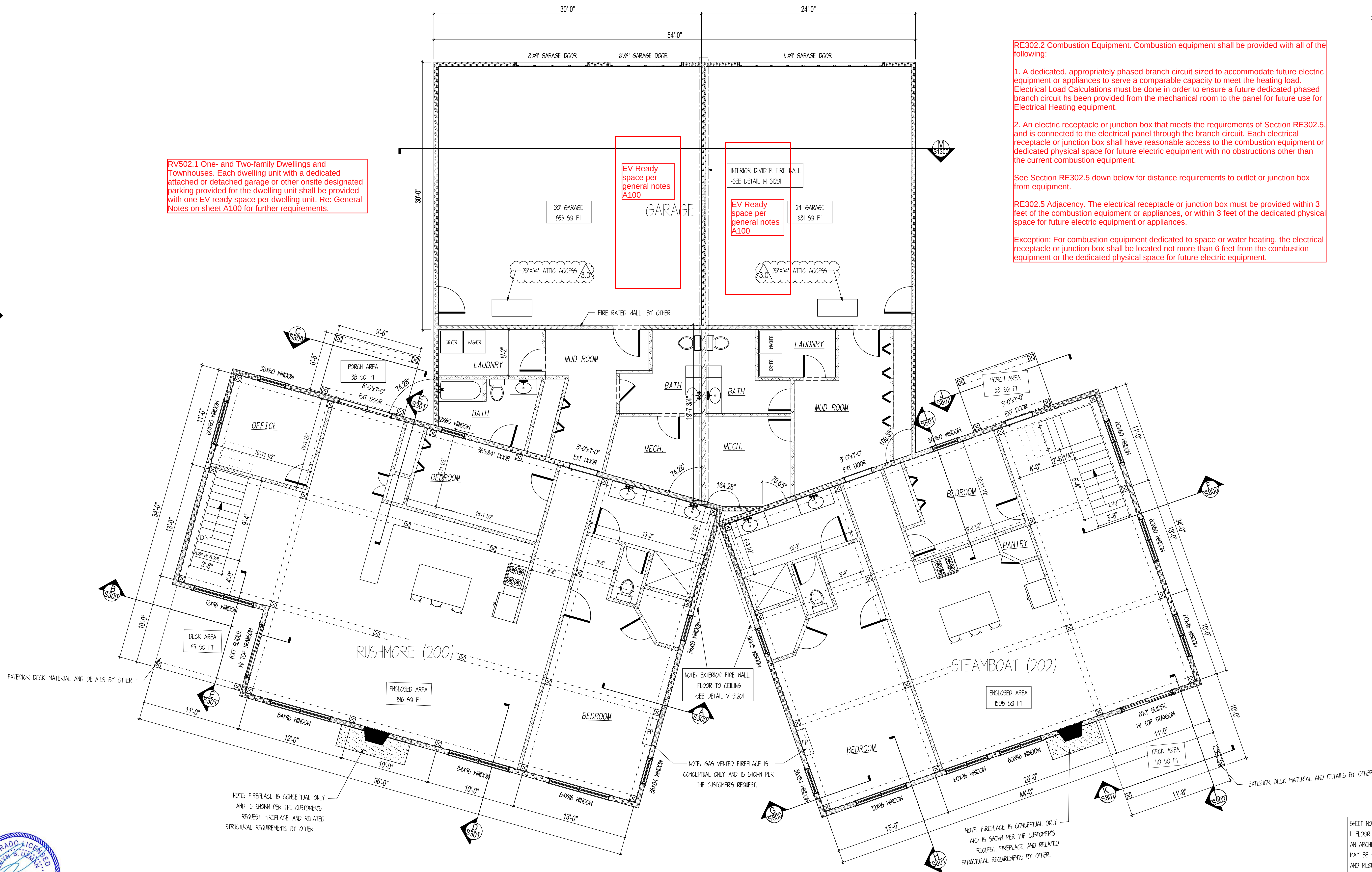
RE302.2 Combustion Equipment. Combustion equipment shall be provided with all of the following:

1. A dedicated, appropriately phased branch circuit sized to accommodate future electric equipment or appliances to serve a comparable capacity to meet the heating load. Electrical Load Calculations must be done in order to ensure a future dedicated phased branch circuit has been provided from the mechanical room to the panel for future use for Electrical Heating equipment.
2. An electric receptacle or junction box that meets the requirements of Section RE302.5, and is connected to the electrical panel through the branch circuit. Each electrical receptacle or junction box shall have reasonable access to the combustion equipment or dedicated physical space for future electric equipment with no obstructions other than the current combustion equipment.

See Section RE302.5 down below for distance requirements to outlet or junction box from equipment.

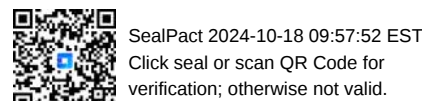
RE302.5 Adjacency. The electrical receptacle or junction box must be provided within 3 feet of the combustion equipment or appliances, or within 3 feet of the dedicated physical space for future electric equipment or appliances.

Exception: For combustion equipment dedicated to space or water heating, the electrical receptacle or junction box shall be located not more than 6 feet from the combustion equipment or the dedicated physical space for future electric equipment.



MAIN FLOOR LAYOUT

SCALE: 3/16"=1'



SHEET NOTES:
1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED BY AN ARCHITECT. ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.
2. TIMBERLYNE IS NOT RESPONSIBLE FOR DESIGNING ELECTRICAL, PLUMBING, AND HVAC PLANS.
3. INTERIOR PARTITION WALLS, WINDOWS, DOORS, AND FIXTURES ARE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.
4. DAYLIGHT OPENING, VENT OPENING, AND EGRESS REQUIREMENTS ARE THE RESPONSIBILITY OF THE CUSTOMER/GENERAL CONTRACTOR.
5. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATION TO BE DETERMINED BY THE CUSTOMER AND GENERAL CONTRACTOR.

**REVIEWED
FOR
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COMPLIANCE**
11/15/2024

CUSTOMER INFORMATION:
**DAN
MCENTEE**

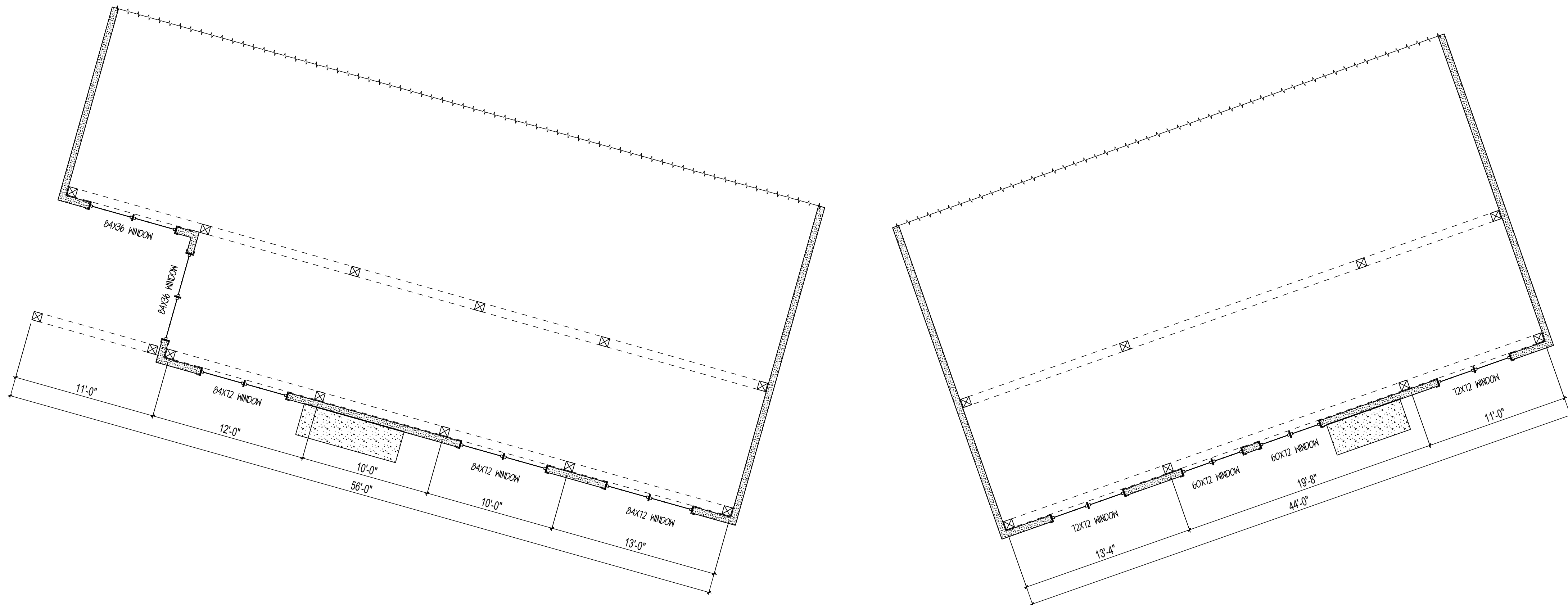
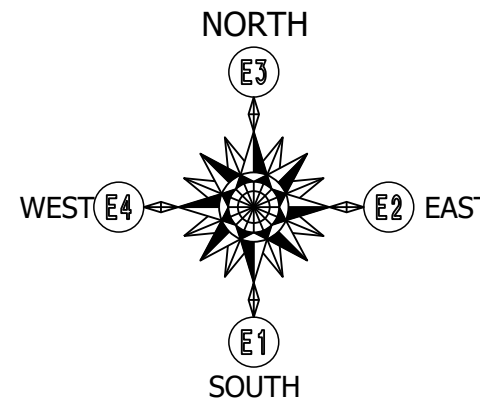
PROJECT INFORMATION:
**MCENTEE GROUP
HOME**
200&202 SUNDANCE CT
STEAMBOAT SPRINGS, CO 80487
NUMBER: MGR0524-1
CATEGORY: Residential
STYLE: SINGLE SLOPE
OTHER: --
OTHER: --
PM: CM

DRAWING INFORMATION:
DRAWN BY: BL
DATE: 10/16/24
STATUS: STRUCTURAL
OTHER: --
OTHER: --

SHEET NOTES

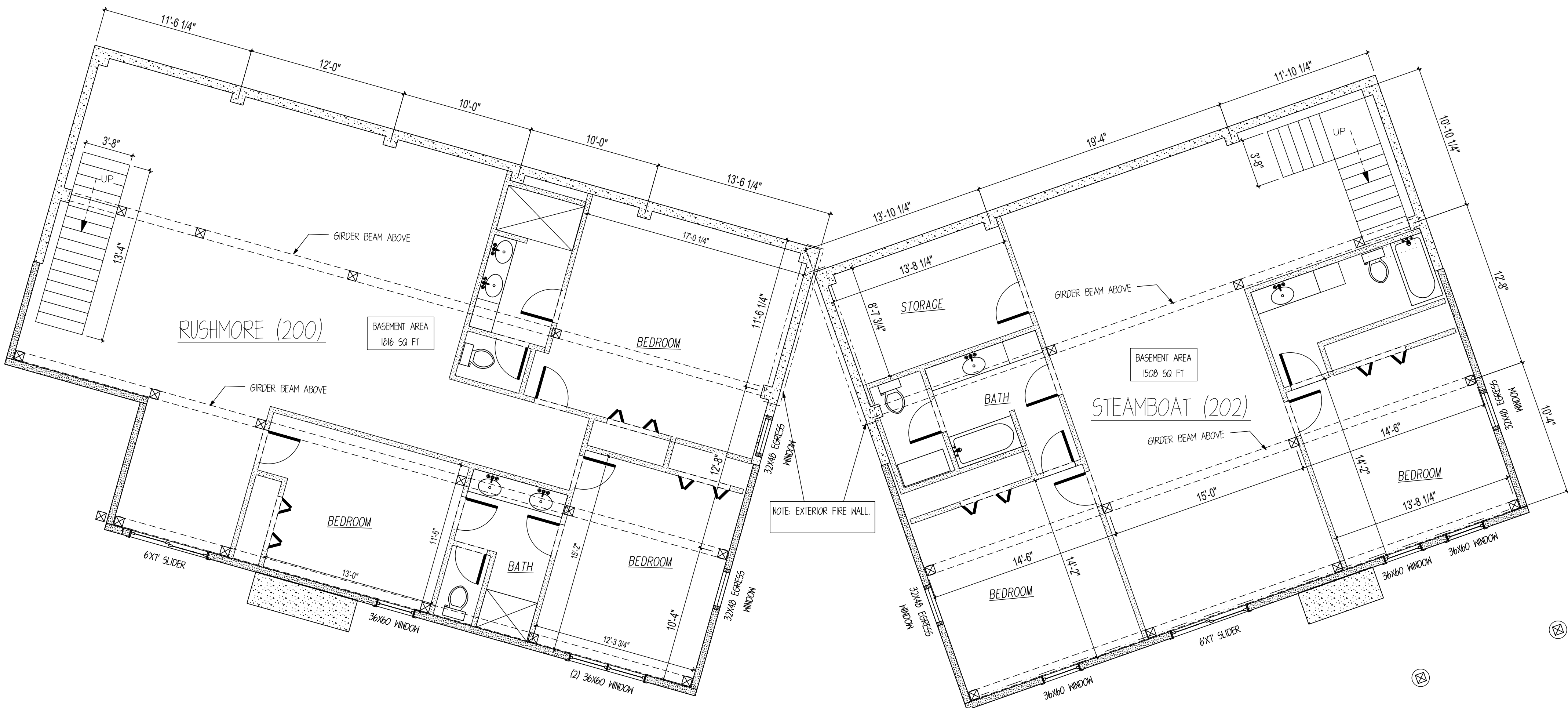
SHEET

D201



UPPER WINDOW LAYOUT

SCALE: 3/16"=1'





TIMBERLYNE

www.timberlyne.com

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888-489-1680

Texas: 613 Hwy 46 E
Boerne, TX 78006
877-680-1680

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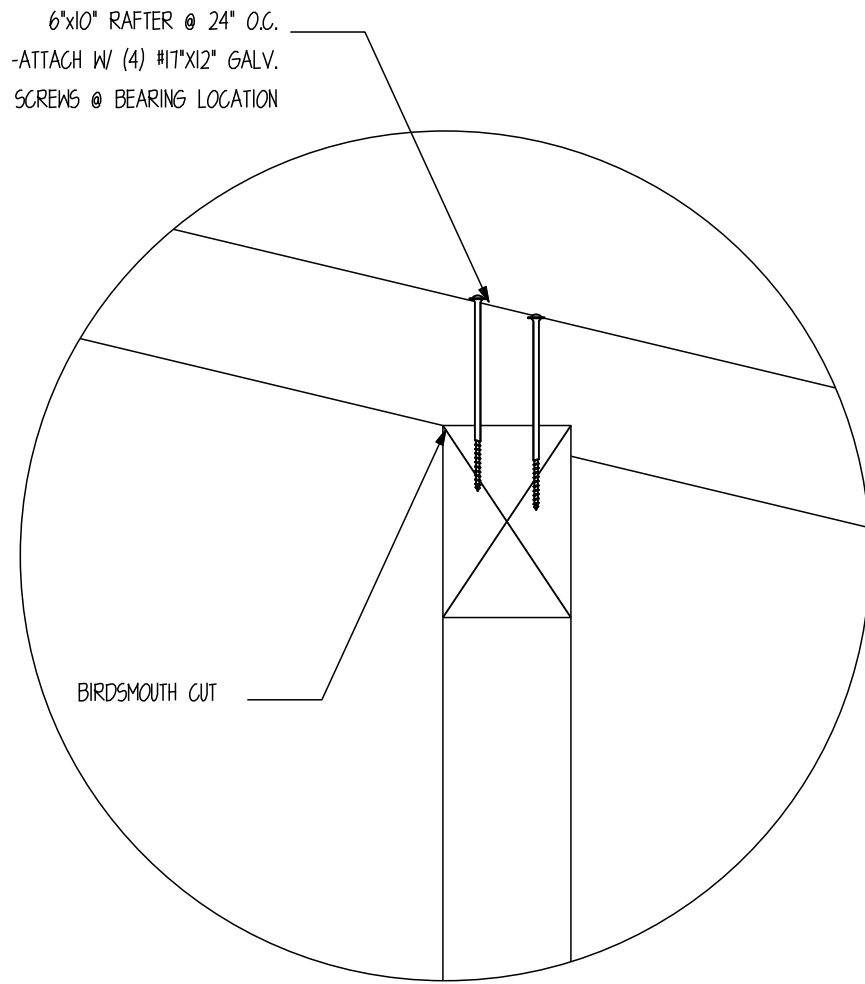
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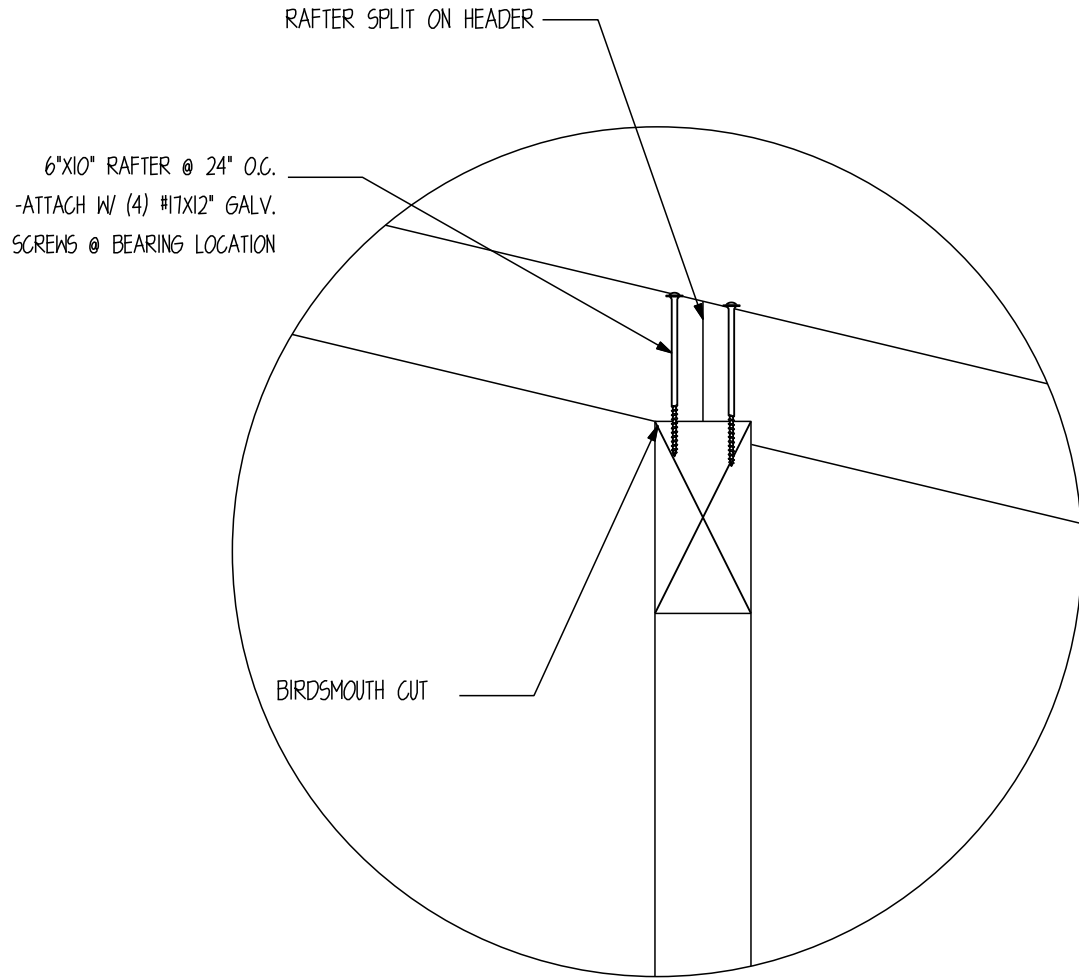
SHEET NOTES

SHEET

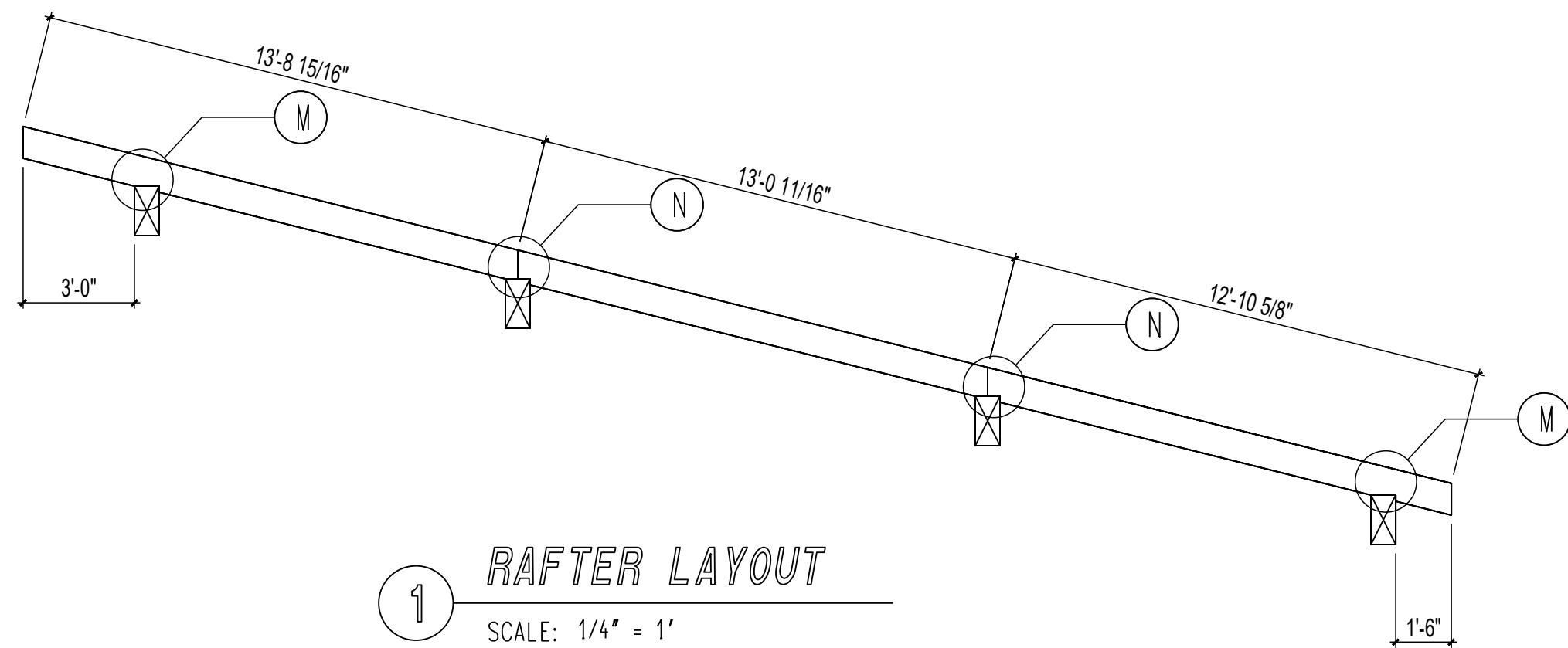
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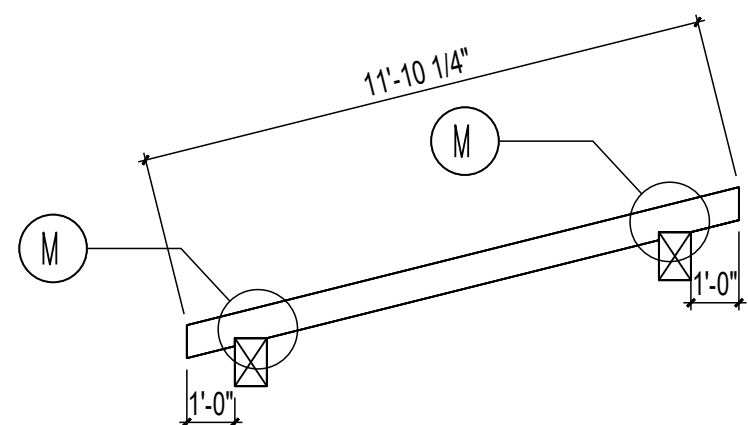
M RAFTER ATTACHMENT DETAIL
SCALE: 1" = 1'



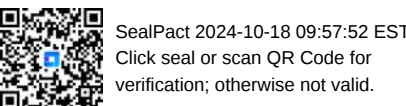
N RAFTER SPLIT ATTACHMENT DETAIL
SCALE: 1" = 1'



1 RAFTER LAYOUT
SCALE: 1/4" = 1'



2 RAFTER LAYOUT
SCALE: 1/4" = 1'



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