### GENERAL NOTES AND DESIGN SPECIFICATIONS

### GENERAL NOTES:

I. EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS, BUT BECAUSE TIMBERLYNE CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.

2. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGER SCALE OVER SMALLER SCALE.

3. ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESIGN/BUILD FURNISHED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.

4. ALL TIMBERS ARE FULL DIMENSION ROUGH SAWN UNLESS NOTED. SILL PLATE IS 2X TREATED UNLESS NOTED OTHERWISE. WE RECOMMEND SILL SEALER BE INSTALLED BENEATH THE SILL PLATE

5. WHERE FEASIBLE INSTALL THE BOLTS IN THE PLATE JOINERY SO THAT THE NUTS CAN BE ACCESSED FROM THE INTERIOR OF THE BARN. THE SIDING OR FRAMING MAY NEED TO BE NOTCHED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.

6. VERIFY WINDOW AND DOOR ROUGH OPENINGS BEFORE FRAMING.

7. WE RECOMMEND IX4 BREAKER BOARD BE INSTALLED AT SIDING SPLICES. WE RECOMMEND THAT THE CONTRACTOR INSTALL Z FLASHING @ ALL BREAKER BOARD LOCATIONS.

8. EXTERIOR FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING IS NOT SUPPLIED BY TIMBERLYNE

9. ANY MATERIALS SHOWN ON THESE DRAWINGS WHICH ARE NOT WRITTEN IN YOUR CONTRACT OR INCLUDED IN THE TIMBERLYNE MATERIALS LIST ARE TO BE PROVIDED BY THE BUYER.

10. WHERE TREATED WOOD IS CROSSCUT, NOTCHED, OR BORED ON SITE, THE EXSPOSED UNTREATED WOOD SHOULD BE GIVEN TWO LIBERAL COATS OF A WOOD PRESERVATIVE SEALANT.

### FOUNDATION NOTES:

I. FOUNDATION DESIGN AND ALL STRUCTURAL DETAILS ARE NOT SUPPLIED BY SAND CREEK POST & BEAM. ALL INFORMATION FOR FOUNDATION IS DESIGNED BY OTHER.

CODE: 2021 INTERNATIONAL BUILDING CODE & LOCAL CODES

GROUND SNOW LOAD: 130 PSF ROOF LIVE/SNOW LOAD= IOI PSF FLOOR LIVE LOAD= 40 PSF DECK LIVE LOAD- 60 PSF WIND LOAD = 115 MPH (ULT) "C" EXPOSURE

(3 SECOND GUST) SEISMIC DESIGN CATEGORY: C IMPORTANCE CATEGORY: II

BUILDING ERECTION SAFETY NOTES:

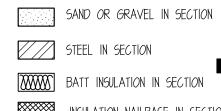
THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

STRUCTURAL FRAMING: DOUG FIR #1 U.N.O PURLIN: DOUG FIR #1 U.N.O

REVISIC	N HISTORY	
REV.#	DATE:	DESCRIPTION:
0.0	06/06/2024	INITIAL DRAWING CREATED
0.1	06/20/2024	ADDED FLOOR PLAN, UPDATED ROOF LINES
0.2	01/01/2024	UPDATED FLOOR PLAN AND DOORS AND WINDOWS
1.0	07/29/2024	STRUCTURAL PLANS CREATED
[,]	08/16/2024	STEP DOWN FOUNDATION, GIRDER SYSTEM BY TIMBERLYNE
2.0	08/26/2024	ENGINEERING REDLINES
2.1	09/09/2024	EXTENDED BENT #13 POST
\(\frac{3.0}{3.0}\)	10/04/2024	PERMITTING REDLINES 300
3,1	10/16/2024	MOVED AND ROTATED BUILDINGS

### SYMBOLS





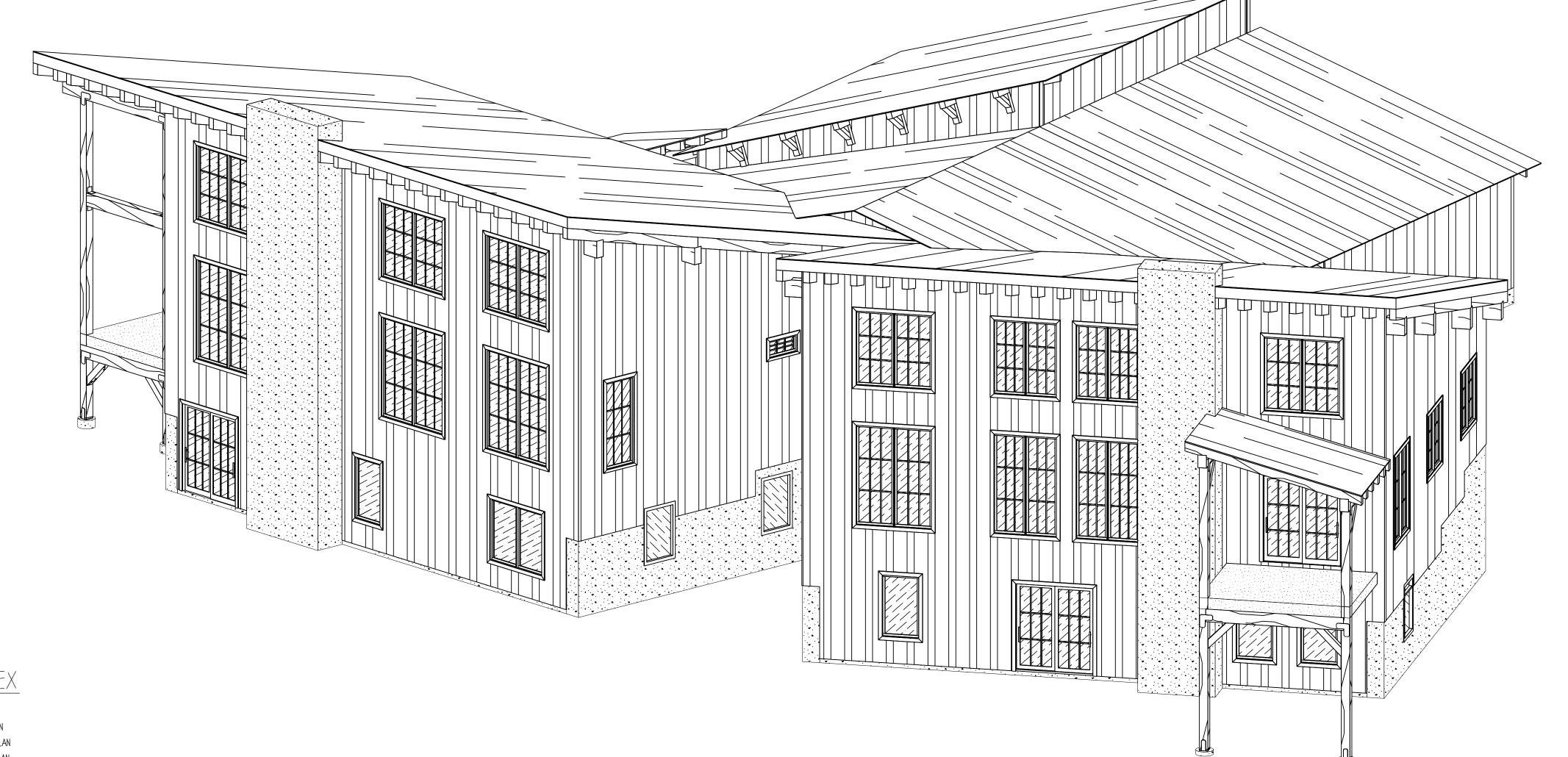
INSULATION NAILBASE IN SECTION ARCH ROOF BOARD AND BATTEN SIDING

BUILDING ELEVATION - DESCRIBES DETAIL VIEW DIRECTION OF SECTION DETAILS

- VIEW DIRECTION OF

### POST CONNECTION TYPE STANDARD ABBREVIATIONS

					-
CONC	CONCRETE	MAX	MAXIMUM	EXT	EXTERIOR
CONT	CONTINUOUS	MIN	MINIMUM	FF	FINISHED FLOOR
DBL	DOUBLE	NTS	NOT TO SCALE	FTG	FOOTING
DF	DOUGLAS FIR	T.O.F.	TOP OF FOUNDATION	INSUL	INSULATION
EA	EACH	T.O.S.	TOP OF SUBFLOOR	INT	INTERIOR
STD	STANDARD	T&6	TONGUE & GROOVE	TYP	TYPICAL



6000 COVER SHEET

D200 MAIN FLOOR PLAN D201 UPPER WINDOW PLAN

LOWER FLOOR PLAN

D300 EXTERIOR ELEVATIONS

D301 EXTERIOR ELEVATIONS

5200 FLOOR FRAMING PLAN RUSHMORE PAGES

5201 ROOF FRAMING PLAN

S202 RAFTER ATTACHMENT DETAILS

5300 BUILDING SECTIONS

5301 BUILDING SECTIONS

5400 BENT DETAILS

PLATE JOINERY DETAILS

5401 BENT DETAILS 5500 BENT LAYOUT

5501 FRAME ISO

S600 SHEAR WALL SCHEDULE

5601 UPPER & LOWER SHEAR WALL SCHEDULE S602 STAPPING LOCATION AND DETAIL

STEAMBOAT PAGES 5700 FLOOR FRAMING PLAN

S701 ROOF FRAMING PLAN

5702 RAFTER ATTACHMENT DETAILS 5800 BUILDING SECTIONS

5801 BUILDING SECTIONS

S802 BUILDING SECTIONS

5900 BENT DETAILS PLATE JOINERY DETAILS

5901 BENT DETAILS

SIOOO BENT LAYOUT SIOOI FRAME ISO

SIIOO SHEAR WALL SCHEDULE SIIOI UPPER & LOWER SHEAR WALL SCHEDULE

SIIO2 STRAPPING LOCATION AND DETAIL

SI200 BUILDING DETAILS

SI20I FLASHING DETAILS

SI300 GARAGE SECTION

AIOO ARCHITECTURAL NOTES

SI30I GARAGE SHEAR WALL LAYOUT

LIST BELOW ARE ITEMS SHOWN IN

## DRAWINGS BUT ARE NOT PROVIDED BY TIMBERLYNE

- FINISHED ROOFING MATERIAL

- FLASHING MATERIAL

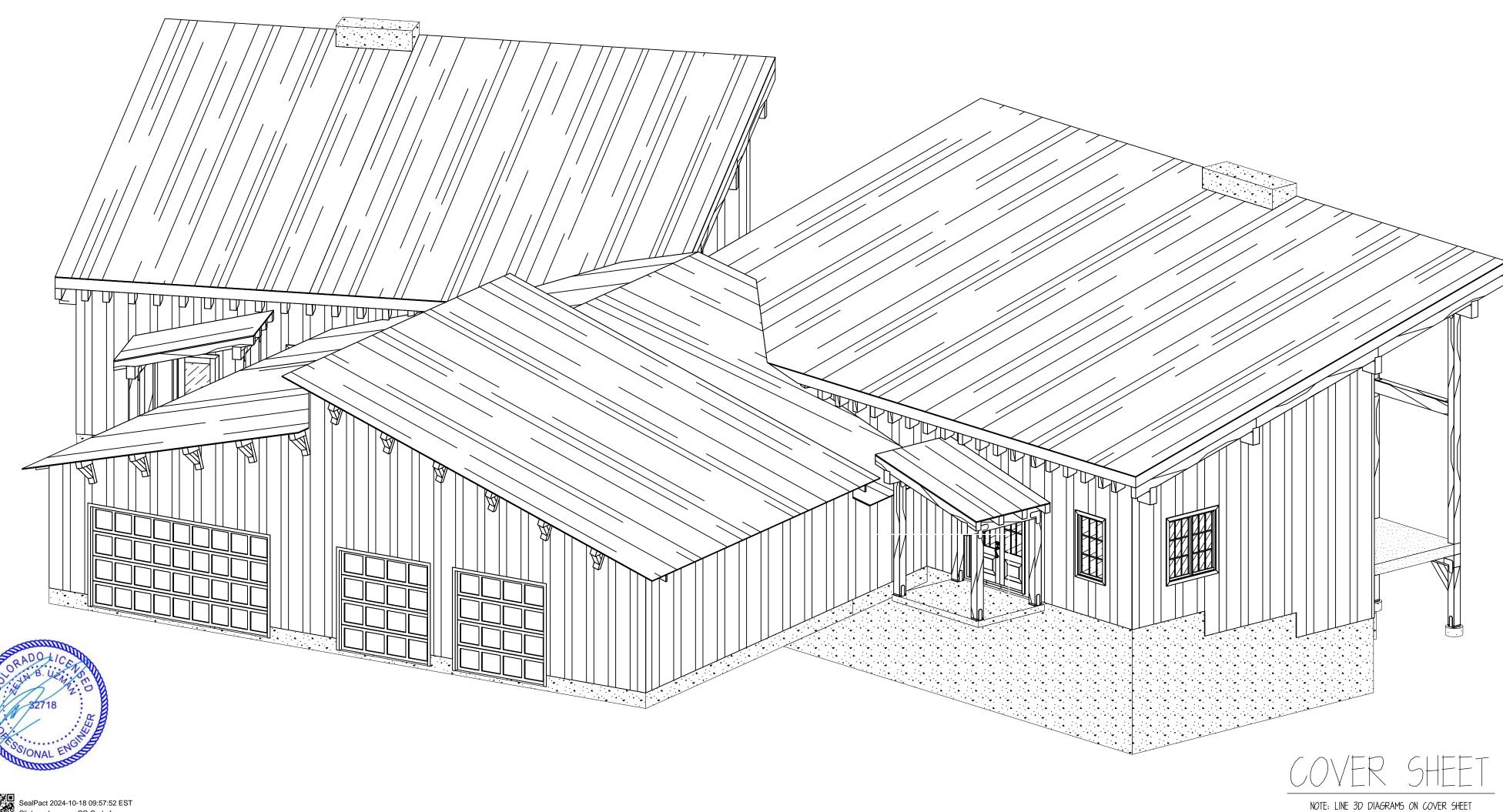
- INTERIOR FINISH - WALL INSULATION

- FLOOR SYSTEM

- ROOF INSULATION, OSB, AND UNDERLAYMENT

- EXTERIOR DECK MATERIAL - ALL MATERIAL AND TRUSS FOR GARAGE AREA (EXCEPT SIDING)

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www.timberlyne.com

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REVIEWED **FOR** CODE COMPLIANCE 11/15/2024

CUSTOMER INFORMATION:

DAN **MCENTEE** 

MCENTEE GROUP

HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

PM: CM

OTHER: --

DRAWING INFORMATION:

DRAWN BY: BL

STATUS: STRUCTURAL

DATE: 10/16/24

OTHER: --OTHER: --

SHEET NOTES

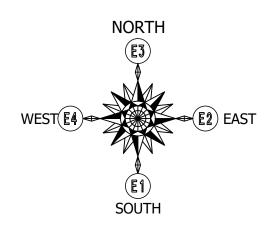
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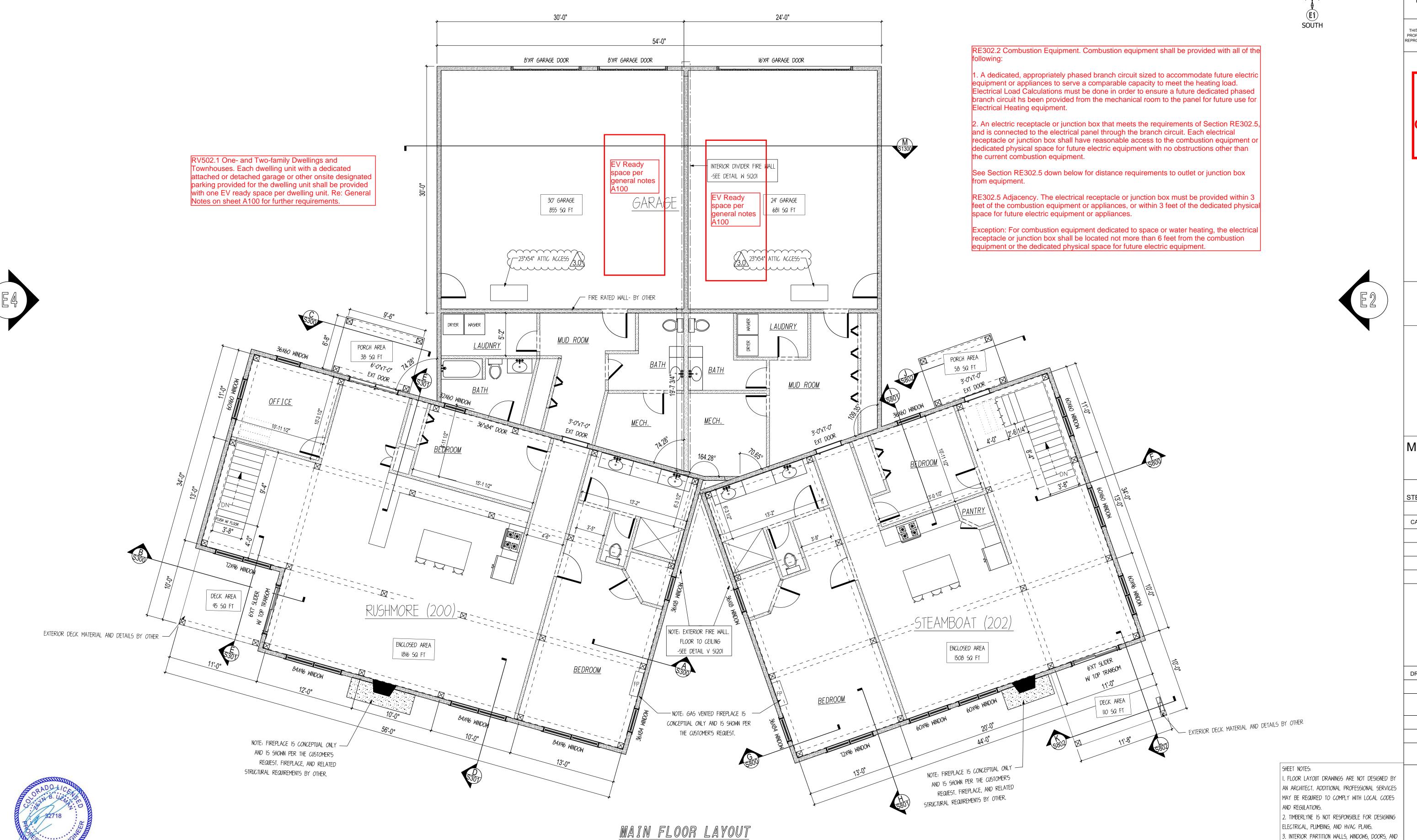
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( SHEET #1 ) ARE REPRESENTATIONAL ONLY AND ARE

NOT INTENDED FOR USE AS CONSTRUCTION DRAWINGS







SCALE: 3/16"=1'

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CUSTOMER INFORMATION:

MCENTEE

PROJECT INFORMATION:

MCENTEE GROUP
HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

OTHER: --

PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

DATE: 10/16/24

STATUS: STRUCTURAL

TITTOO. OTTOOTOTULE

OTHER: --

OTHER: --

SHEET NOTES

3. INTERIOR PARTITION WALLS, WINDOWS, DOORS, AND FIXTURES ARE PROVIDED BY CUSTOMER OR GENERAL

4. DAYLIGHT OPENING, VENT OPENING, AND EGRESS

REQUIREMENTS ARE THE RESPONSIBILITY OF THE

5. DOOR AND WINDOW LOCATIONS ARE APPROX.
ONLY. EXACT LOCATION TO BE DETERMINED BY THE

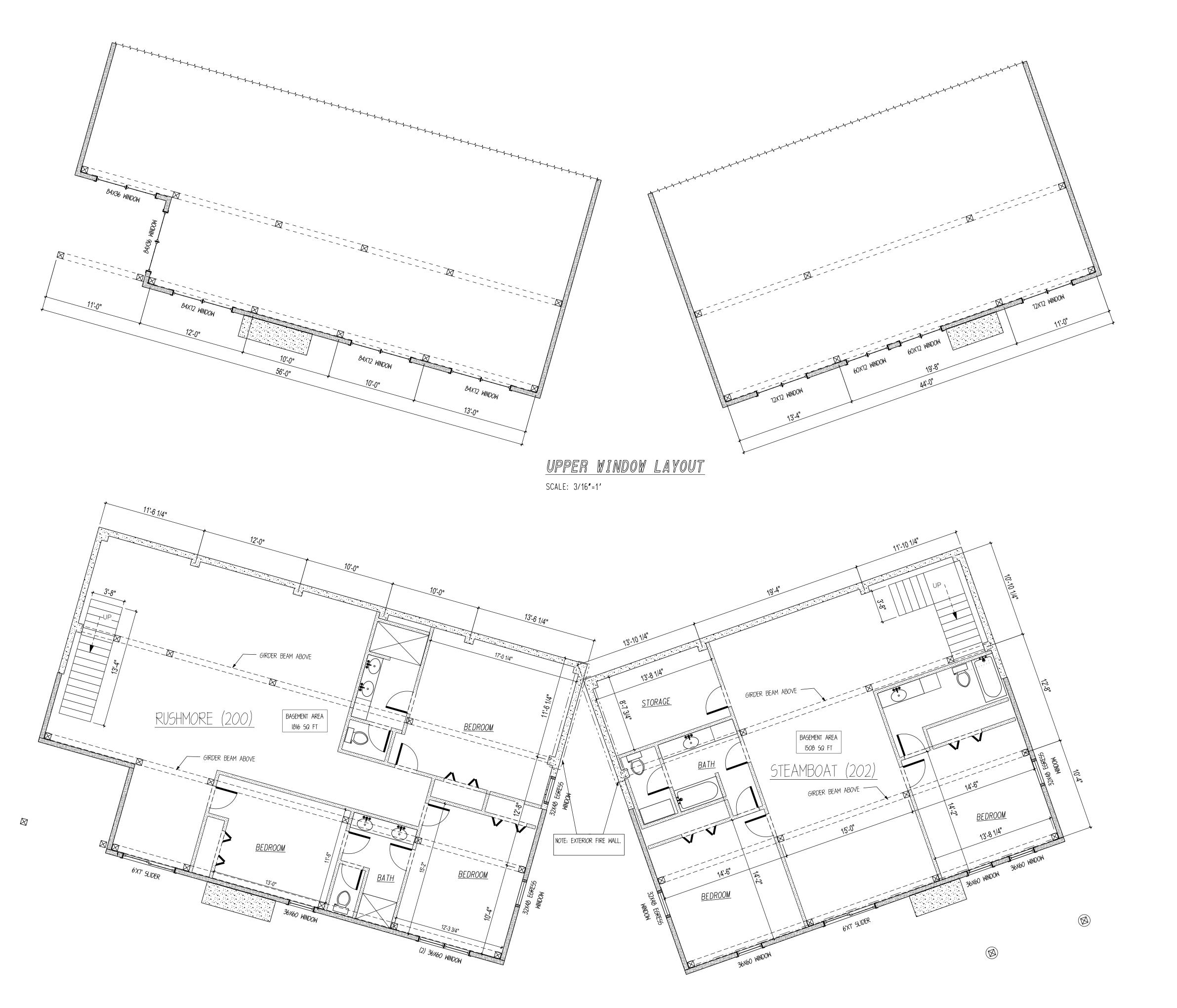
CUSTOMER/GENERAL CONTRACTOR.

CUSTOMER AND GENERAL CONTRACTOR.

CONTRACTOR.

SHEET

D200







SCALE: 3/16"=1'



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CUSTOMER INFORMATION:

DAN MCENTEE

# MCENTEE GROUP

HOME 200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential STYLE: SINGLE SLOPE

OTHER: --

OTHER: --

PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

STATUS: STRUCTURAL

DATE: 10/16/24

OTHER: --OTHER: --

SHEET NOTES

2. TIMBERLYNE IS NOT RESPONSIBLE FOR DESIGNING ELECTRICAL, PLUMBING, AND HVAC PLANS.

3. INTERIOR PARTITION WALLS, WINDOWS, DOORS, AND FIXTURES ARE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. 4. DAYLIGHT OPENING, VENT OPENING, AND EGRESS

I. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED BY AN ARCHITECT. ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES

REQUIREMENTS ARE THE RESPONSIBILITY OF THE CUSTOMER/GENERAL CONTRACTOR. 5. DOOR AND WINDOW LOCATIONS ARE APPROX.

ONLY. EXACT LOCATION TO BE DETERMINED BY THE

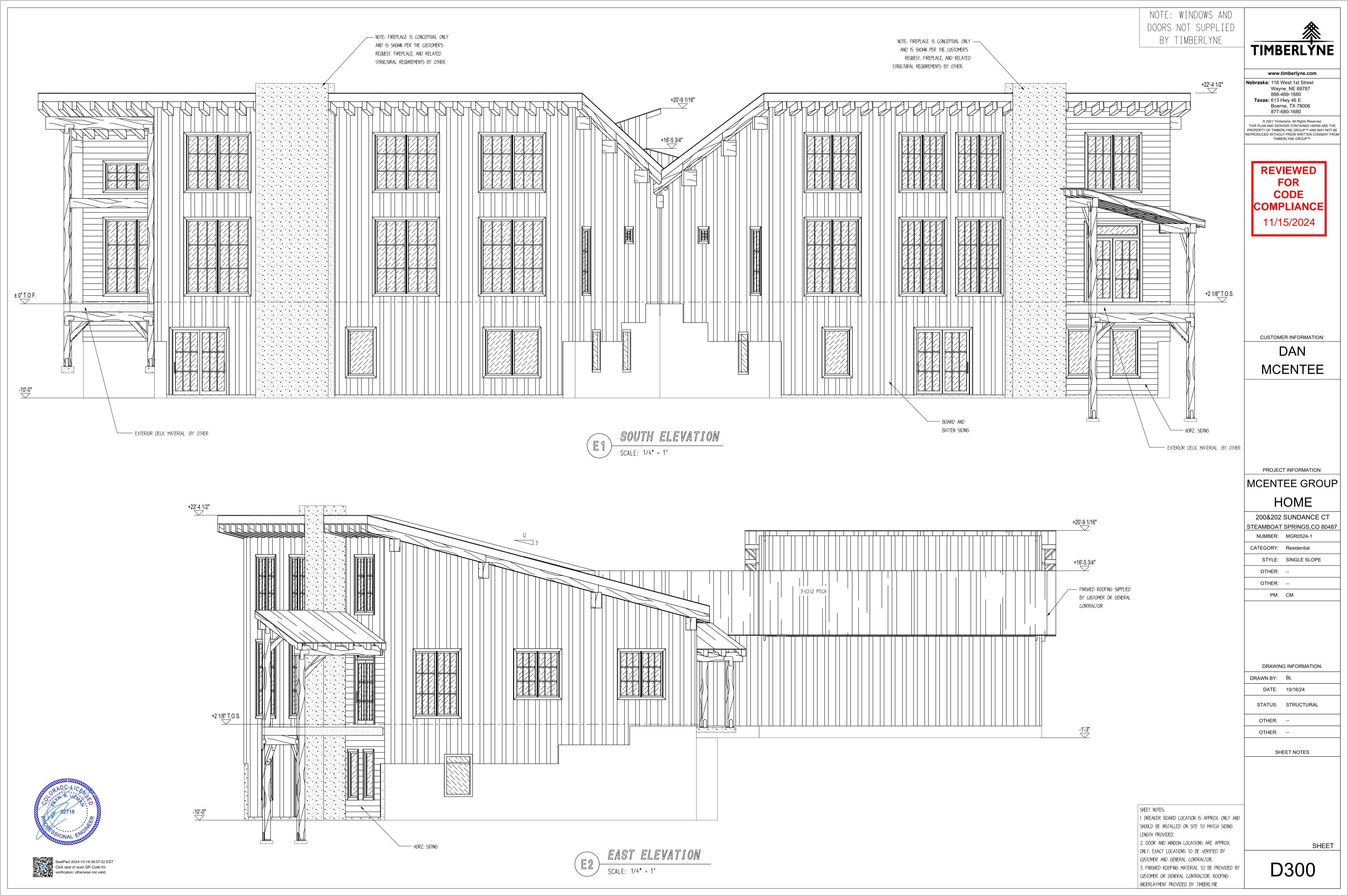
CUSTOMER AND GENERAL CONTRACTOR.

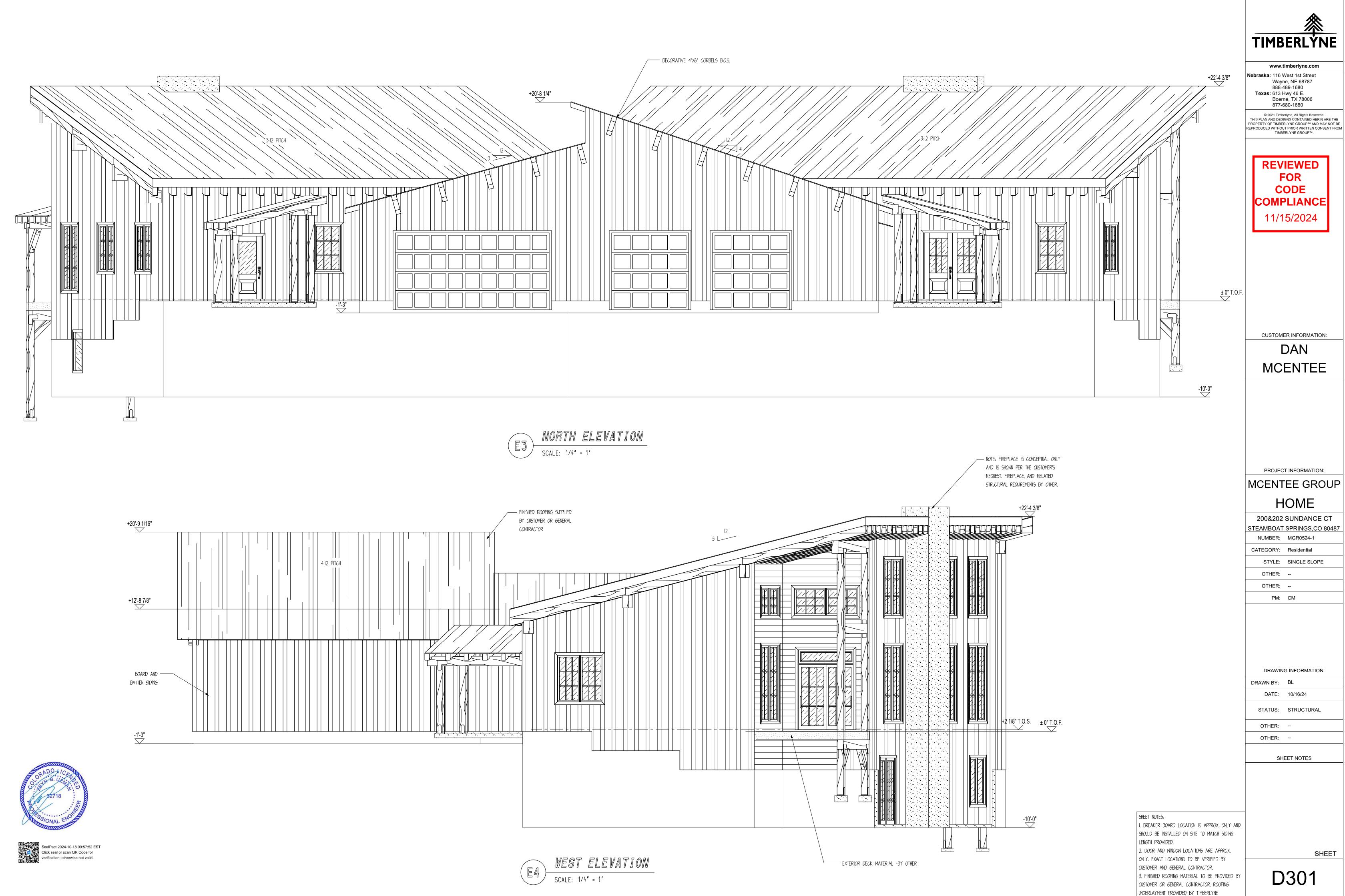
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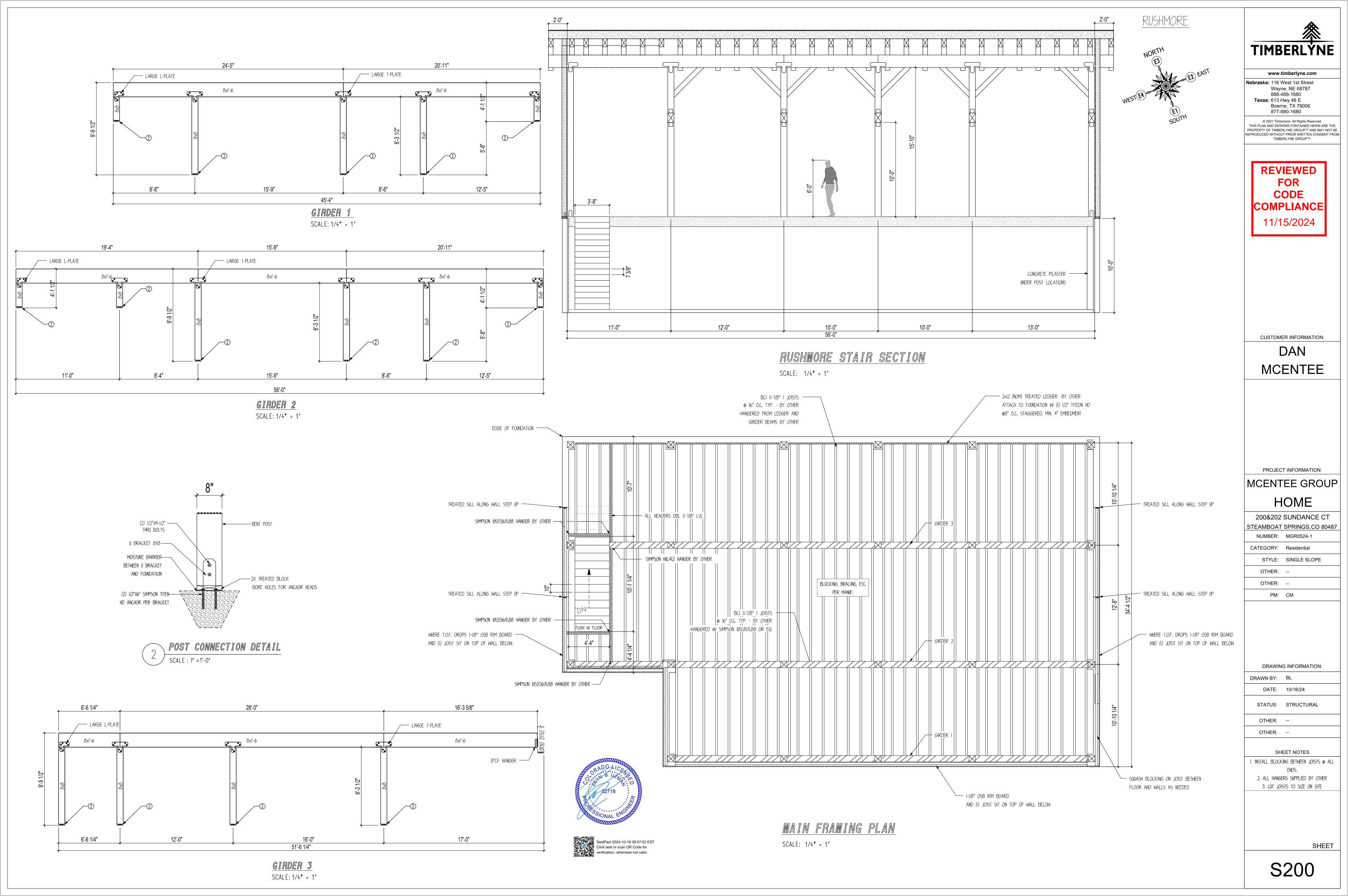
AND REGULATIONS.

SHEET

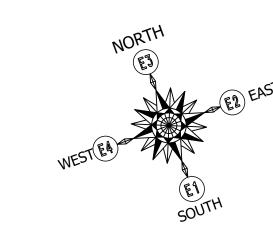
D201













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REVIEWED FOR CODE COMPLIANCE 11/15/2024

CUSTOMER INFORMATION:

DAN MCENTEE

PROJECT INFORMATION:

# MCENTEE GROUP

HOME
200&202 SUNDANCE CT

STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

STATUS: STRUCTURAL

DATE: 10/16/24

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OTHER: --

OTHER:

SHEET NOTES

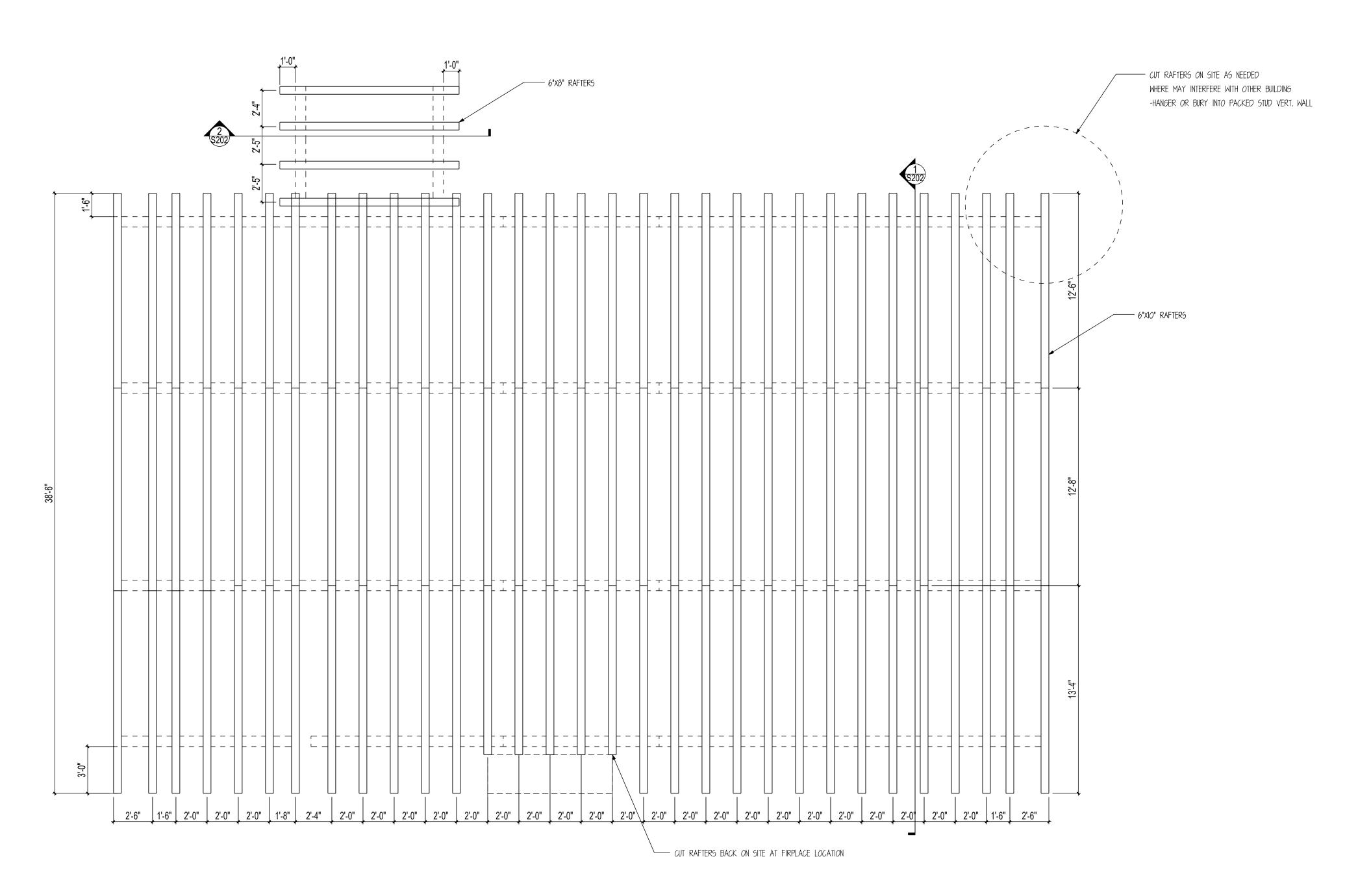
I. INSTALL BLOCKING BETWEEN JOISTS @ ALL ENDS.

2. ALL HANGERS SUPPLIED BY OTHER

3. CUT JOISTS TO SIZE ON SITE

SHEET

S201



## ROOF FRAMING PLAN

SCALE: 1/4" = 1'





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CUSTOMER INFORMATION:

DAN MCENTEE

PROJECT INFORMATION:

MCENTEE GROUP

HOME
200&202 SUNDANCE CT
STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

OTHER: --PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

DATE: 10/16/24

STATUS: STRUCTURAL

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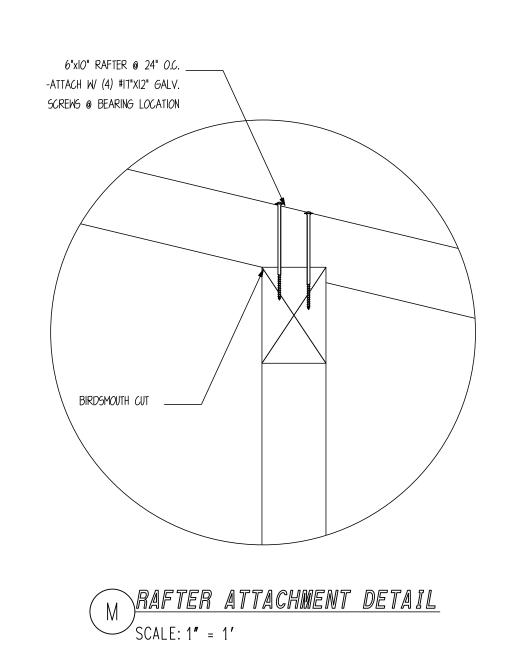
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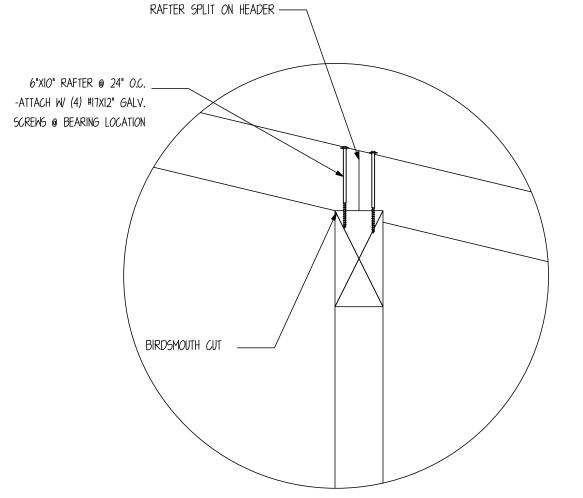
OTHER: --

SHEET NOTES

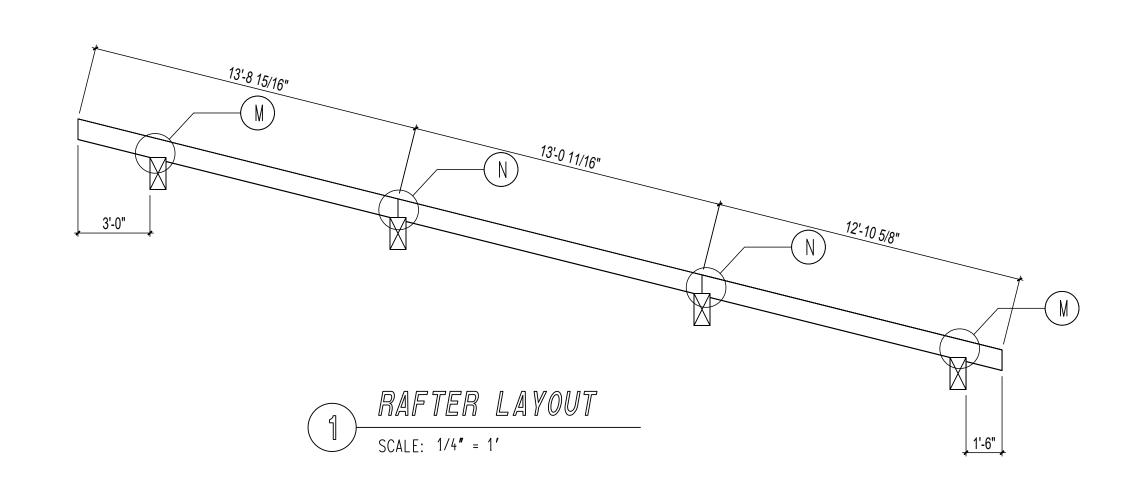
SHEET

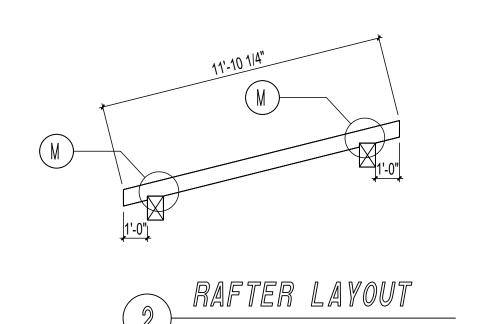
S202





N RAFTER SPLIT ATTACHMENT DETAIL









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REVIEWED FOR CODE COMPLIANCE 11/15/2024

CUSTOMER INFORMATION:

DAN MCENTEE

MCENTEE GROUP

HOME

200&202 SUNDANCE CT
STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

STYLE: SINGLE SLOPE
OTHER: --

OTHER: -PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

DATE: 10/16/24

STATUS: STRUCTURAL

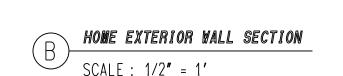
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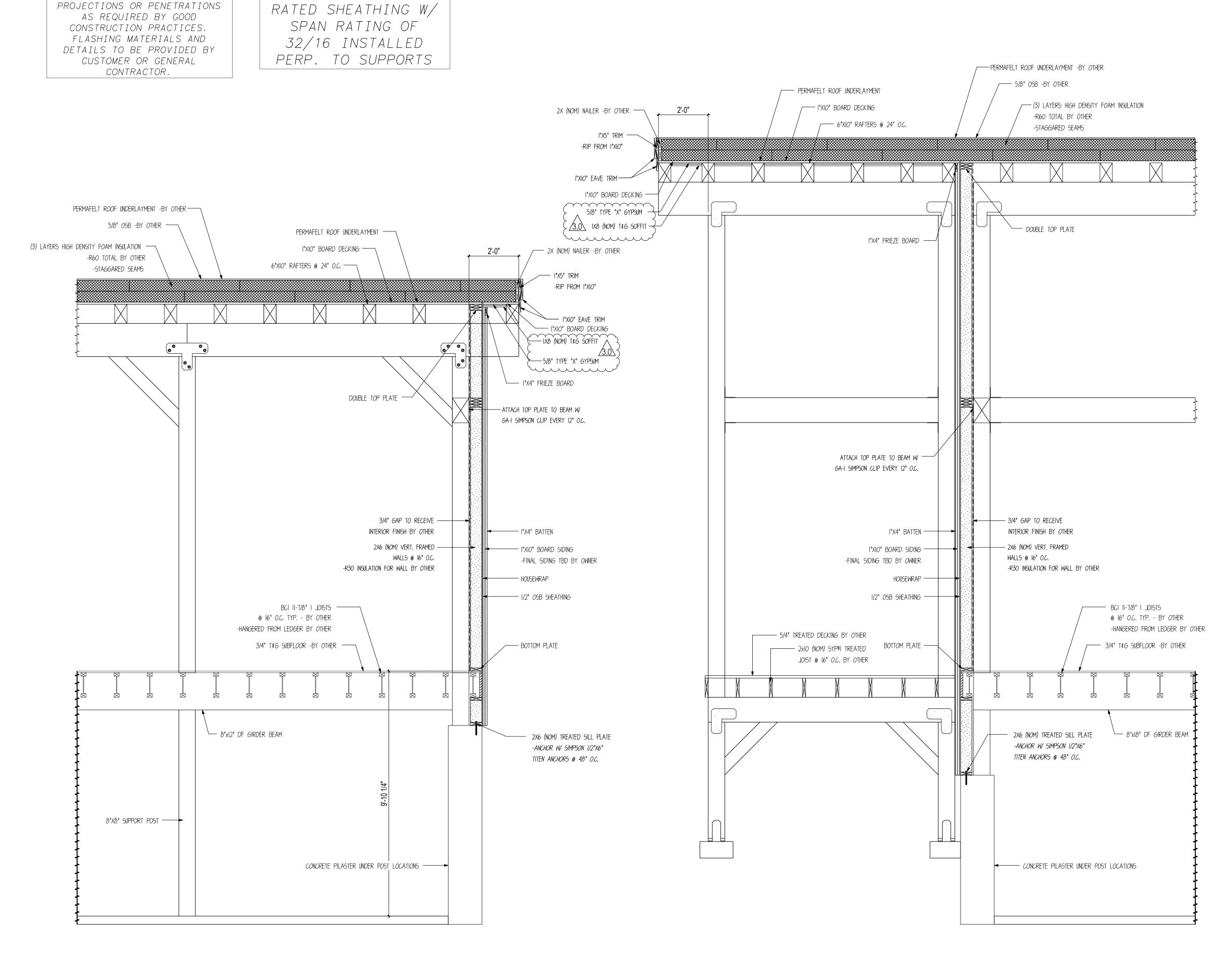
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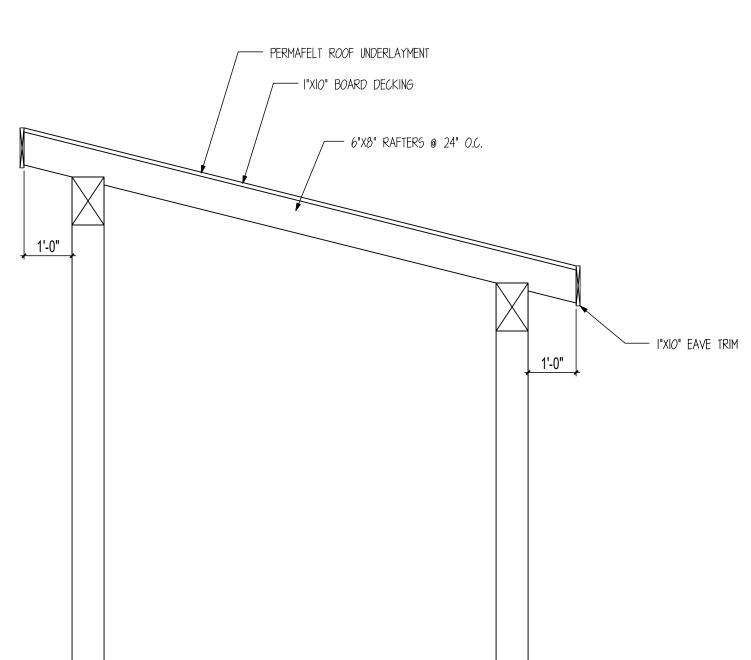
SHEET NOTES

SHEET

S300







COVERED ENTRY SECTION

SCALE: 1/2" = 1'

82718

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HOWE EXTERIOR WALL SECTION

SCALE: 1/2" = 1'

NOTE: EXTERIOR FLASHING TO BE

INSTALLED AT ALL CONNECTIONS

BETWEEN ROOFS, WALLS, AND

NOTE: ALL OSB

SHEATHING TO BE APA

NOTE: ALL OSB SHEATHING TO BE APA RATED SHEATHING W/ SPAN RATING OF 32/16 INSTALLED

NOTE: EXTERIOR FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING MATERIALS AND DETAILS TO BE PROVIDED BY CUSTOMER OR GENERAL

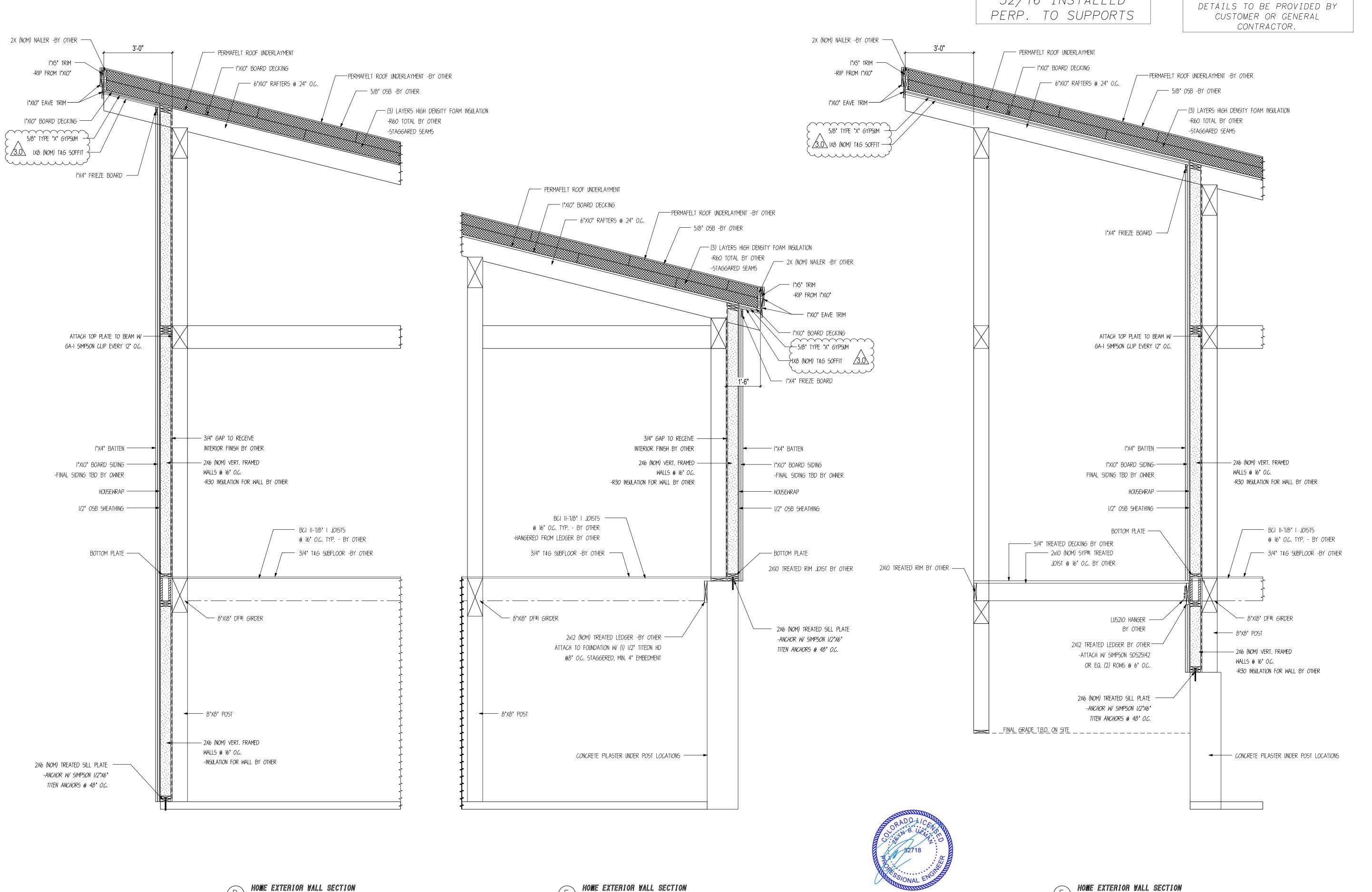
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> DRAWING INFORMATION: DRAWN BY: BL DATE: 10/16/24 STATUS: STRUCTURAL OTHER: --OTHER: --

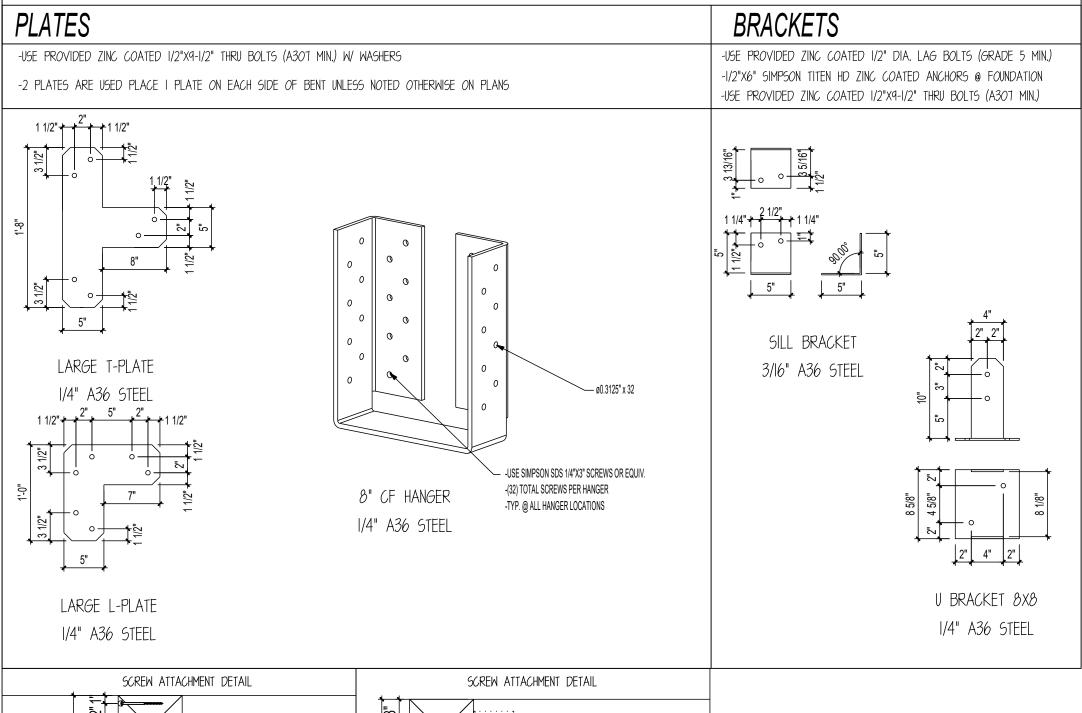
SHEET NOTES

SHEET

S301



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TOP VIEW

/— (2) 8" PURLIN SCREWS

-IN SAME PLANE

-2" BETWEEN SCREWS

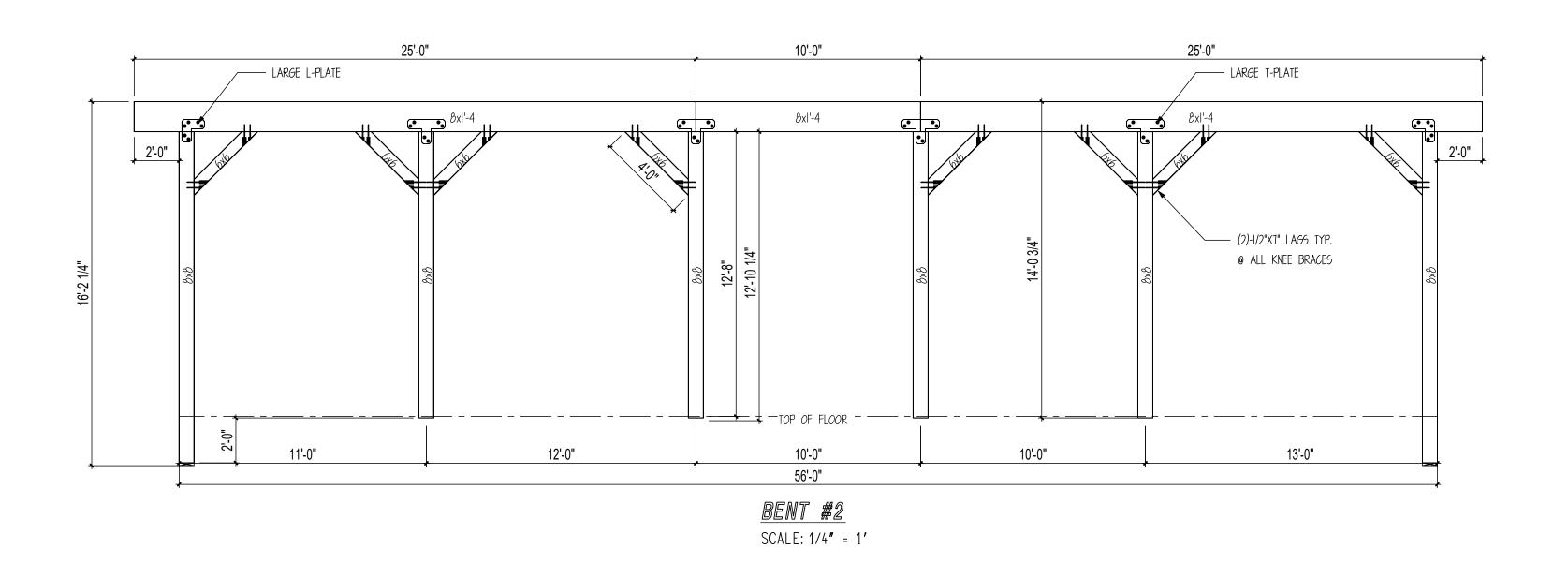
LEAN-TO TIE BEAM

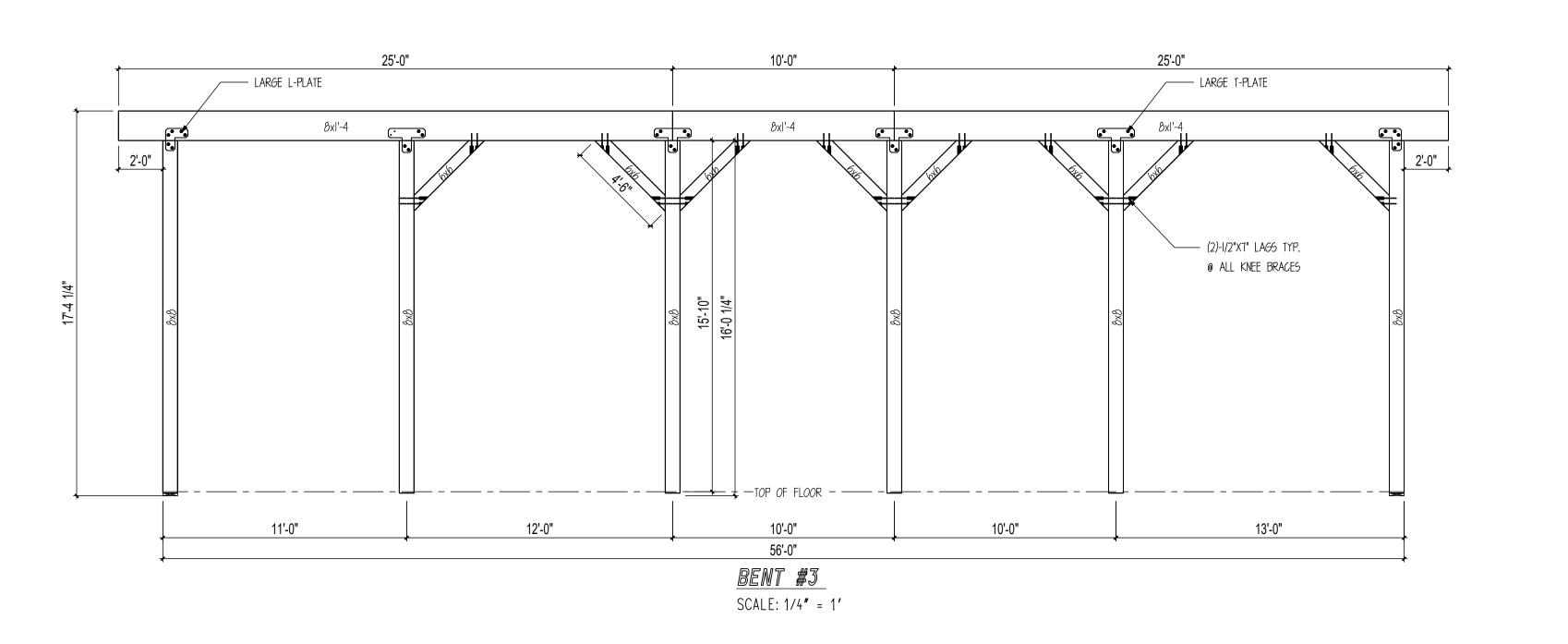
- SILL BRACKET

8" PURLIN SCREWS (CONSTRUCTION LAG SCREW) THREAD DIA: #17 OR .310 HEAD DIA: 11/16" SHANK DIA: .226 RECESS SIZE: T40

10" PURLIN SCREWS (CONSTRUCTION LAG SCREW) THREAD DIA: #17 OR .310 HEAD DIA: 11/16" SHANK DIA: .226 RECESS SIZE: T40

10'-0" 25'-0" 25'-0" / (6) 8" PURLIN SCREWS (4) 8" PURLIN SCREWS 8x1′-4 2'-0" SILL BRACKET W/ (4) 3" LAGS — (2)-1/2"X7" LAGS TYP. @ ALL KNEE BRACES 12'-0" 10'-0" 11'-0" 10'-0" 13'-0" 56'-0" BENT #1 SCALE: 1/4" = 1'







STANDARD STEEL JOINERY

TOP VIEW

— (4) 8" PURLIN

TIE BEAM OR COLLAR TIE



TIMBERLÝNE WHERE MAY INTERFERE WITH OTHER BUILDING

> www.timberlyne.com Nebraska: 116 West 1st Street Wayne, NE 68787 888-489-1680

- CUT BEAM ON SITE AS NEEDED

Texas: 613 Hwy 46 E. Boerne, TX 78006 877-680-1680

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REVIEWED **FOR** CODE COMPLIANCE 11/15/2024

CUSTOMER INFORMATION: DAN

**MCENTEE** 

PROJECT INFORMATION:

MCENTEE GROUP HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential STYLE: SINGLE SLOPE

OTHER: --

OTHER: --PM: CM

DRAWING INFORMATION:

DRAWN BY: BL DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: --OTHER: --

SHEET NOTES

I. BASE OF MAIN FRAME POST CUT TO FIT IN FIELD BY GENERAL CONTRACTOR ACCORDING TO SPECS ON CUT LISTS. CUT BOTTOM OF POST ONLY.

SHEET

- BENT TIE BEAM

POST CONNECTION DETAIL



Nebraska: 116 West 1st Street Wayne, NE 68787 888-489-1680 **Texas:** 613 Hwy 46 E. Boerne, TX 78006 877-680-1680

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REVIEWED **FOR** CODE COMPLIANCE 11/15/2024

CUSTOMER INFORMATION:

DAN **MCENTEE** 

## PROJECT INFORMATION: MCENTEE GROUP

HOME 200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1 CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --OTHER: --

PM: CM

DRAWING INFORMATION:

DRAWN BY: BL DATE: 10/16/24

STATUS: STRUCTURAL

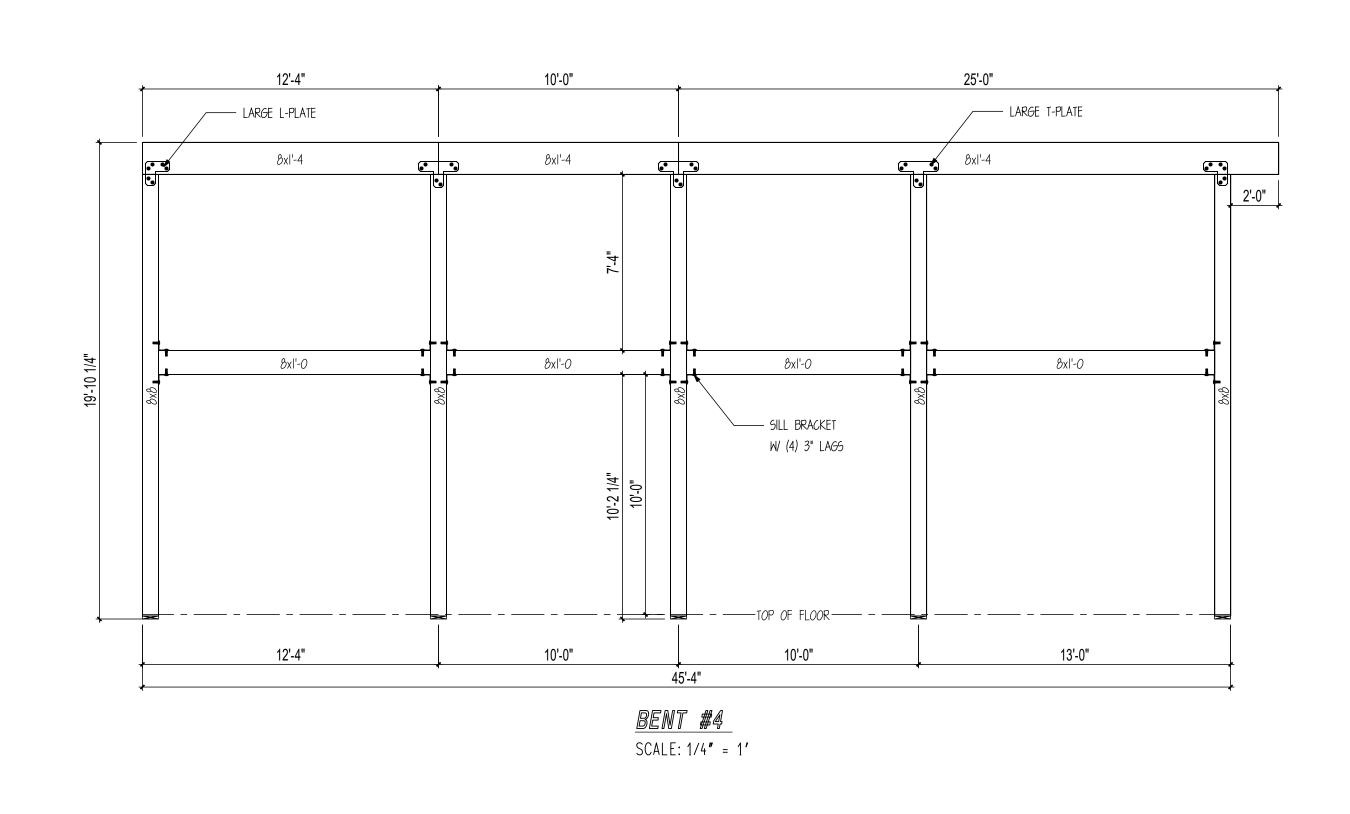
OTHER: --OTHER: --

SHEET NOTES

I. BASE OF MAIN FRAME POST CUT TO FIT IN FIELD BY GENERAL CONTRACTOR ACCORDING TO SPECS ON CUT LISTS. CUT BOTTOM OF POST ONLY.

SHEET

S401

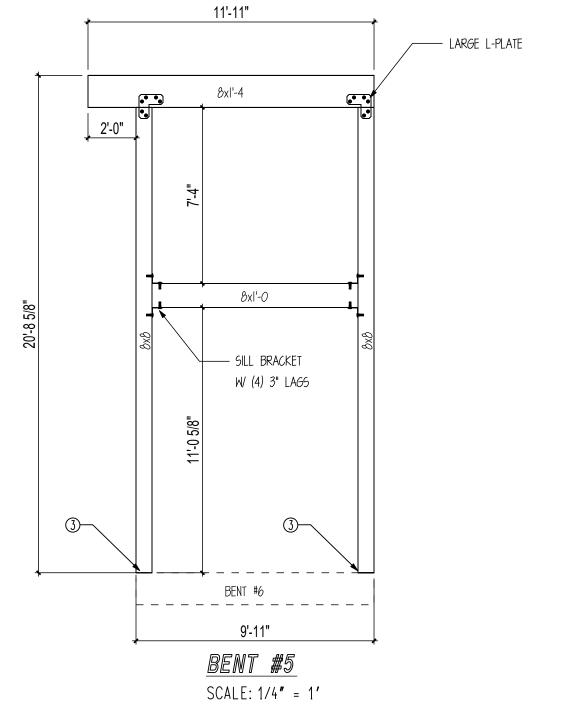


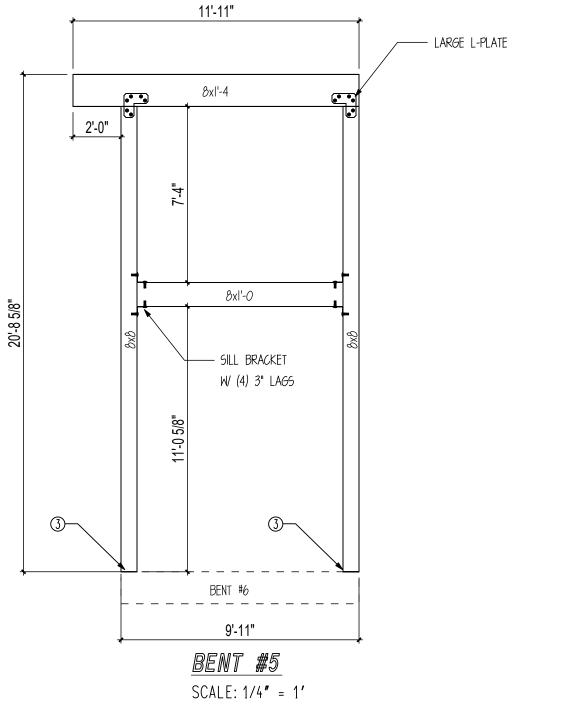
- (2)-1/2"X7" LAGS TYP. @ ALL KNEE BRACES

9'-11"

SCALE: 1/4" = 1'

BENT #6



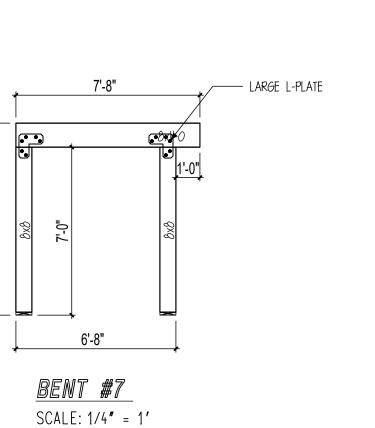


(8) 8" PURLIN -SCREWS

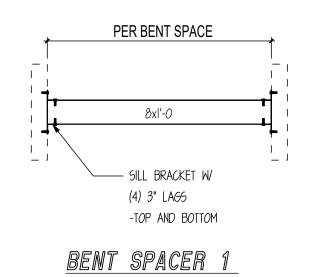
/ LARGE L-PLATE

6'-8"

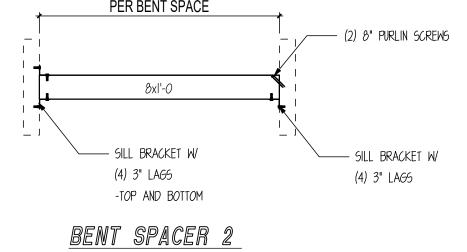
BENT #8 SCALE: 1/4" = 1'





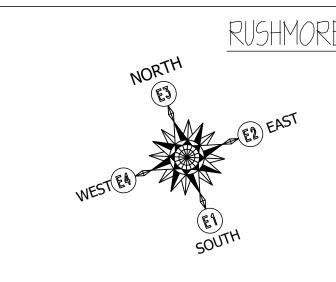


SCALE: 1/4" = 1'



SCALE: 1/4" = 1'





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Boerne, TX 78006 877-680-1680

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REVIEWED

**FOR** 

CODE

COMPLIANCE

11/15/2024

CUSTOMER INFORMATION:

DAN

**MCENTEE** 

PROJECT INFORMATION:

MCENTEE GROUP

HOME

200&202 SUNDANCE CT

STEAMBOAT SPRINGS,CO 80487

STYLE: SINGLE SLOPE

DRAWING INFORMATION:

DATE: 10/16/24

STATUS: STRUCTURAL

SHEET NOTES I. BASE OF MAIN FRAME POST CUT TO FIT IN FIELD BY GENERAL CONTRACTOR ACCORDING TO SPECS ON CUT LISTS. CUT BOTTOM OF POST ONLY.

NUMBER: MGR0524-1

CATEGORY: Residential

OTHER: --

OTHER: --

DRAWN BY: BL

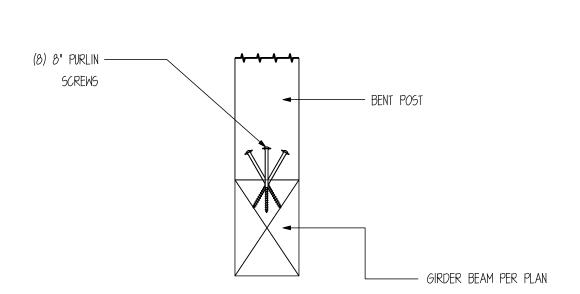
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OTHER: --

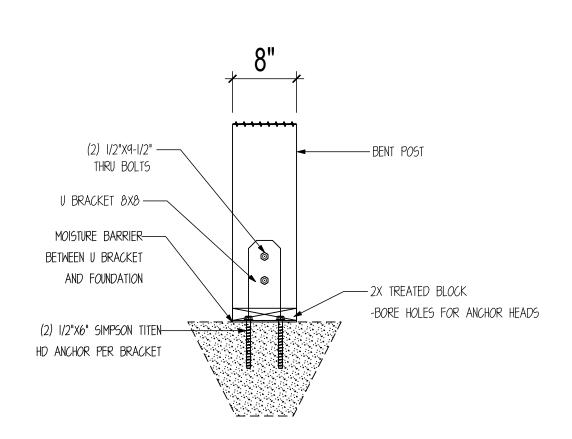
PM: CM

Nebraska: 116 West 1st Street

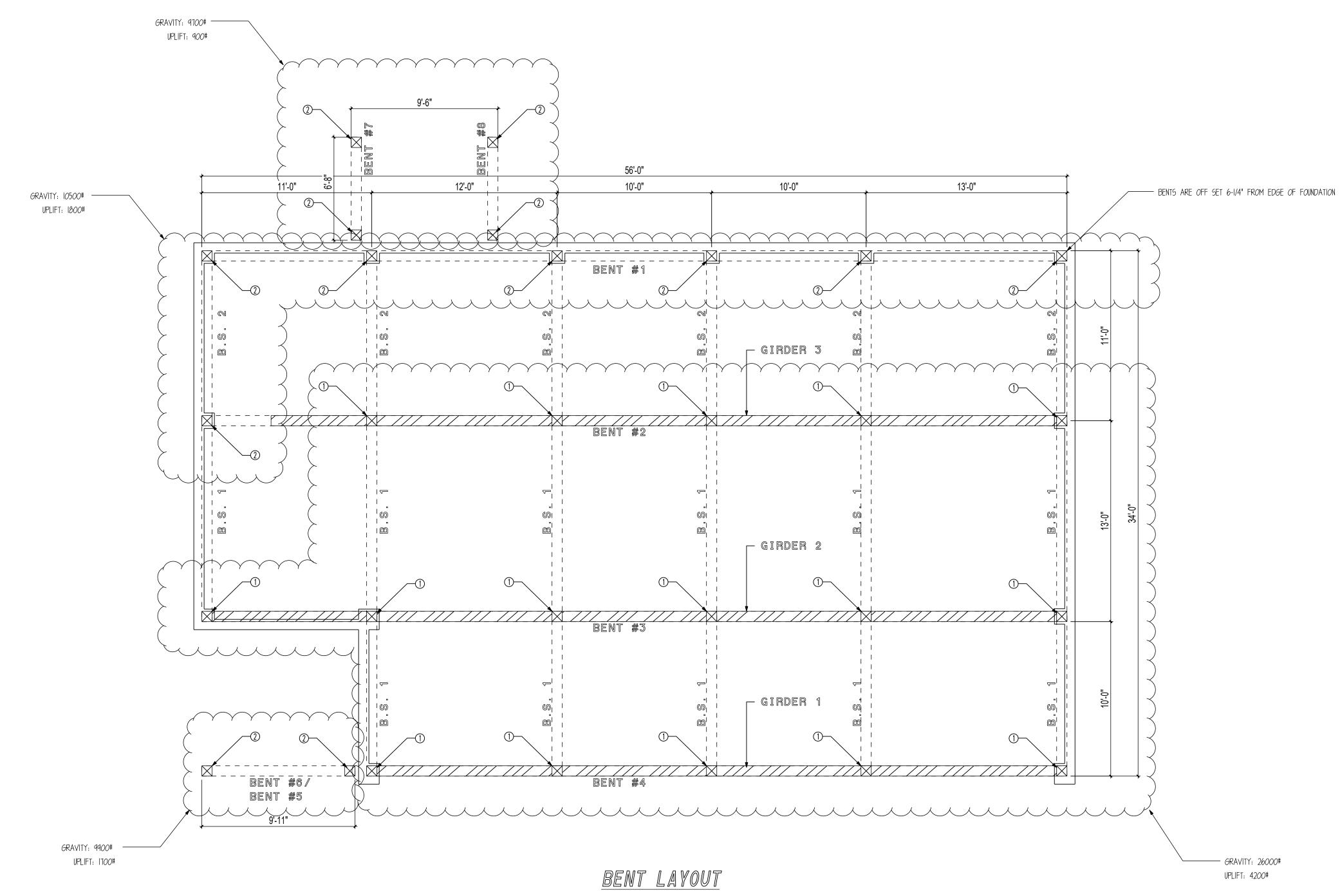
Texas: 613 Hwy 46 E.



# POST CONNECTION DETAIL



POST CONNECTION DETAIL SCALE : 1" =1'-0"

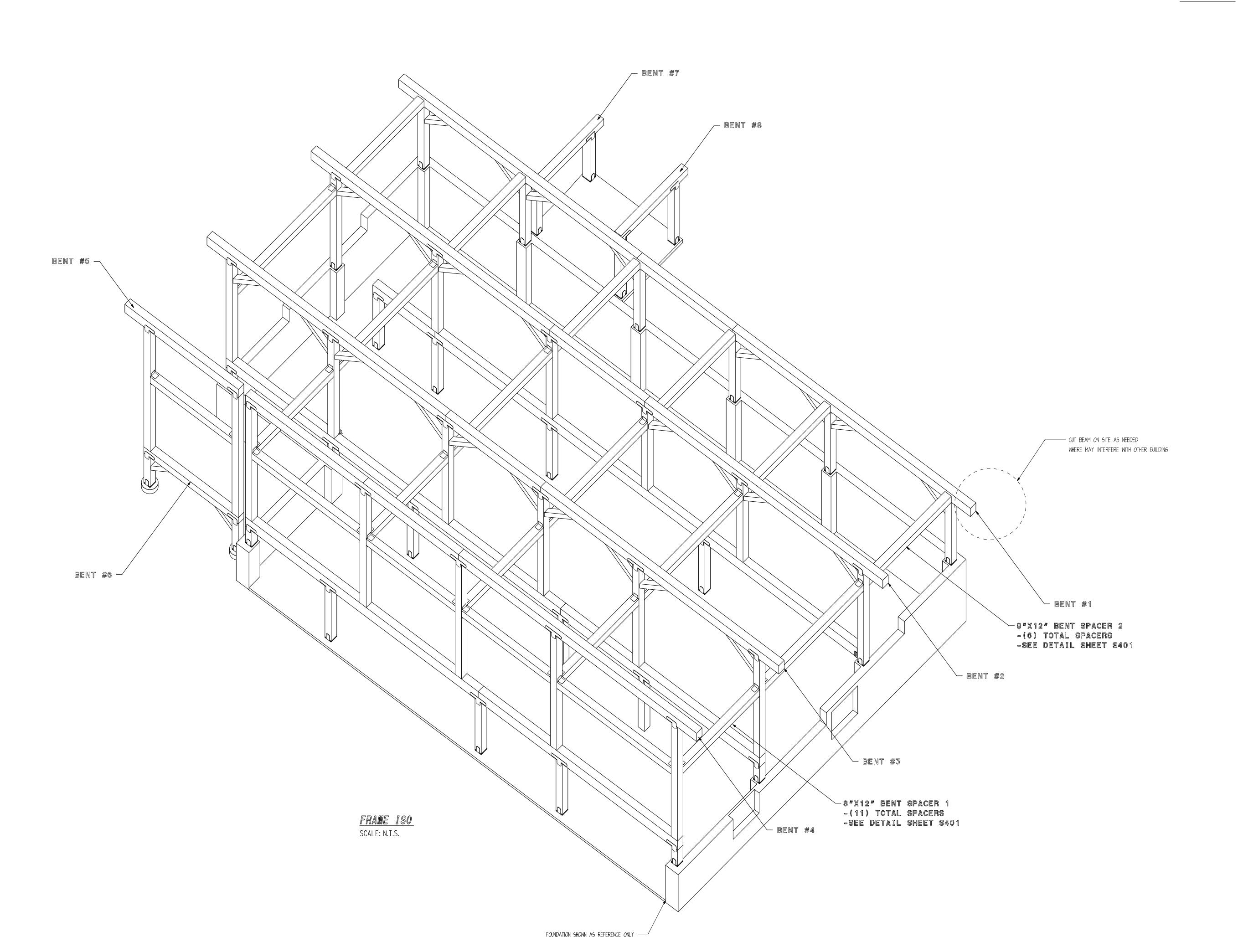




SHEET

S500

SCALE: 1/4" = 1'





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Nebraska: 116 West 1st Street
Wayne, NE 68787
888-489-1680

Wayne, NE 68787 888-489-1680 **Texas:** 613 Hwy 46 E. Boerne, TX 78006 877-680-1680

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REVIEWED FOR CODE COMPLIANCE 11/15/2024

CUSTOMER INFORMATION:

DAN MCENTEE

PROJECT INFORMATION:

# MCENTEE GROUP

HOME
200&202 SUNDANCE CT
STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

OTHER: --PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

STATUS: STRUCTUR

DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: --

OTHER: --

SHEET NOTES

OF MAIN FRAME POST CUT

I. BASE OF MAIN FRAME POST CUT TO FIT IN FIELD BY GENERAL CONTRACTOR ACCORDING TO SPECS ON CUT LISTS. CUT BOTTOM OF POST ONLY.

SHEET



	SHEAR WALL SCHEDULE									
MARK	WALL SHEATHING	NAIL	EDGE NAIL	FIELD NAIL	SPECIAL NOTES					
		SIZE	SPACING	SPACING						
$\bigwedge$	1/2" OSB	8D	6" O.C.	12" O.C.						
	SHEATHING	NAILS								
	1/2" OSB	8D	4 " O.C.	12" O.C.						
$\lfloor 2 \rfloor$	SHEATHING	NAILS								
	1/2" OSB	8D	3" O.C.	12" O.C.						
<u> </u>	SHEATHING	NAILS								
SHEAR	WALL NOTES:	-								

1. VERT. 2X6 (NOM) STUDS @ 16 " O.C. MAX. 2. ALL FIELD NAILING TO BE 12" O.C. AND ALL UNSUPPORTED PANEL EDGES ARE TO BE BLOCKED.

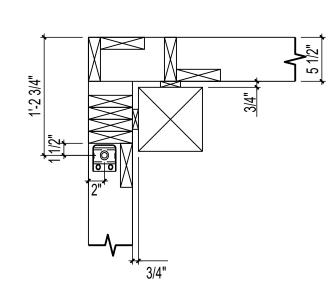
3. ALL SHEAR WALLS HAVE 2×6 TREATED SILL PLATE.

4. ALL SILL PLATE ANCHORED TO FOUNDATION W/ 1/2"X6" SIMPSON TITEN HD ANCHORS.

5. ANCHOR BOLTS SHALL BE PLACED @ ALL JAMBS, CORNERS, AND

INTERSECTIONS. 6. FIELD VERIFY ALL DOOR AND WINDOW OPENINGS ON SITE PRIOR TO

FRAMING OPENINGS.



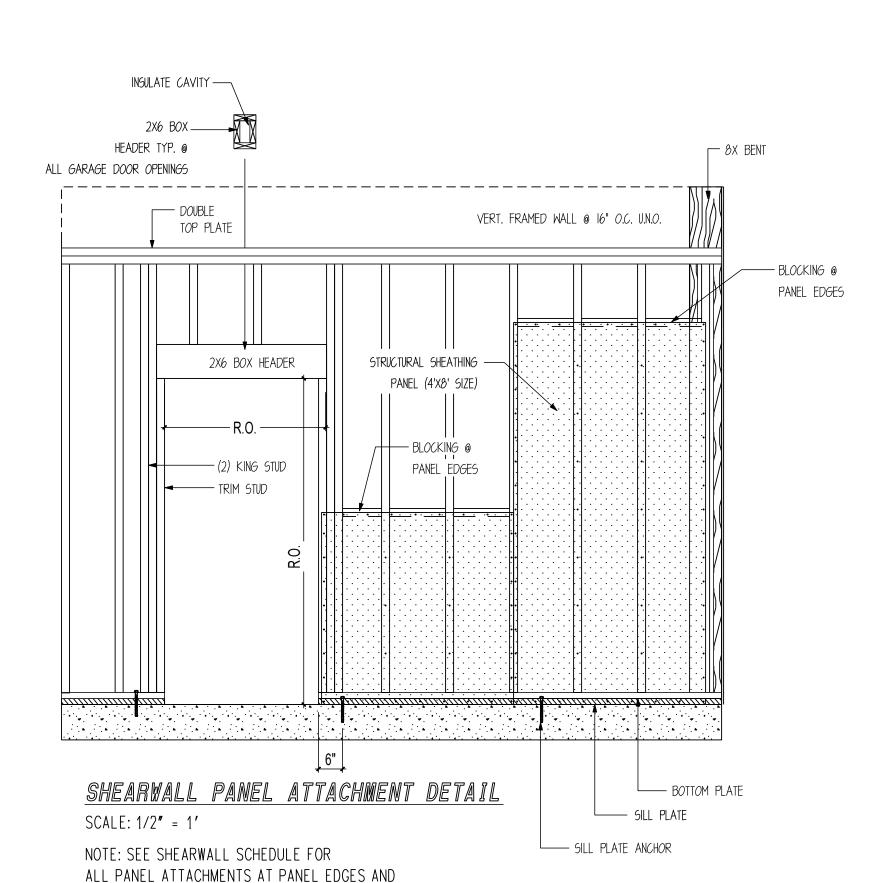
HDU LOCATION DETAILS SCALE: 1" = 1'

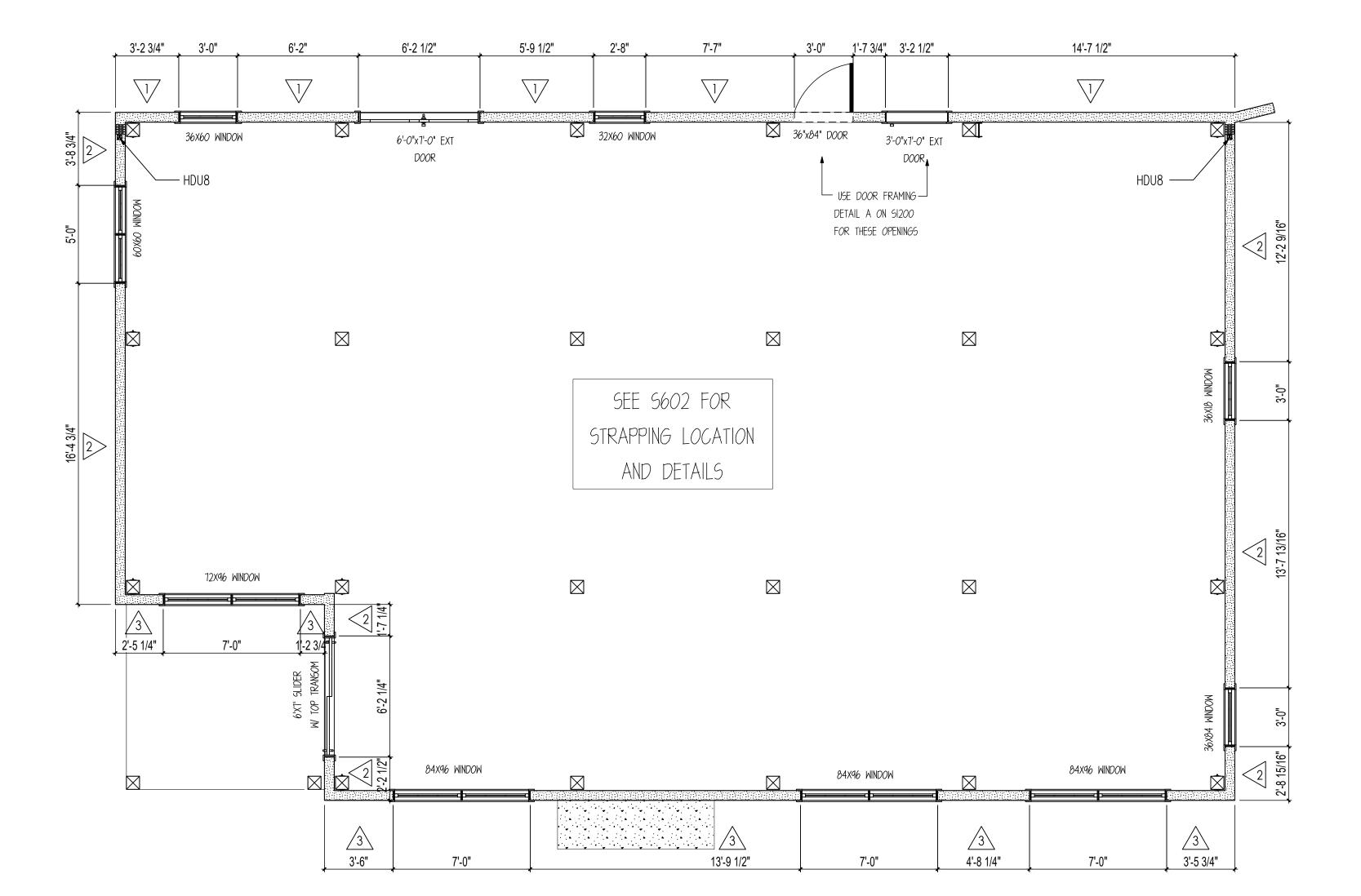
IN THE FIELD OF THE PANEL.

HOLDOWN DESCRIPTIONS -REFER TO MANUF. SPECS FOR FURTHER INFORMATION ABOUT PRODUCT AND ATTACHMENTS -USE SIMPSON SET EPOXY OR EQUIV. SIMPSON HDU8-SDS2.5 ATTACH INTO MIN. 3.5" FRAMING W/ 20 SDS 1/4"X2-1/2" SCREWS. ANCHOR INTO FOUNDATION W/ 4 7/8" DIA. THREADED ROD (ÉPOXY SET) MIN. 12" EMBEDMENT.

\*\* HOLDOWN UPLIFT 5800#. MAX SHEAR PARALLEL TO WALL: 400PLF\*\*





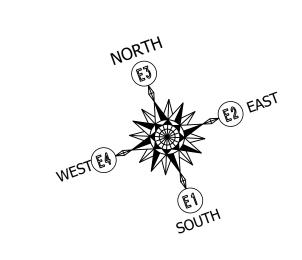


## MAIN FLOOR SHEAR WALL LAYOUT

SCALE: 1/4" = 1'

NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.







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CUSTOMER INFORMATION:

DAN **MCENTEE** 

PROJECT INFORMATION:

MCENTEE GROUP HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential STYLE: SINGLE SLOPE

> OTHER: --OTHER: --

PM: CM

DRAWING INFORMATION: DRAWN BY: BL

DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: --OTHER: --

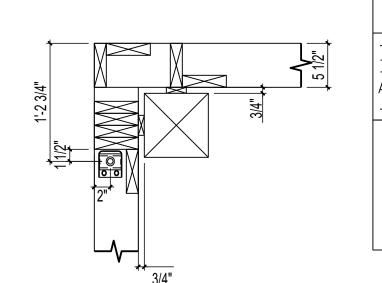
SHEET NOTES

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SHEET

	SHEAR WALL SCHEDULE									
MARK	WALL SHEATHING	NAIL SIZE	EDGE NAIL SPACING	FIELD NAIL SPACING	SPECIAL NOTES					
	1/2" OSB SHEATHING	8D NAILS	6" O.C.	12 " O.C.						
2	1/2" OSB SHEATHING	8D NAILS	4 " O.C.	12 " O.C.						
3	1/2" OSB SHEATHING	8D NAILS	3" O.C.	12" O.C.						
SHEAR	WALL NOTES:									

- 1. VERT. 2X6 (NOM) STUDS @ 16 " O.C. MAX. 2. ALL FIELD NAILING TO BE 12" O.C. AND ALL UNSUPPORTED PANEL
- EDGES ARE TO BE BLOCKED.
- 3. ALL SHEAR WALLS HAVE 2×6 TREATED SILL PLATE.
- 4. ALL SILL PLATE ANCHORED TO FOUNDATION W/ 1/2"X6" SIMPSON TITEN HD ANCHORS.
- 5. ANCHOR BOLTS SHALL BE PLACED @ ALL JAMBS, CORNERS, AND
- INTERSECTIONS. 6. FIELD VERIFY ALL DOOR AND WINDOW OPENINGS ON SITE PRIOR TO
- FRAMING OPENINGS.

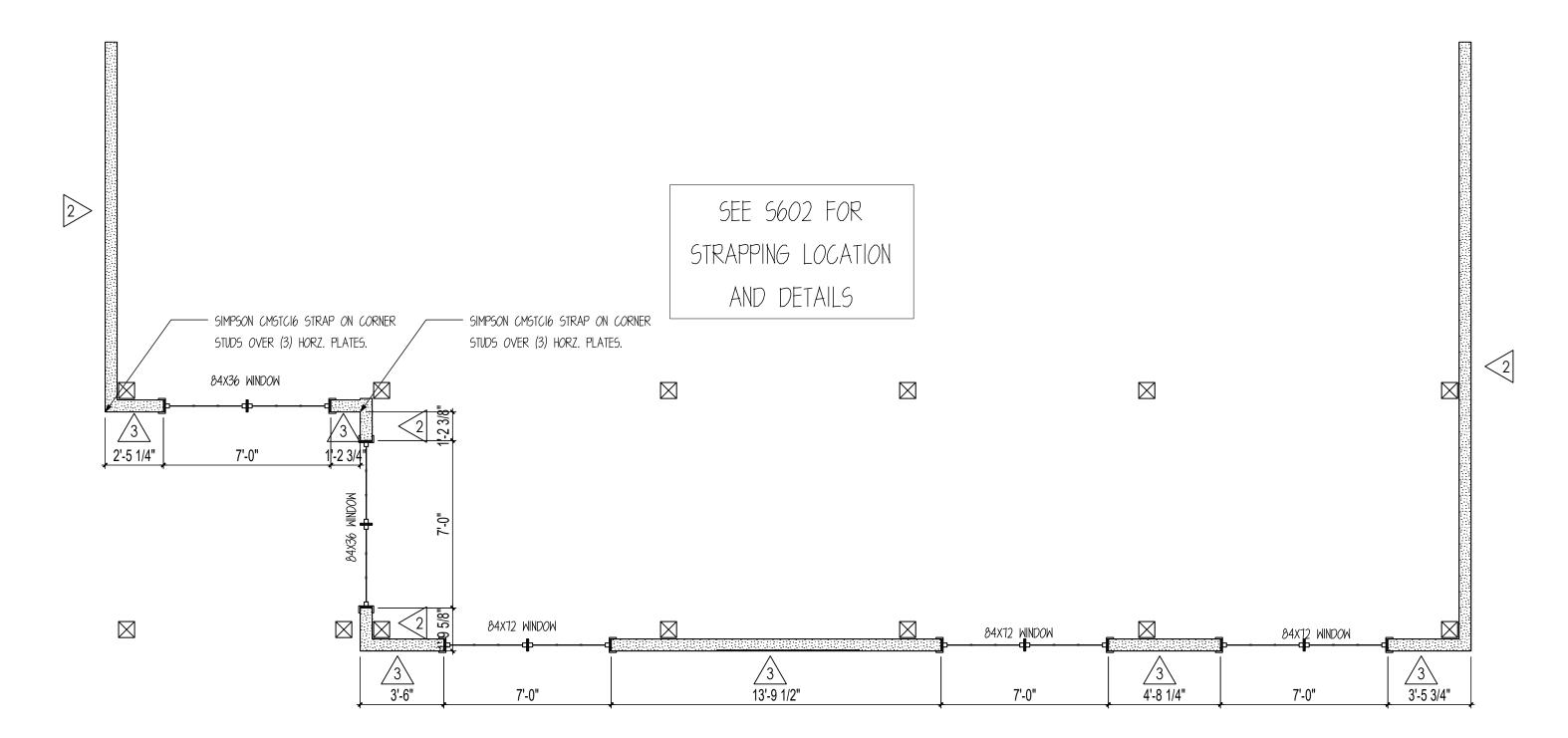


HDU LOCATION DETAILS SCALE: 1" = 1'

HOLDOWN DESCRIPTIONS -REFER TO MANUF. SPECS FOR FURTHER INFORMATION ABOUT PRODUCT AND ATTACHMENTS -USE SIMPSON SET EPOXY OR EQUIV. SIMPSON HDU8-SDS2.5 ATTACH INTO MIN. 3.5" FRAMING W/ 20 SDS 1/4"X2-1/2" SCREWS. ANCHOR INTO FOUNDATION W/ 4 7/8" DIA. THREADED ROD (ÉPOXY

\*\* HOLDOWN UPLIFT 5800#. MAX SHEAR PARALLEL TO WALL: 400PLF\*\*

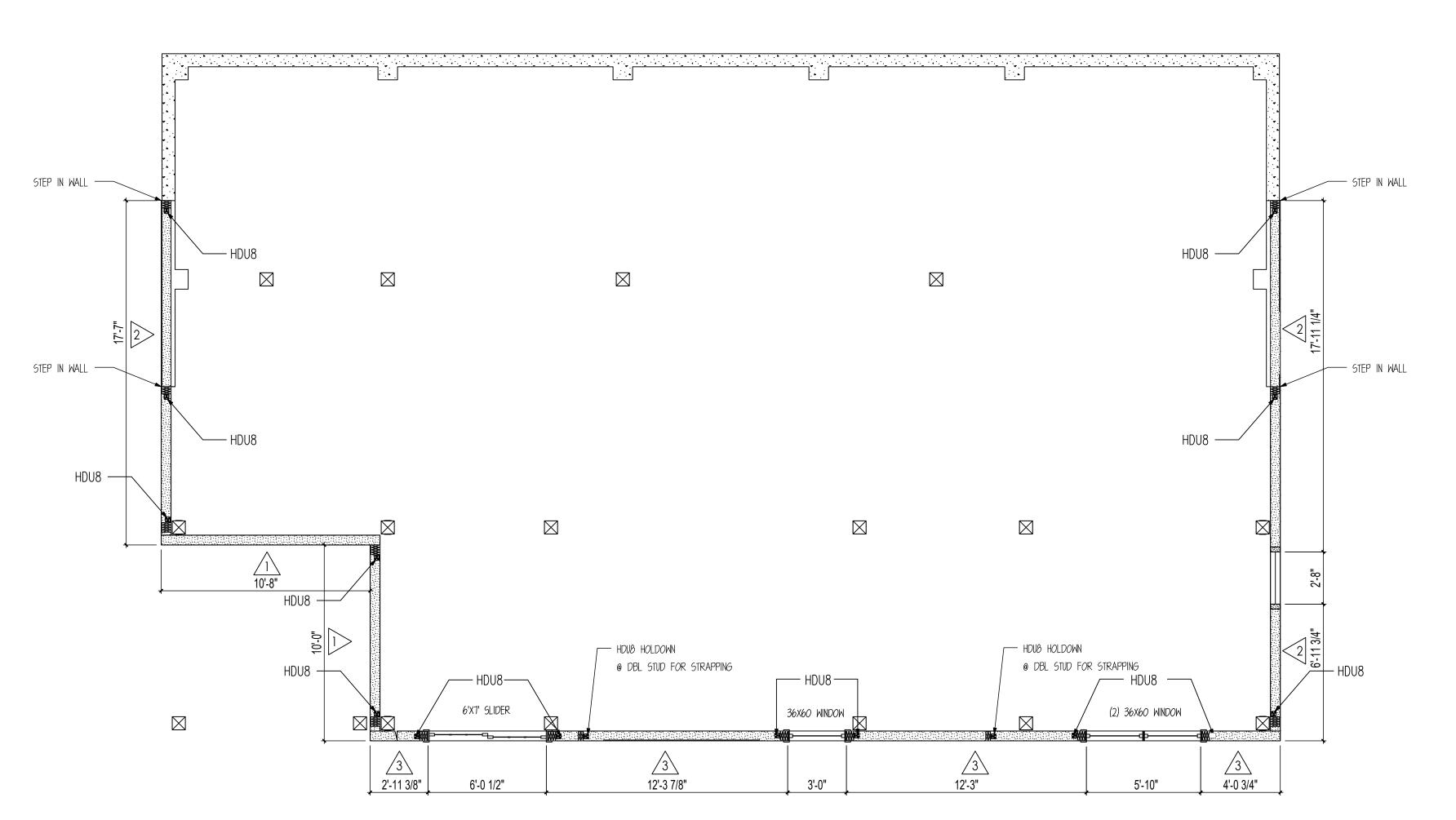
SET) MIN. 12" EMBEDMENT.



### UPPER SHEAR WALL LAYOUT

SCALE: 1/4'' = 1'

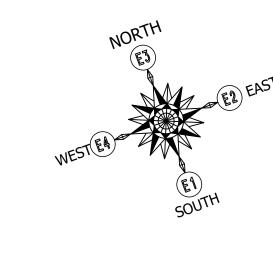
NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.



## LOWER SHEAR WALL LAYOUT

SCALE: 1/4" = 1'

NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.







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CUSTOMER INFORMATION: DAN

**MCENTEE** 

PROJECT INFORMATION:

MCENTEE GROUP HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential STYLE: SINGLE SLOPE

> OTHER: --OTHER: --

> > PM: CM

DRAWING INFORMATION: DRAWN BY: BL

DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: --

OTHER: --

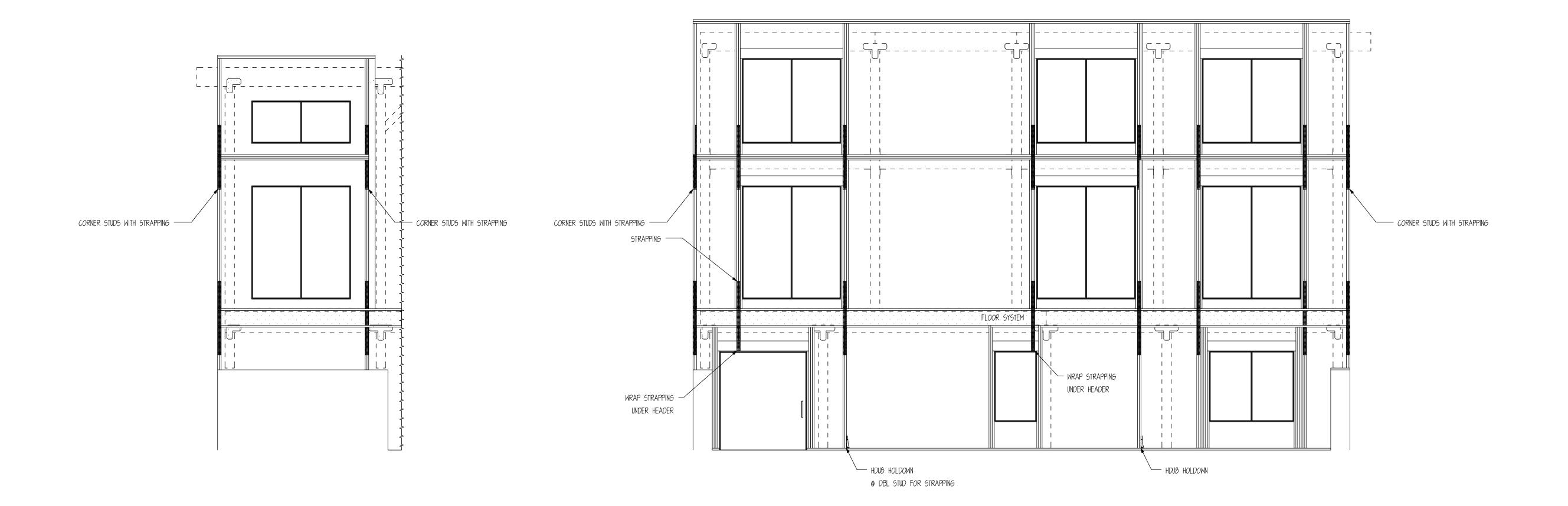
SHEET NOTES

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SHEET

STRAPPING DESCRIPTIONS

-SIMPSON CMSTC16 STRAP -25" MIN. END LENGTH -ATTACH INTO DBL STUD



WALL FRAMING FOR STRAP LAYOUT

SCALE: 1/4" = 1'

NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.





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HOME

200&202 SUNDANCE CT
STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE
OTHER: --

OTHER: --PM: CM

DRAWING INFORMATION:

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STATUS: STRUCTURAL

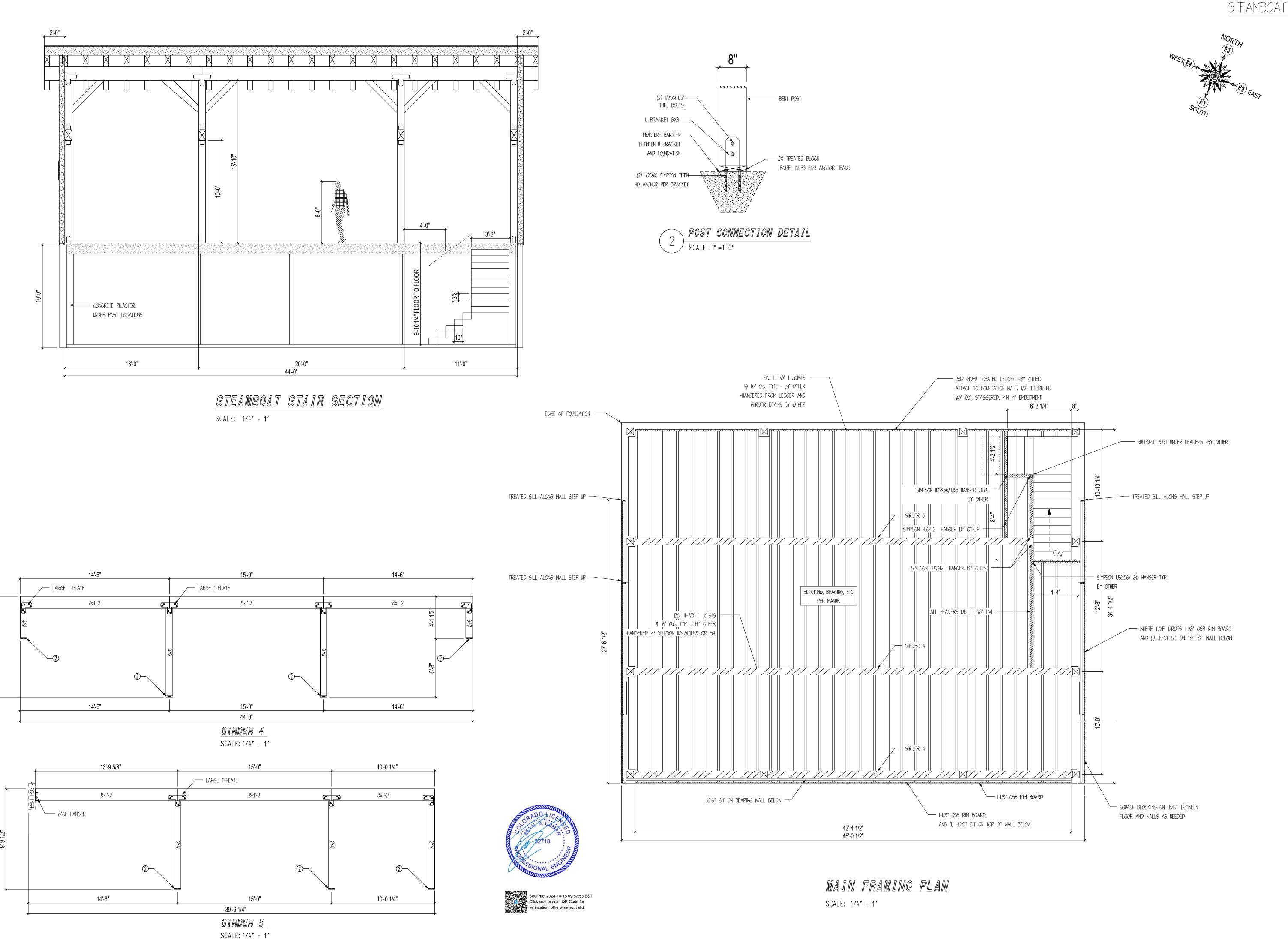
DATE: 10/16/24

TATOS. STRUCTOR

OTHER: --

SHEET NOTES

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## MCENTEE GROUP HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential STYLE: SINGLE SLOPE

OTHER: --OTHER: --

PM: CM

DRAWING INFORMATION: DRAWN BY: BL

DATE: 10/16/24

STATUS: STRUCTURAL

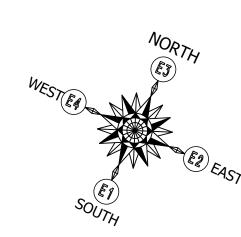
OTHER: --

OTHER: --

SHEET NOTES I. INSTALL BLOCKING BETWEEN JOISTS @ ALL

2. ALL HANGERS SUPPLIED BY OTHER 3. CUT JOISTS TO SIZE ON SITE

SHEET





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PROJECT INFORMATION:

# MCENTEE GROUP

# HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

OTHER: --PM: CM

DRAWING INFORMATION:

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STATUS: STRUCTURAL

DATE: 10/16/24

OTHER: --

OTHER: --

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SHEET NOTES

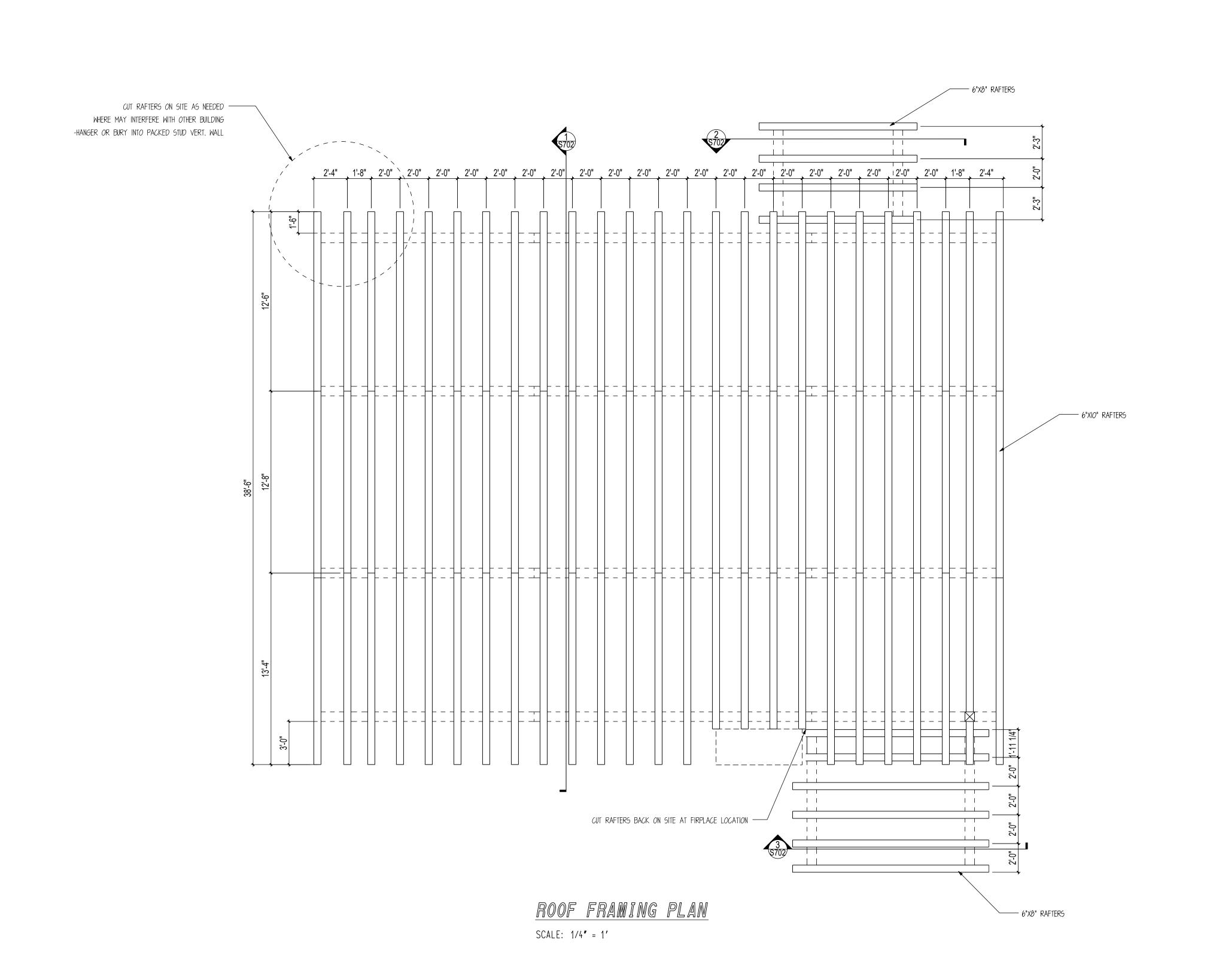
I. INSTALL BLOCKING BETWEEN JOISTS @ ALL

ENDS.

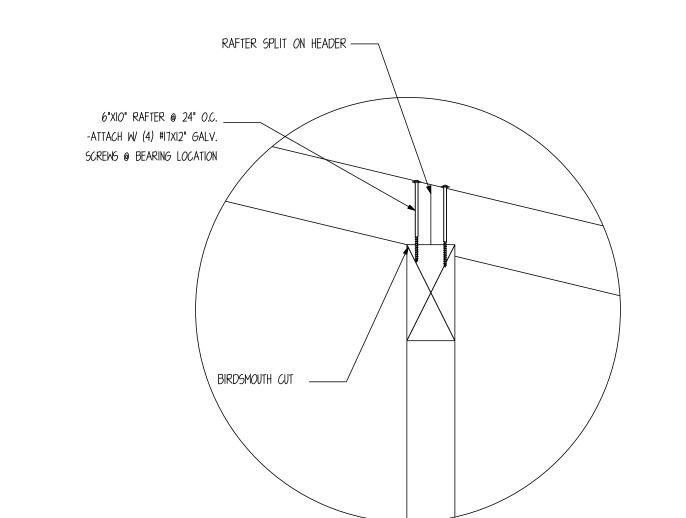
2. ALL HANGERS SUPPLIED BY OTHER

3. CUT JOISTS TO SIZE ON SITE

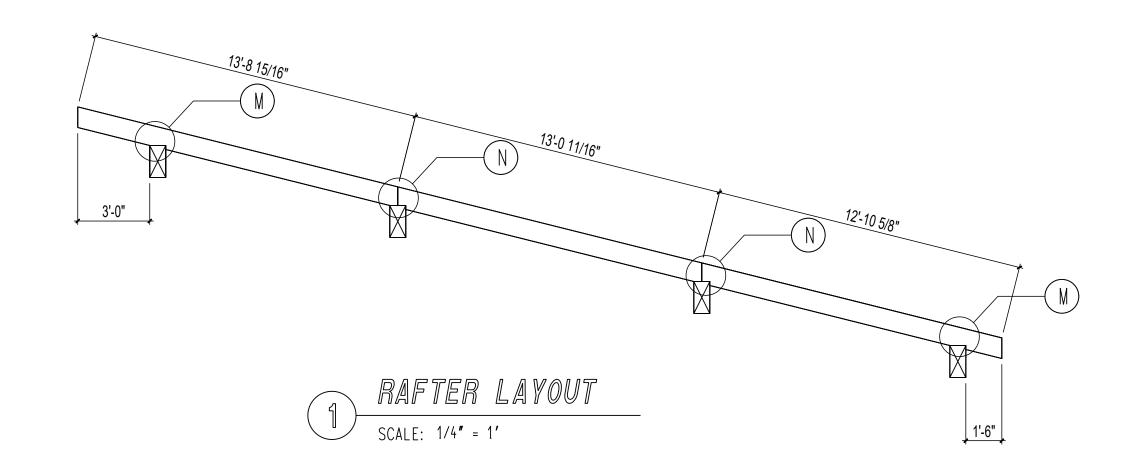
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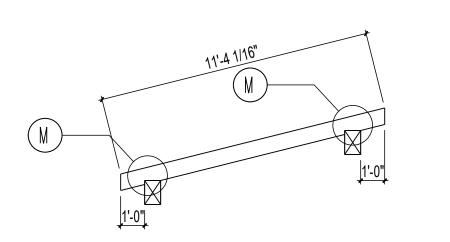












6"xIO" RAFTER @ 24" O.C. \_\_\_\_\_

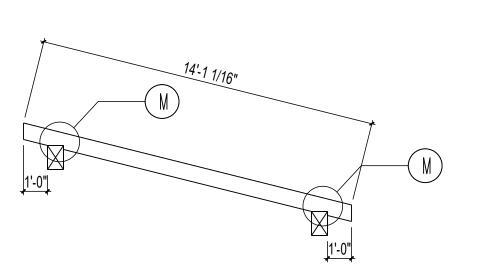
-ATTACH W/ (4) #17"X12" *G*ALV.

SCREWS @ BEARING LOCATION

BIRDSMOUTH CUT

M RAFTER ATTACHMENT DETAIL





3 SCALE: 1/4" = 1'





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PROJECT INFORMATION:

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HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE
OTHER: --

OTHER: --PM: CM

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STATUS: STRUCTU

DATE: 10/16/24

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OTHER: --

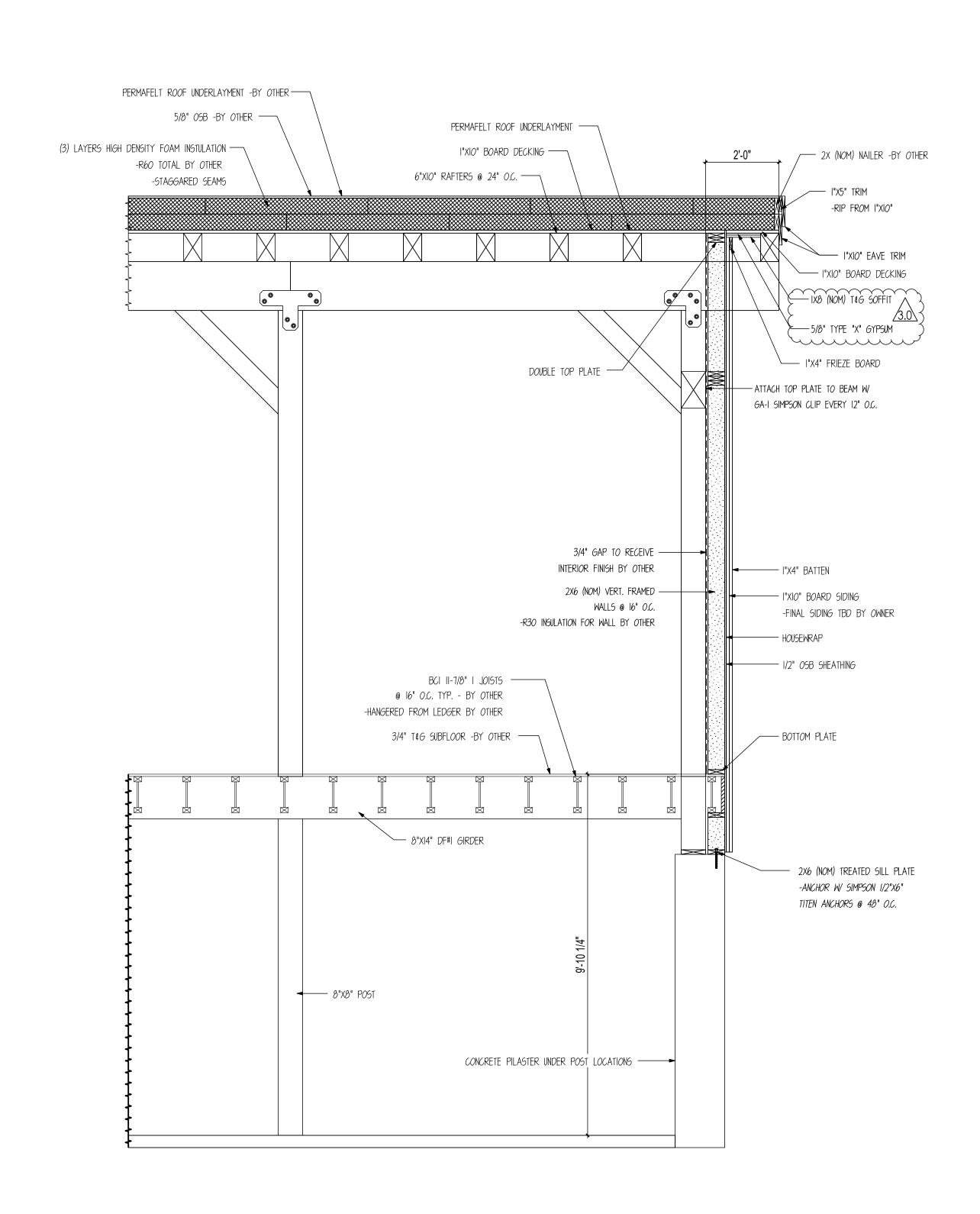
OTHER: --

SHEET NOTES

SHEET

NOTE: EXTERIOR FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING MATERIALS AND DETAILS TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.

NOTE: ALL OSB
SHEATHING TO BE APA
RATED SHEATHING W/
SPAN RATING OF
32/16 INSTALLED
PERP. TO SUPPORTS



HOME EXTERIOR WALL SECTION

HOME EXTERIOR WALL SECTION

CONCRETE PILASTER UNDER POST LOCATIONS

2X (NOM) NAILER -BY OTHER -

-RIP FROM I"XIO"

I"XIO" EAVE TRIM-

I"XIO" BOARD DECKING

IX8 (NOM) T&G SOFFIT

5/8" TYPE "X" GYPSUM ----

I"X4" FRIEZE BOARD —

ATTACH TOP PLATE TO BEAM W ---

I"X4" BATTEN ———

HOUSEWRAP ---

BOTTOM PLATE —

1/2" OSB SHEATHING ----

I"XIO" BOARD SIDING--

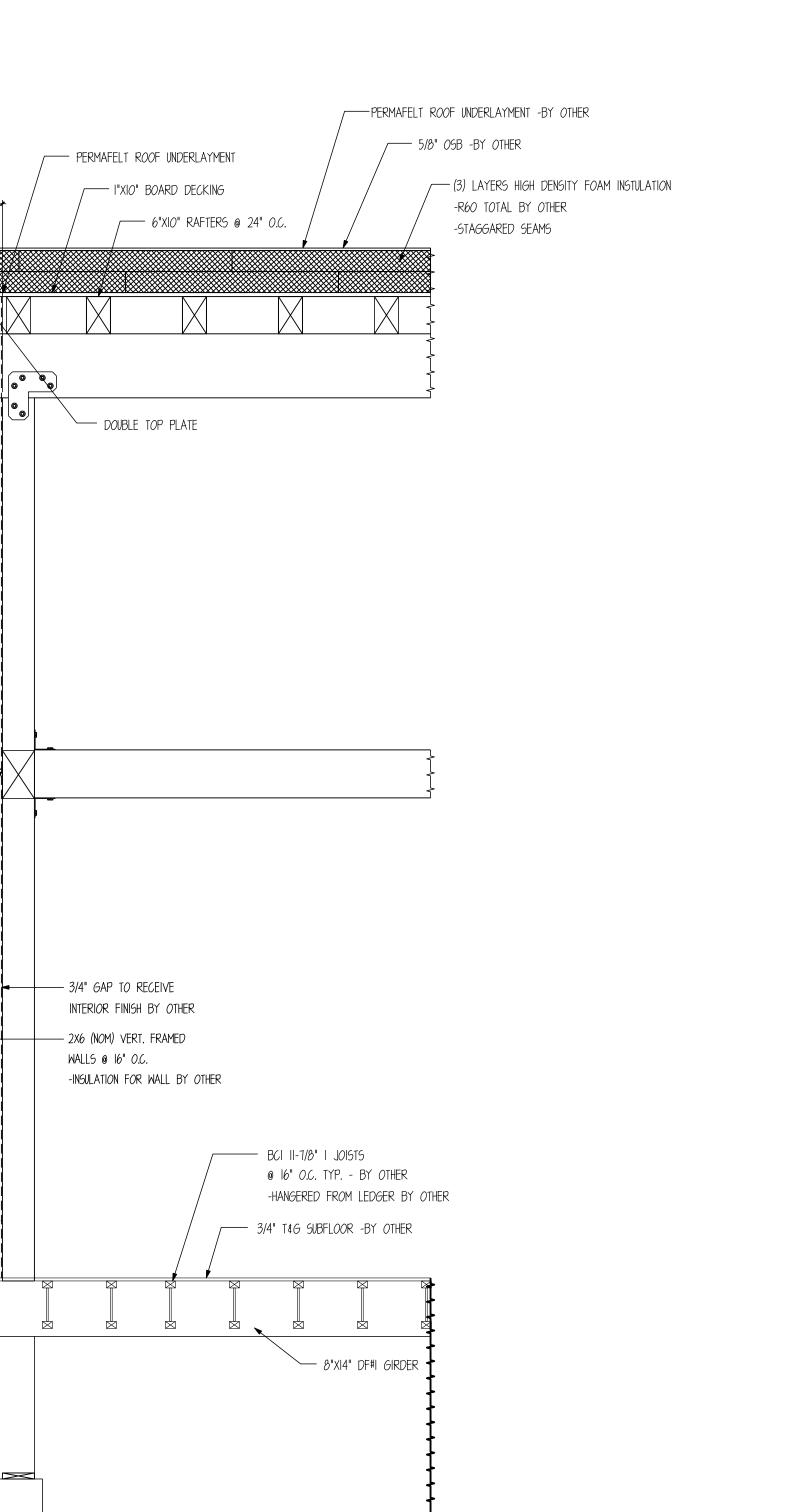
FINAL SIDING TBD BY OWNER

2X6 (NOM) TREATED SILL PLATE -

-ANCHOR W SIMPSON 1/2"X6" TITEN ANCHORS @ 48" O.C.

GA-I SIMPSON CLIP EVERY 12" O.C.





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Boerne, TX 78006

877-680-1680

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CUSTOMER INFORMATION:

MCENTEE

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HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

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OTHER: --

SHEET NOTES

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HOME 200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1 CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --OTHER: --

PM: CM

DRAWING INFORMATION:

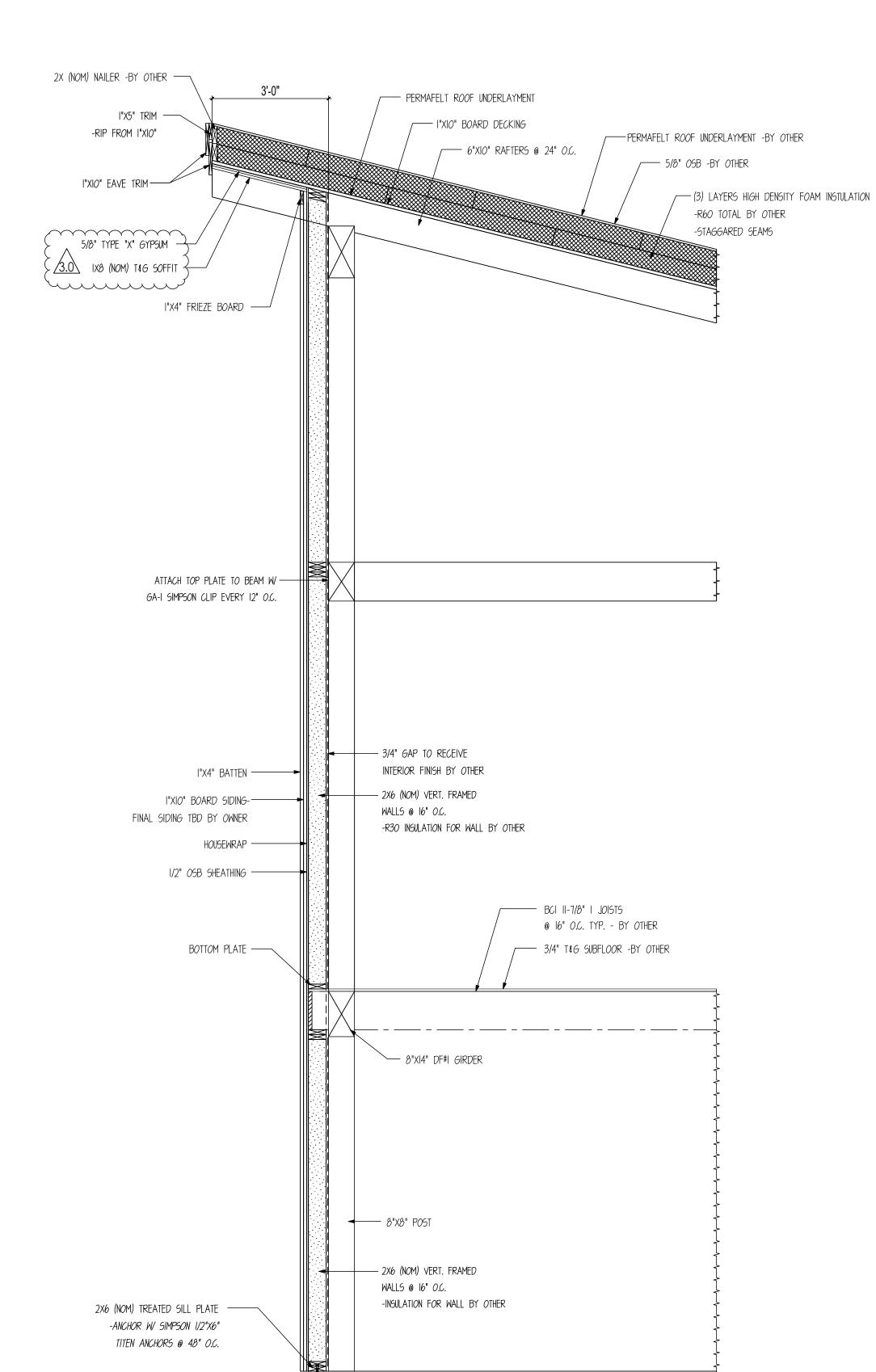
DRAWN BY: BL DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: --

OTHER: --

SHEET NOTES



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AS REQUIRED BY GOOD

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DETAILS TO BE PROVIDED BY

CUSTOMER OR GENERAL

CONTRACTOR.

NOTE: ALL OSB

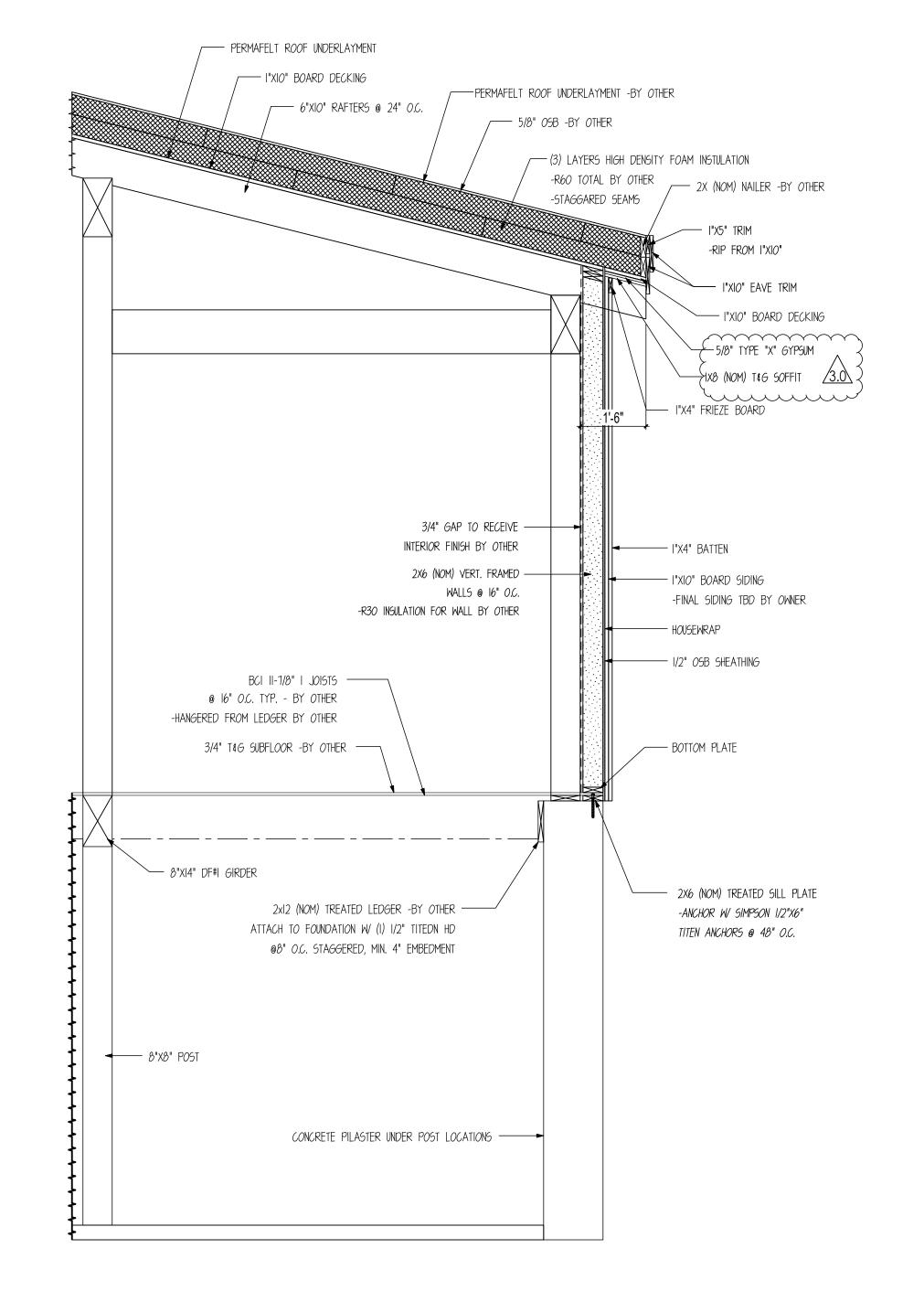
SHEATHING TO BE APA

RATED SHEATHING W/

SPAN RATING OF

32/16 INSTALLED PERP. TO SUPPORTS

CONSTRUCTION PRACTICES.





HOME EXTERIOR WALL SECTION

HOME EXTERIOR WALL SECTION

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SHEET S801



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CUSTOMER INFORMATION:

MCENTEE

PROJECT INFORMATION:

MCENTEE GROUP
HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE
OTHER: --

OTHER: --PM: CM

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DATE: 10/16/24

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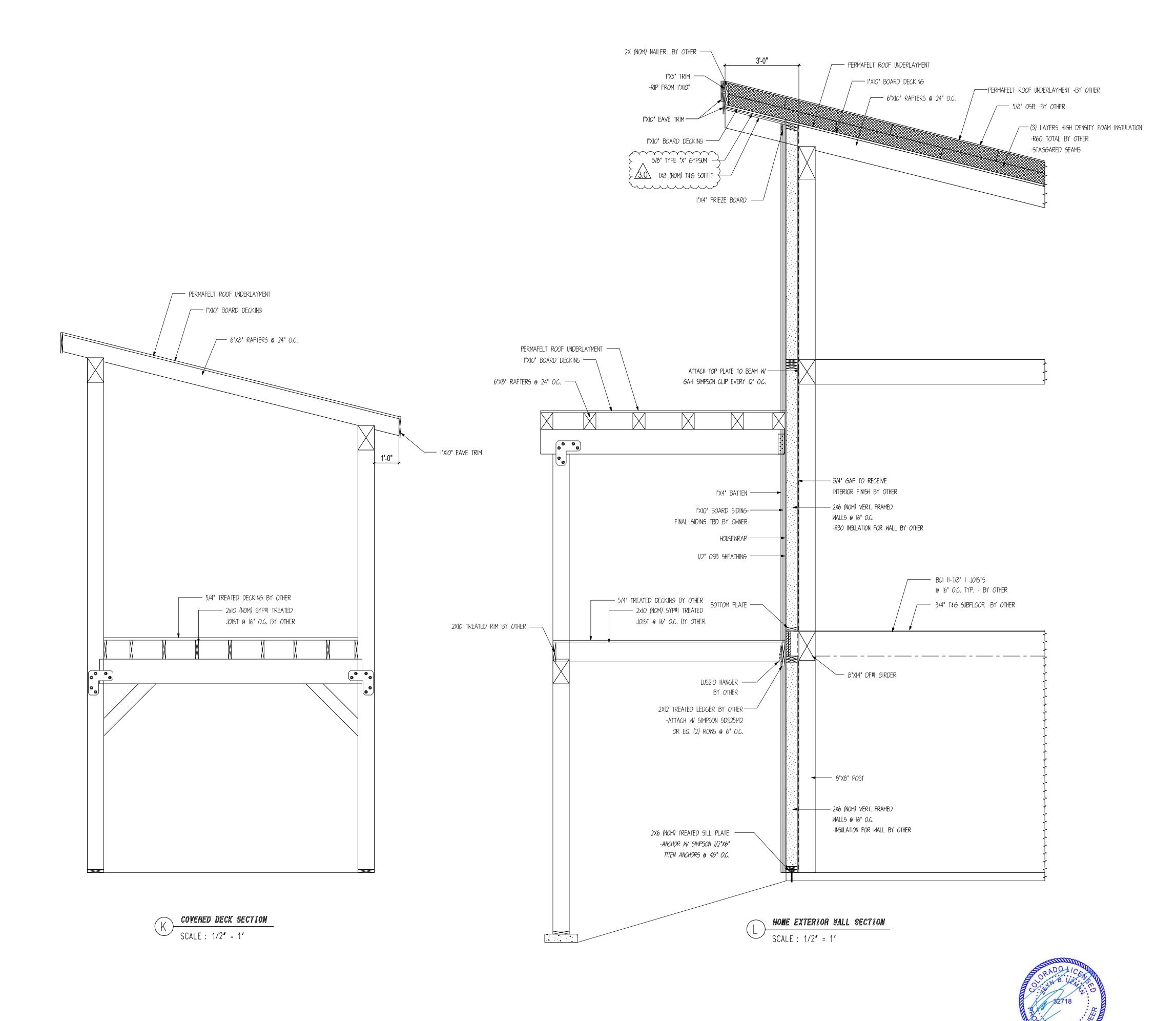
OTHER: --

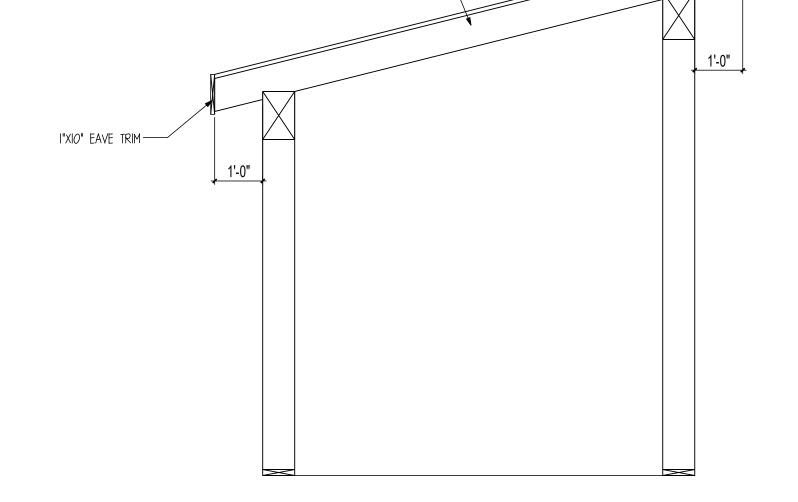
SHEET NOTES

SHEET

S802

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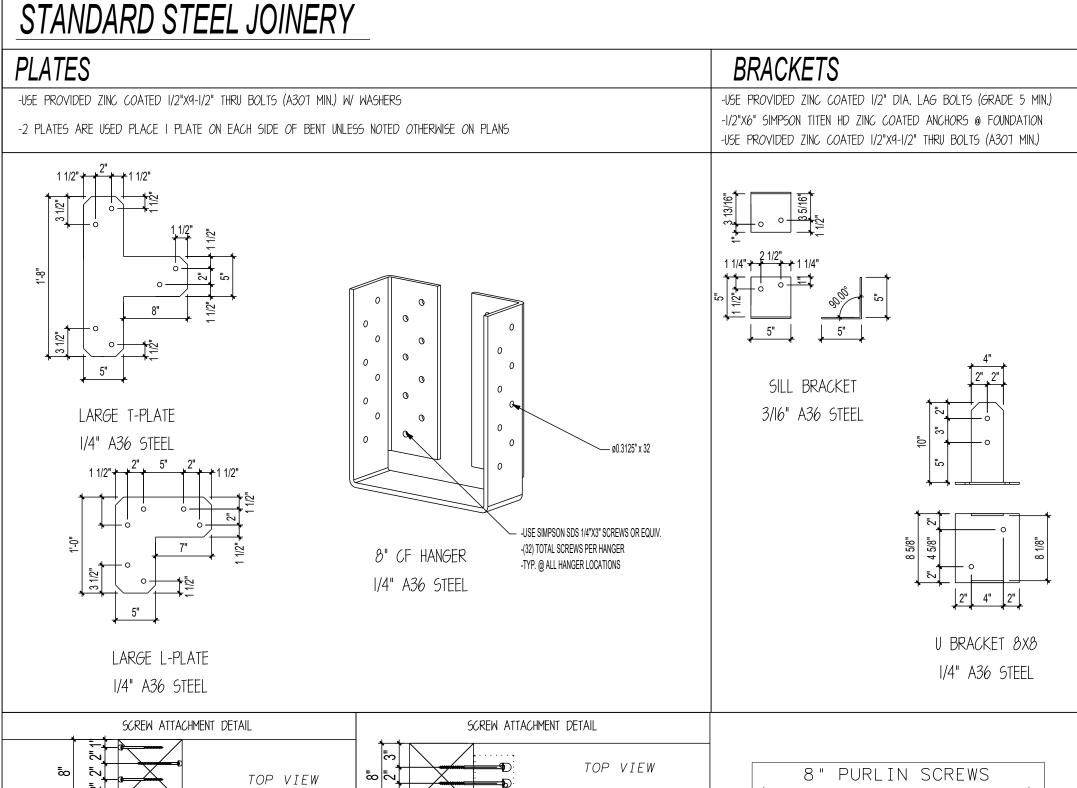


PERMAFELT ROOF UNDERLAYMENT ----

I"XIO" BOARD DECKING —

6"X8" RAFTERS @ 24" O.C. —

SCALE: 1/2" = 1'



/— (2) 8" PURLIN SCREWS

-IN SAME PLANE

-2" BETWEEN SCREWS

LEAN-TO TIE BEAM

- SILL BRACKET

- (4) 8" PURLIN

TIE BEAM OR COLLAR TIE

8" PURLIN SCREWS (CONSTRUCTION LAG SCREW) THREAD DIA: #17 OR .310 HEAD DIA: 11/16" SHANK DIA: .226 RECESS SIZE: T40

CUT BEAM ON SITE AS NEEDED ----

15'-4"

8xI'-4

13'-0"

13'-0"

—— (4) 8" PURLIN SCREWS

2'-0"

WHERE MAY INTERFERE WITH OTHER BUILDING

10" PURLIN SCREWS (CONSTRUCTION LAG SCREW) THREAD DIA: #17 OR .310 HEAD DIA: 11/16" SHANK DIA: .226 RECESS SIZE: T40

STEAMBOAT



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CUSTOMER INFORMATION:

DAN **MCENTEE** 

PROJECT INFORMATION:

## MCENTEE GROUP HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --OTHER: --

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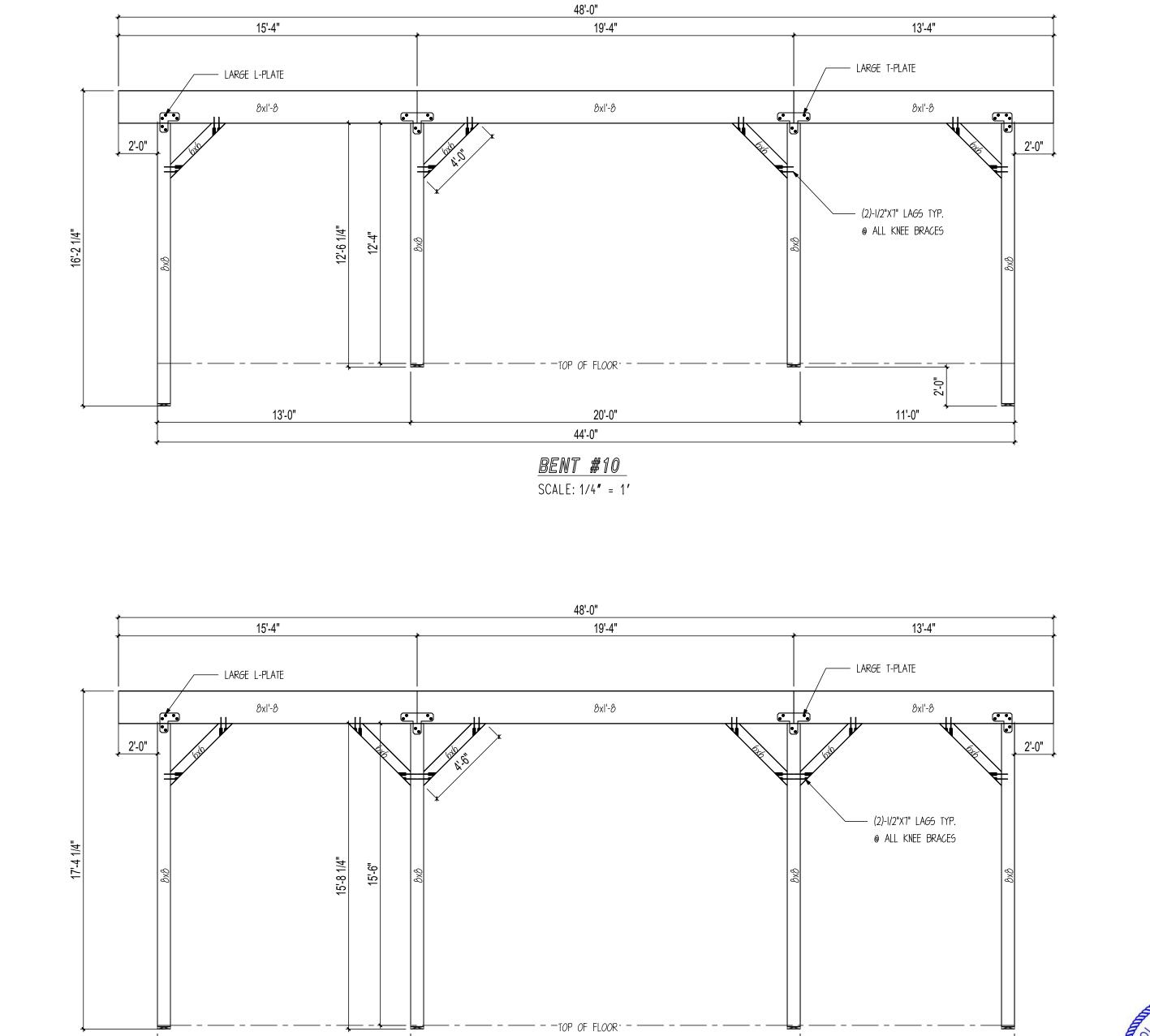
SHEET NOTES I. BASE OF MAIN FRAME POST CUT TO FIT IN

FIELD BY GENERAL CONTRACTOR ACCORDING TO SPECS ON CUT LISTS. CUT BOTTOM OF POST ONLY.

SHEET

S900

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44'-0"

BENT #11

SCALE: 1/4" = 1'

48'-0"

19'-4"

8x1'-4

44'-0"

BENT #9

SCALE: 1/4" = 1'

13'-4"

8x1'-4

/ (6) 8" PURLIN SCREWS

---- SILL BRACKET

W/ (4) 3" LAGS

— (2)-1/2"X7" LAGS TYP. @ ALL KNEE BRACES

11'-0"

11'-0"

\_\_\_\_ 2" BEARING NOTCH

— LARGE L-PLATE

— (2)-1/2"X7" LAGS TYP. @ ALL KNEE BRACES

8x1'-0

11'-8"

SCALE: 1/4" = 1'



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Wayne, NE 68787 888-489-1680 **Texas:** 613 Hwy 46 E. Boerne, TX 78006 877-680-1680

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CUSTOMER INFORMATION:

DAN **MCENTEE** 

## PROJECT INFORMATION: MCENTEE GROUP

HOME 200&202 SUNDANCE CT

STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1 CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

OTHER: --PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

DATE: 10/16/24

STATUS: STRUCTURAL

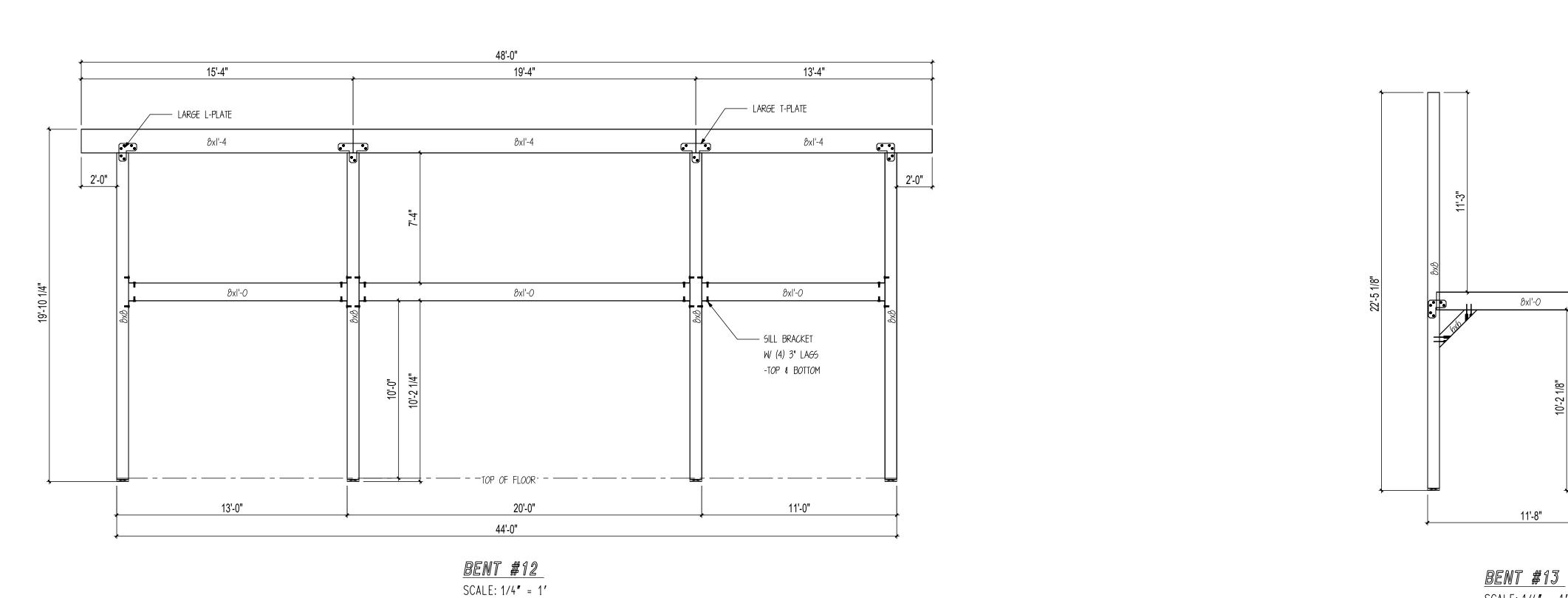
OTHER: --OTHER: --

SHEET NOTES I. BASE OF MAIN FRAME POST CUT TO FIT IN

FIELD BY GENERAL CONTRACTOR ACCORDING TO SPECS ON CUT LISTS. CUT BOTTOM OF POST ONLY.

SHEET

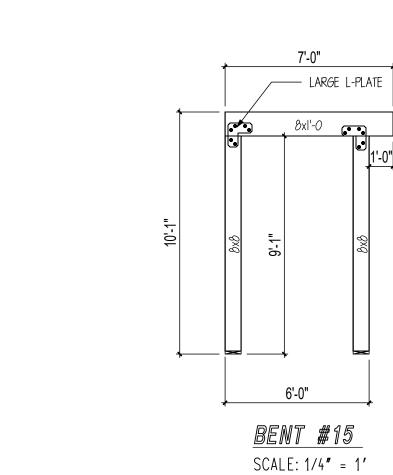
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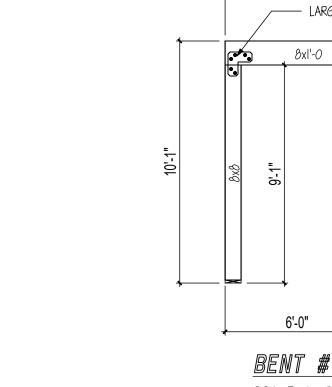


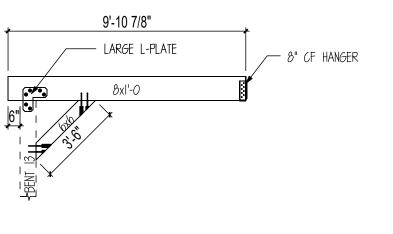
— LARGE L-PLATE

6'-0"

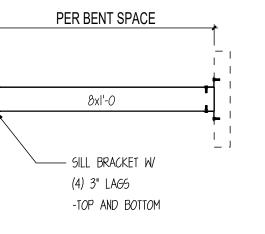
<u>BENT #14</u> SCALE: 1/4" = 1'



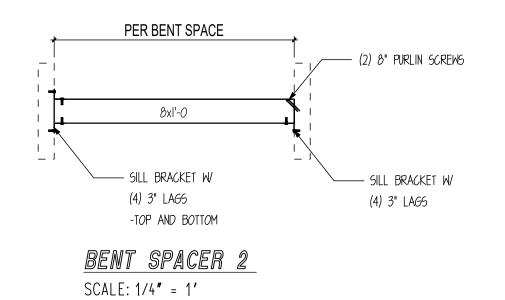




HEADER A SCALE: 1/4" = 1'



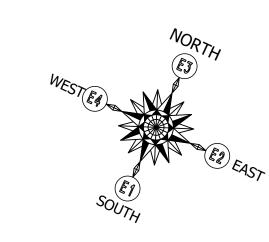
BENT SPACER 1 SCALE: 1/4" = 1'











BENTS ARE OFF SET 6-1/4" FROM EDGE OF FOUNDATION



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DAN **MCENTEE** 

PROJECT INFORMATION: MCENTEE GROUP HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1 CATEGORY: Residential

> STYLE: SINGLE SLOPE OTHER: --

OTHER: --PM: CM

DRAWING INFORMATION:

DRAWN BY: BL DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: --

OTHER: --

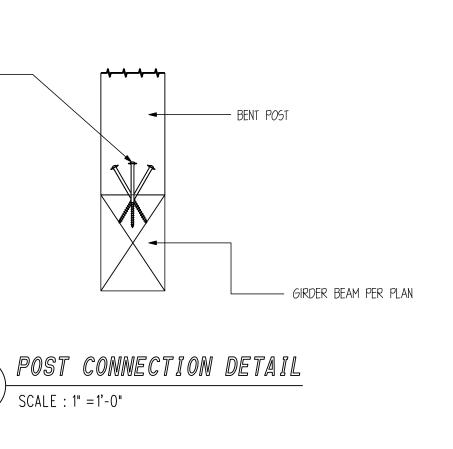
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SHEET NOTES

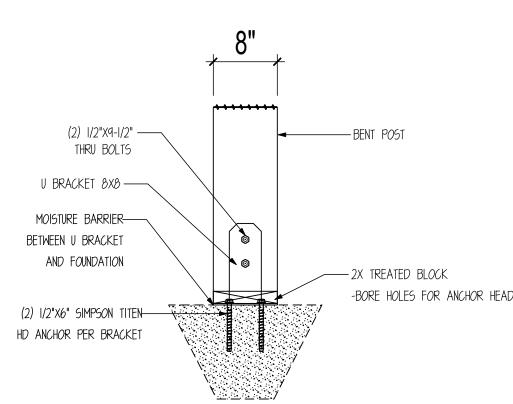
I. BASE OF MAIN FRAME POST CUT TO FIT IN FIELD BY GENERAL CONTRACTOR ACCORDING TO SPECS ON CUT LISTS. CUT BOTTOM OF POST ONLY.

SHEET

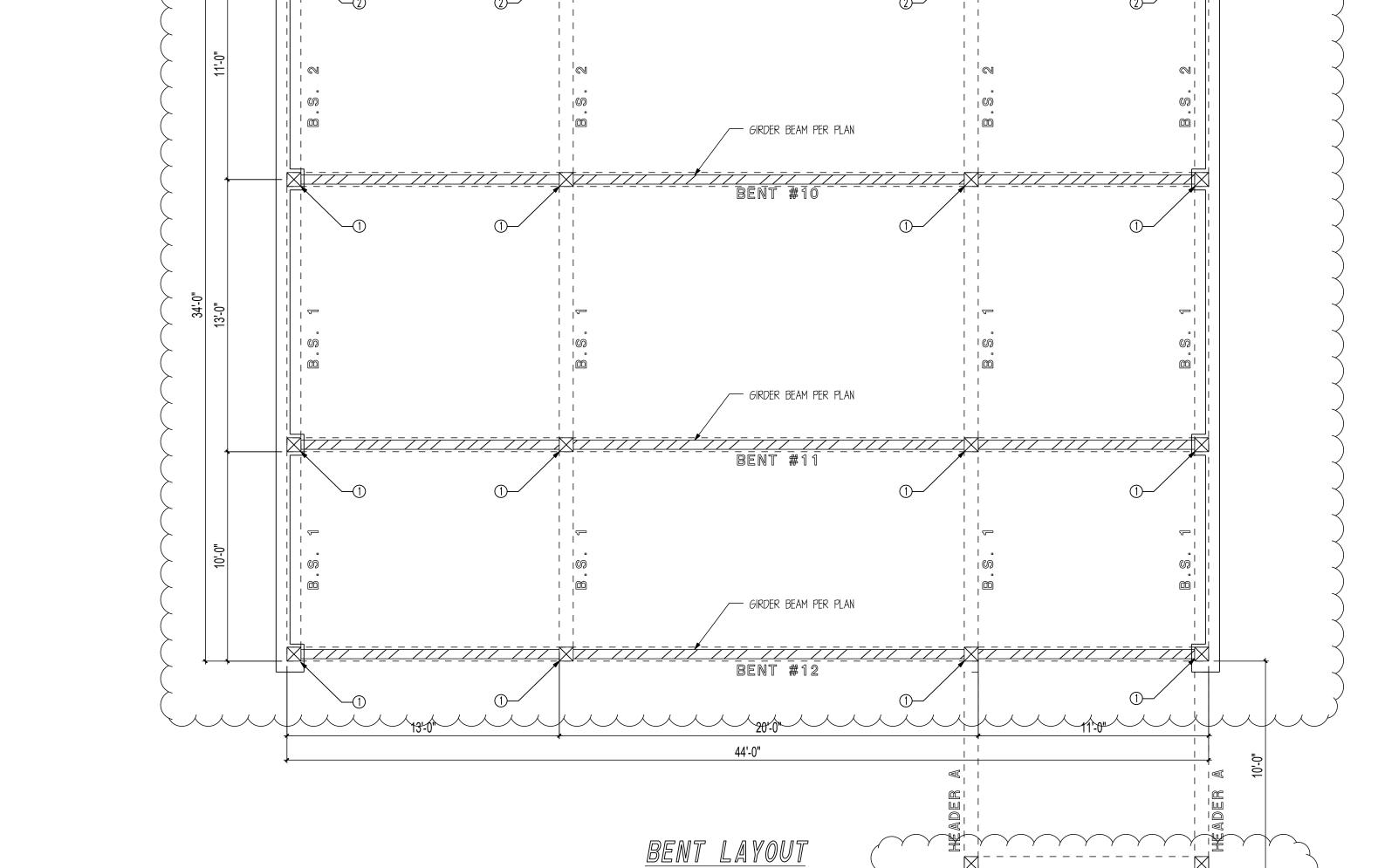
S1000



GRAVITY: 26000# ----UPLIFT: 4200#



(8) 8" PURLIN ——— SCREWS



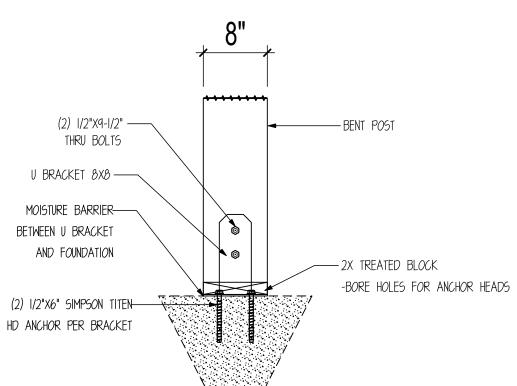
SCALE: 1/4" = 1'

GRAVITY: 11900# -UPLIFT: 1400#

BENT #13

11'-8"

GRAVITY: 5000# ---UPLIFT: 550#



POST CONNECTION DETAIL



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NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

DATE: 10/16/24

STATUS: STRUCTURAL

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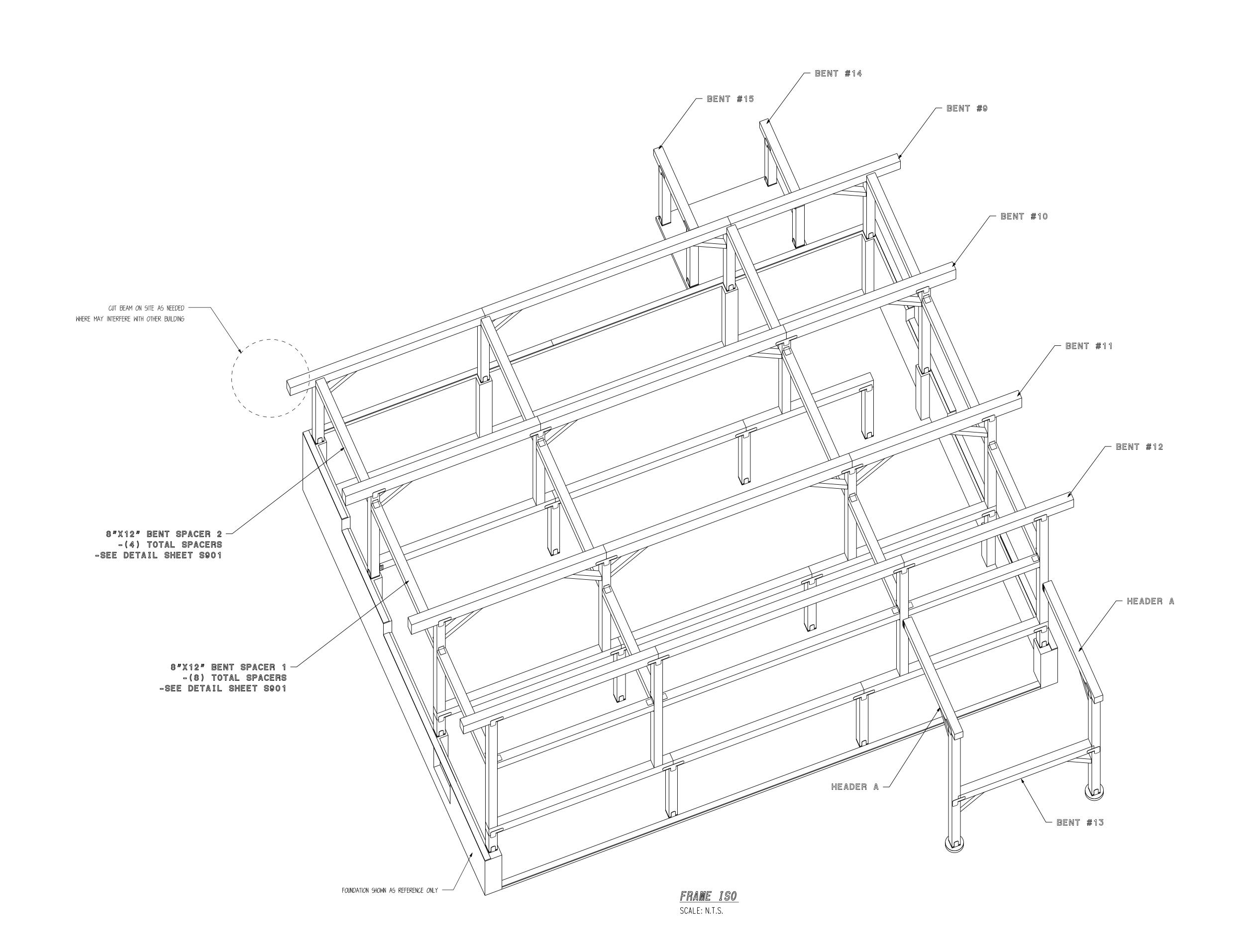
OTHER: --

OTHER: --

SHEET NOTES

I. BASE OF MAIN FRAME POST CUT TO FIT IN FIELD BY GENERAL CONTRACTOR ACCORDING TO SPECS ON CUT LISTS. CUT BOTTOM OF POST ONLY.

SHEET





	SHEAR WALL SCHEDULE								
MARK	WALL SHEATHING	NAIL		FIELD NAIL	SPECIAL NOTES				
		SIZE	SPACING	SPACING					
$\bigcirc$	1/2 " OSB	8D	6 " O.C.	12" O.C.					
	SHEATHING	NAILS							
	1/2 " OSB	8D	4 " O.C.	12" O.C.					
2	SHEATHING	NAILS							
	1/2 " OSB	8D	3" O.C.	12" O.C.					
3	SHEATHING	NAILS							
SHEAR	WALL NOTES:								

1. VERT. 2X6 (NOM) STUDS @ 16 " O.C. MAX. 2. ALL FIELD NAILING TO BE 12" O.C. AND ALL UNSUPPORTED PANEL

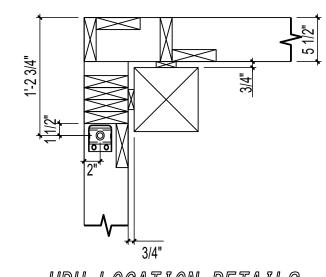
EDGES ARE TO BE BLOCKED. 3. ALL SHEAR WALLS HAVE 2x6 TREATED SILL PLATE.

4. ALL SILL PLATE ANCHORED TO FOUNDATION W/ 1/2"X6" SIMPSON TITEN HD ANCHORS.

5. ANCHOR BOLTS SHALL BE PLACED @ ALL JAMBS, CORNERS, AND

INTERSECTIONS. 6. FIELD VERIFY ALL DOOR AND WINDOW OPENINGS ON SITE PRIOR TO

FRAMING OPENINGS.



HDU LOCATION DETAILS SCALE: 1" = 1'

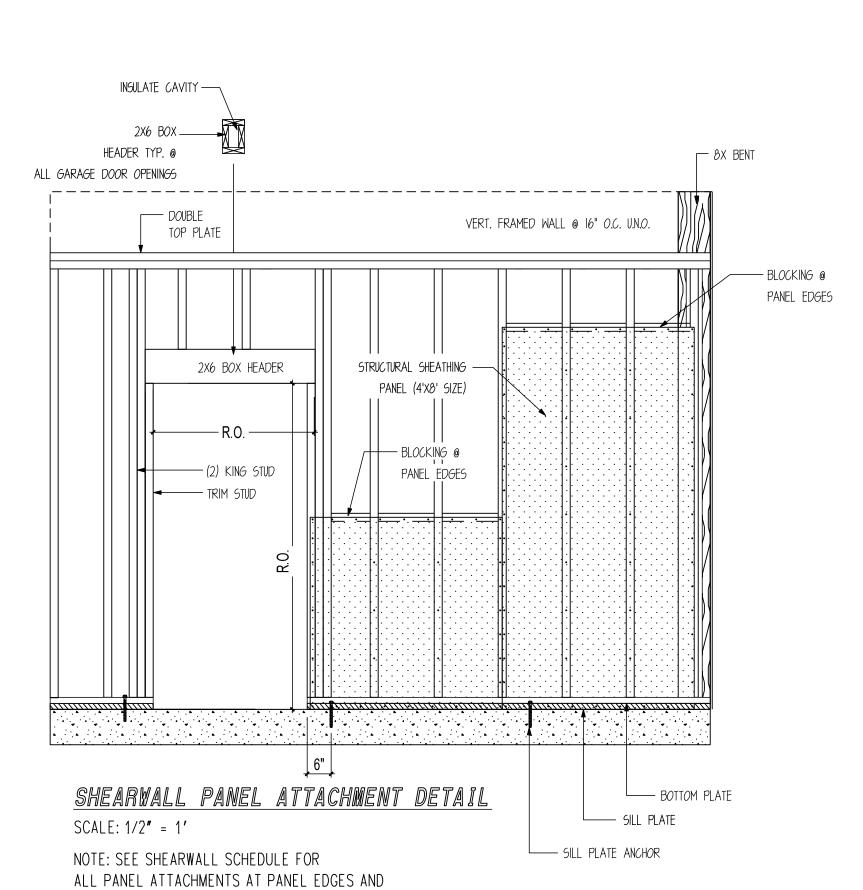
IN THE FIELD OF THE PANEL.

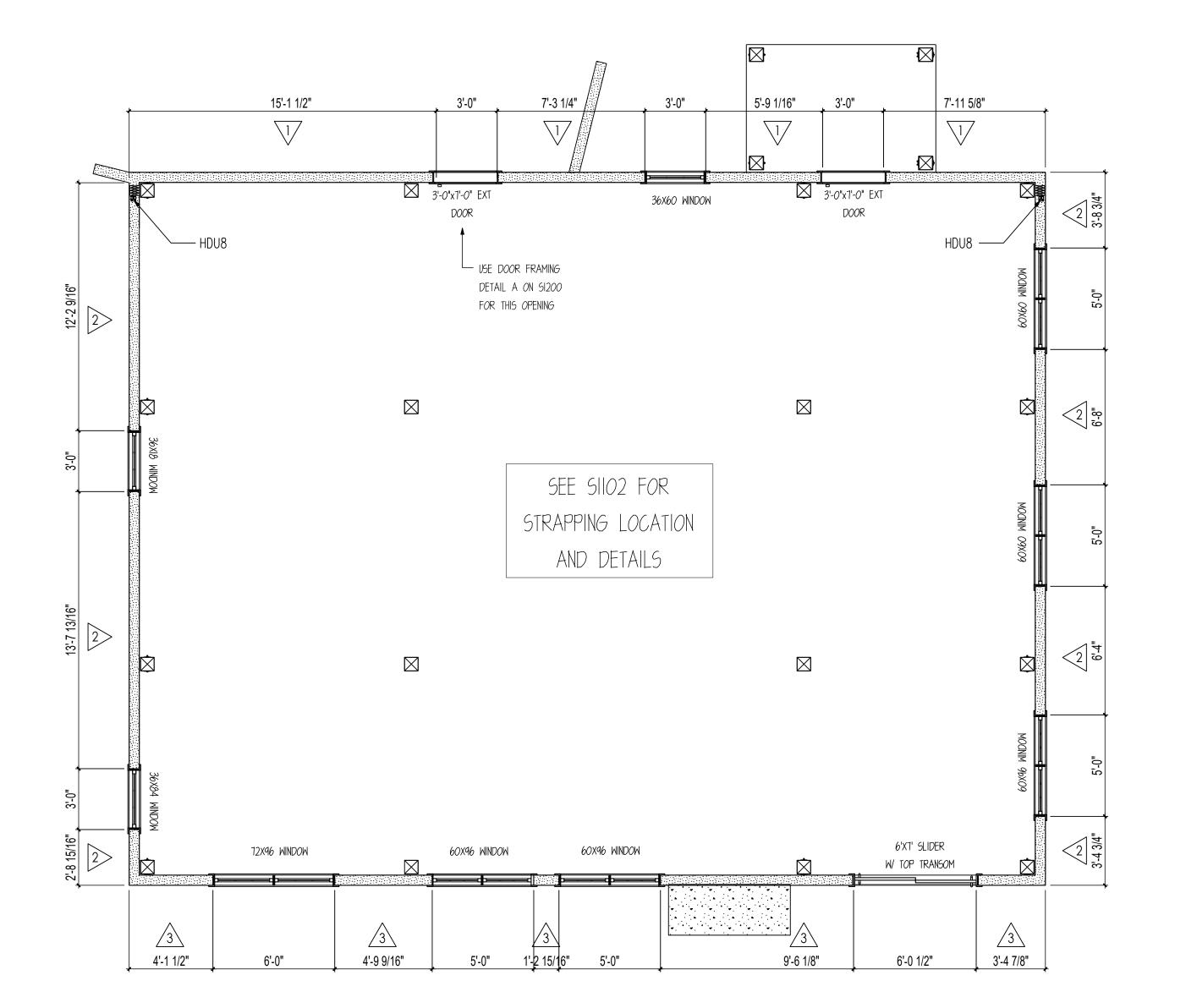
HOLDOWN DESCRIPTIONS -REFER TO MANUF. SPECS FOR FURTHER INFORMATION ABOUT PRODUCT AND ATTACHMENTS -USE SIMPSON SET EPOXY OR EQUIV. SIMPSON HDU8-SDS2.5 ATTACH INTO MIN. 3.5" FRAMING W/ 20 SDS 1/4"X2-1/2" SCREWS. ANCHOR INTO FOUNDATION W/

\*\* HOLDOWN UPLIFT 5800#. MAX SHEAR PARALLEL TO WALL: 400PLF\*\*

7/8" DIA. THREADED ROD (EPOXY

SET) MIN. 12" EMBEDMENT.

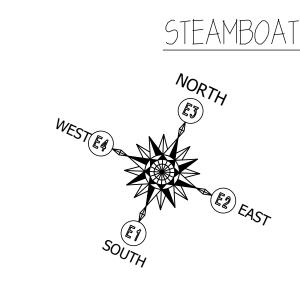




### MAIN FLOOR SHEAR WALL LAYOUT

SCALE: 1/4" = 1'

NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.





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PROJECT INFORMATION:

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200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential STYLE: SINGLE SLOPE

> OTHER: --OTHER: --

PM: CM

DRAWING INFORMATION:

DRAWN BY: BL DATE: 10/16/24

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STATUS: STRUCTURAL

OTHER: --OTHER: --

SHEET NOTES

SHEET

	SHEAR WALL SCHEDULE									
MARK	WALL SHEATHING	NAIL SIZE	EDGE NAIL SPACING	FIELD NAIL SPACING	SPECIAL NOTES					
		-	-							
	1/2" OSB SHEATHING	8D NAILS	6" O.C.	12" O.C.						
2	1/2" OSB SHEATHING	8D NAILS	4 " O.C.	12 " O.C.						
3	1/2" OSB SHEATHING	8D NAILS	3" O.C.	12 " O.C.						
SHEAR	WALL NOTES:									

1. VERT. 2X6 (NOM) STUDS @ 16 " O.C. MAX. 2. ALL FIELD NAILING TO BE 12" O.C. AND ALL UNSUPPORTED PANEL

EDGES ARE TO BE BLOCKED.

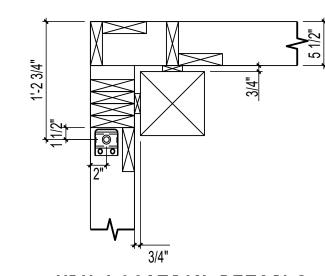
3. ALL SHEAR WALLS HAVE 2x6 TREATED SILL PLATE.

4. ALL SILL PLATE ANCHORED TO FOUNDATION W/ 1/2"X6" SIMPSON TITEN HD ANCHORS.

5. ANCHOR BOLTS SHALL BE PLACED @ ALL JAMBS, CORNERS, AND

INTERSECTIONS. 6. FIELD VERIFY ALL DOOR AND WINDOW OPENINGS ON SITE PRIOR TO

FRAMING OPENINGS.

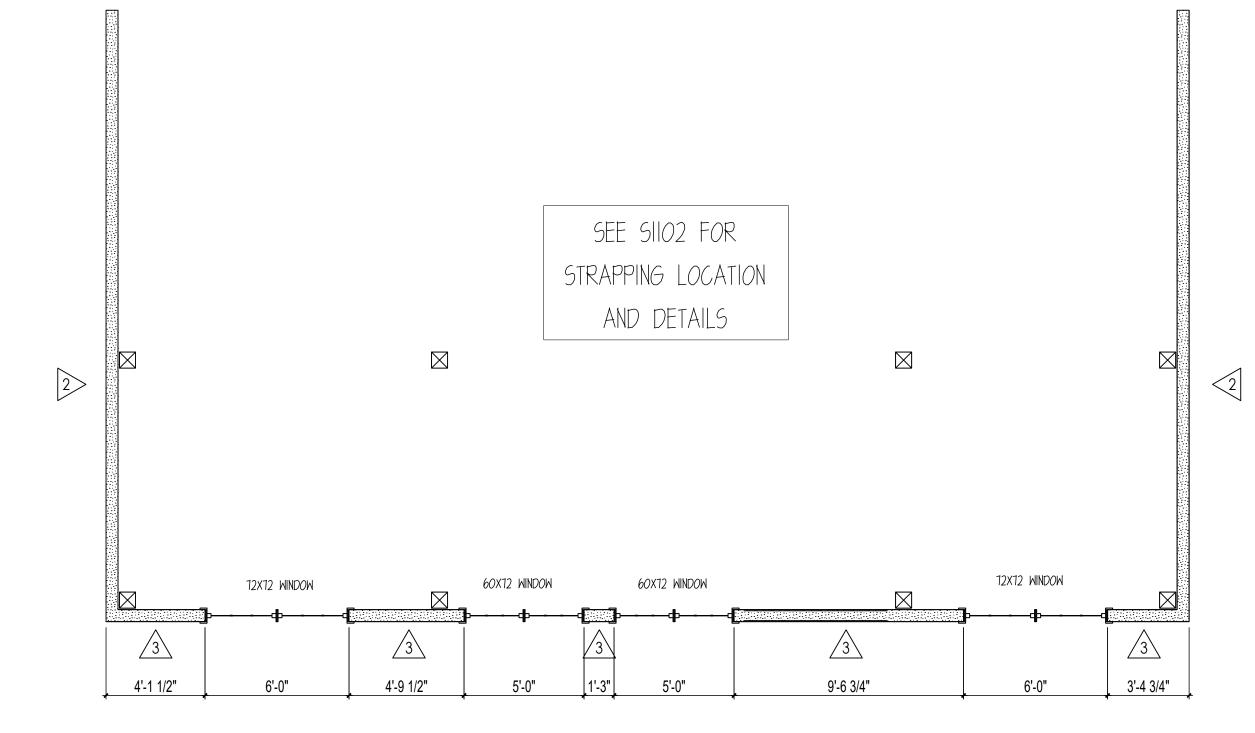


HDU LOCATION DETAILS SCALE: 1" = 1'

HOLDOWN DESCRIPTIONS -REFER TO MANUF. SPECS FOR FURTHER INFORMATION ABOUT PRODUCT AND ATTACHMENTS -USE SIMPSON SET EPOXY OR EQUIV.

SIMPSON HDU8-SDS2.5 ATTACH INTO MIN. 3.5" FRAMING W/ 20 SDS 1/4"X2-1/2" SCREWS.
ANCHOR INTO FOUNDATION W/
7/8" DIA. THREADED ROD (EPOXY SET) MIN. 12" EMBEDMENT.

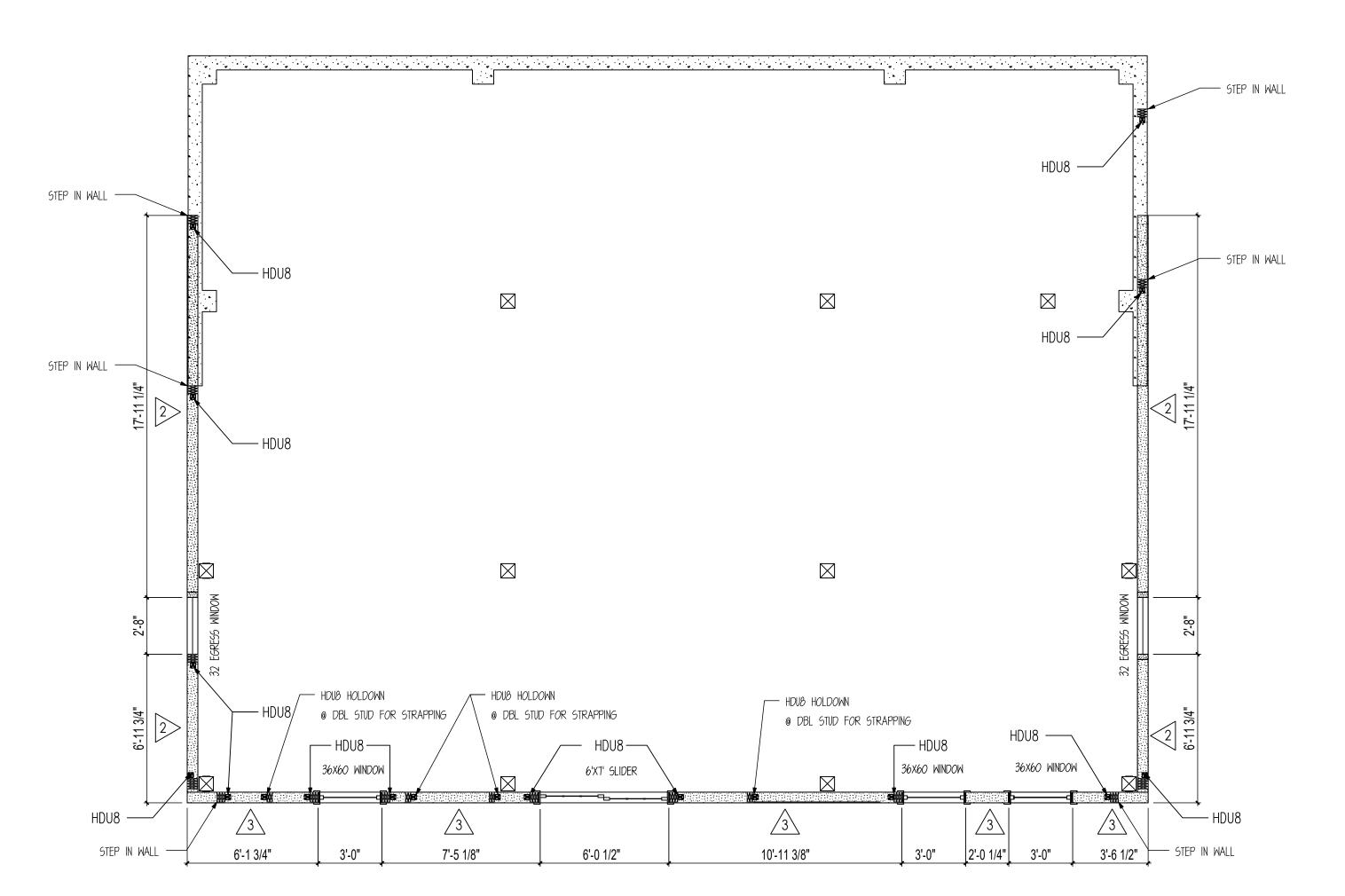
\*\* HOLDOWN UPLIFT 5800#. MAX SHEAR PARALLEL TO WALL: 400PLF\*\*



## UPPER SHEAR WALL LAYOUT

SCALE: 1/4" = 1'

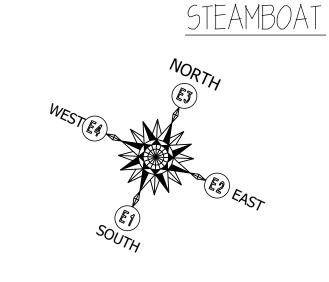
NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.



### LOWER SHEAR WALL LAYOUT

SCALE: 1/4" = 1'

NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.





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CUSTOMER INFORMATION:

DAN **MCENTEE** 

PROJECT INFORMATION:

## MCENTEE GROUP HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential STYLE: SINGLE SLOPE

> OTHER: --OTHER: --

> > PM: CM

DRAWING INFORMATION:

DRAWN BY: BL DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: --

OTHER: --

SHEET NOTES

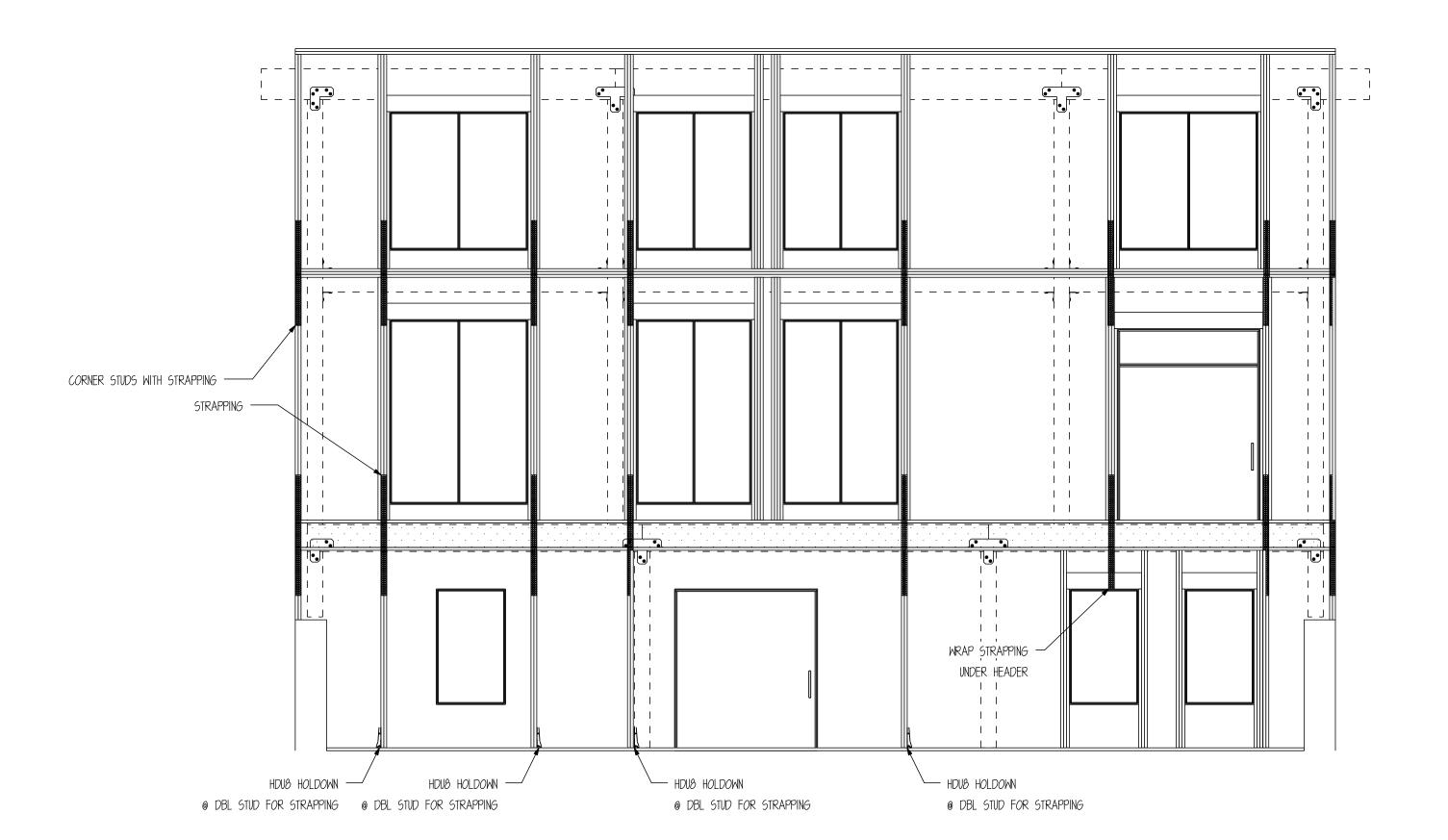
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SHEET

STRAPPING DESCRIPTIONS

-SIMPSON CMSTC16 STRAP -25" MIN. END LENGTH -ATTACH INTO DBL STUD



WALL FRAMING FOR STRAP LAYOUT

SCALE: 1/4" = 1'

NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.



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CUSTOMER INFORMATION:

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PROJECT INFORMATION:

MCENTEE GROUP
HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487

NUMBER: MGR0524-1

CATEGORY: Residential

STYLE: SINGLE SLOPE

OTHER: --

OTHER: --

PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

DATE: 10/16/24

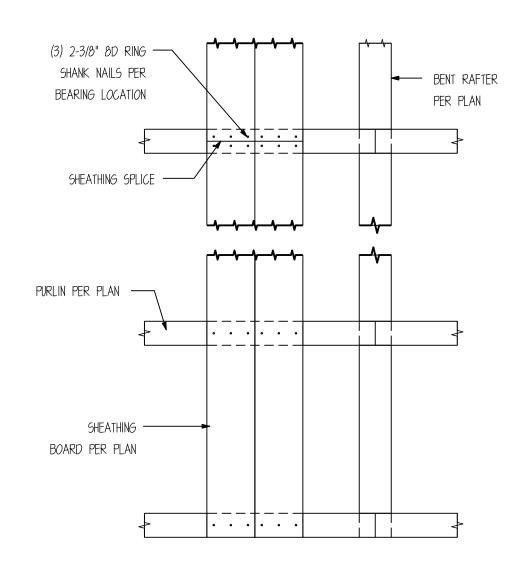
STATUS: STRUCTURAL

OTHER: --

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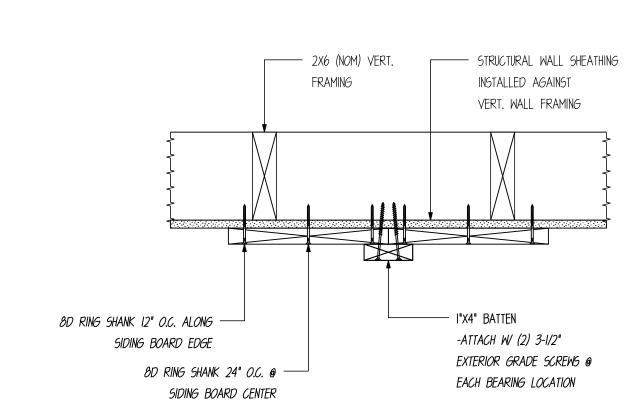
SHEET NOTES

SHEET

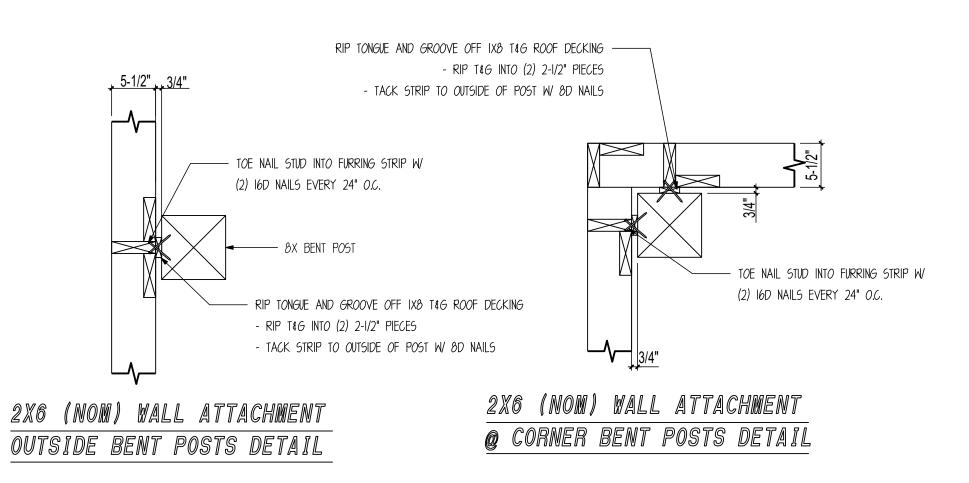


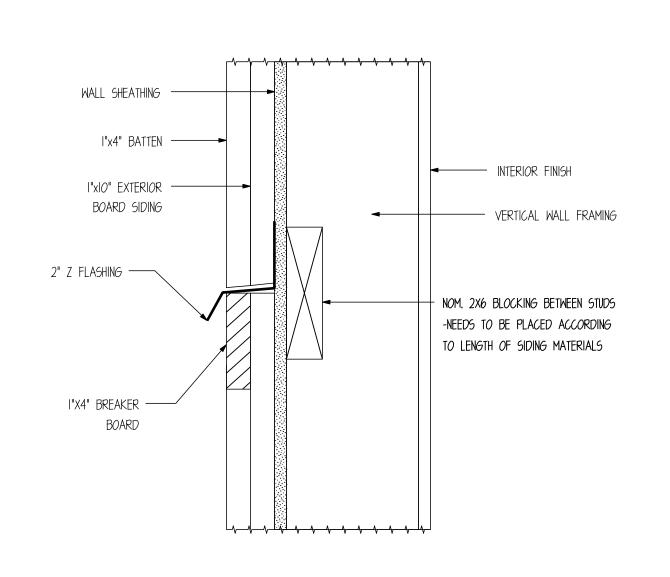


NOTE: FASTENERS NOT SUPPLIED IN SAND CREEK POST & BEAM BARN KIT

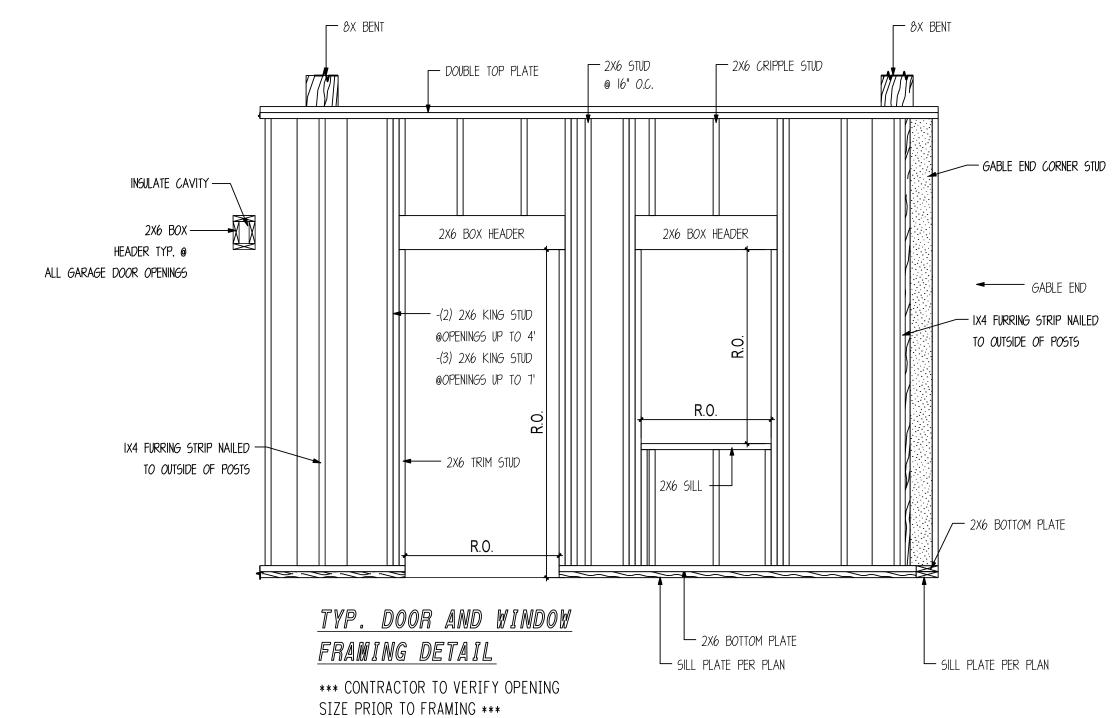


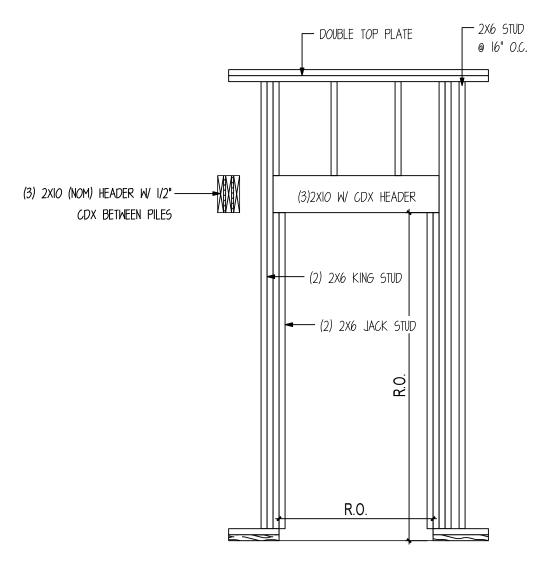
SIDING & BATTEN ATTACH. DETAIL





BREAKER BOARD/ SIDING SPLICE DETAIL





### DOOR FRAMING DETAIL A

\*\*\* CONTRACTOR TO VERIFY OPENING SIZE PRIOR TO FRAMING \*\*\*

- PURLIN SCREWS PROVIDED BY TIMBERLYNE.

RADO AICENTALISMON	
32718  SONONAL ENGLISH	
NONAL CONTRACTOR	

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NOTE: WALLS TO BE VERTICAL FRAMED OUTSIDE

OF POSTS

FASTENING SCH	<u> </u>		DRAV
CONNECTION	FASTENING	LOCATION	
TOP PLATE TO STUD AND NAIL	2-16d		
STUD TO BOTTOM PLATE	4-8d, TOENAIL OR 2-16d, END NAIL		Sī
DOUBLE STUDS, FACE NAIL	16d @ 24" (610 mm) O.C.		
DOUBLED TOP PLATES, TYP FACE NAIL	16d @ 16" (406 mm) O.C.		
CONTINUOUS HEADER, TWO PIECES	16d @ 16" (406 mm) O.C. ALONG EACH EDGE		C
CONTINUOUS HEADER TO STUD, TOENAIL	4-8d		
STRUCTURAL WALL SHEATHING	SEE SHEAR WALL PLAN	SEE SHEAR WALL PLAN	
IXIO & IXI2 SIDING	8D GALV. RING SHANK NAILS 12" O.C.	VERT. BOARD EDGE	
IX2 & IX4 BATTEN	(2)-EXTERIOR GRADE SCREWS @ 24" O.C.	OVER VERT. SIDING SEAMS	
PURLINS TO BENTS	(2)-#ITXI2" SCREWS (PURLIN SCREWS)	@ EA. END.	
I"X8" STRUCTURAL ROOF SHEATHING	(3)-8D GALV. RING SHANK	@ EA. BEARING LOCATION	
LOFT JOIST TO TIE BEAM	(2)-I6D	TOENAIL	
2X6 T&G DECKING TO JOISTS	(2)-I6D	BLIND & FACE NAIL	
ROOF NAILBASE INS. PANEL	(24)-INSULATION PANEL SCREWS	EA. 4'X8' PANEL (FIELD OF ROOF)	
TO PURLINS OR FURRING STRIPS	(21)-INSULATION PANEL SCREWS	EA. 4'X8' PANEL (PERIMITER OF ROOF)	

- FOR NAILING NOT SHOWN ON THESE DRAWINGS REFER TO IBC NAILING SCHEDULE
- ALL NAILS TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR
- NOT ALL MATERIALS IN SCHEDULE MAY BE USED ON THIS PLAN.
- ALL NAILS COMMON UNLESS NOTED

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OTHER: -OTHER: -PM: CM

DRAWING INFORMATION:

DRAWN BY: BL

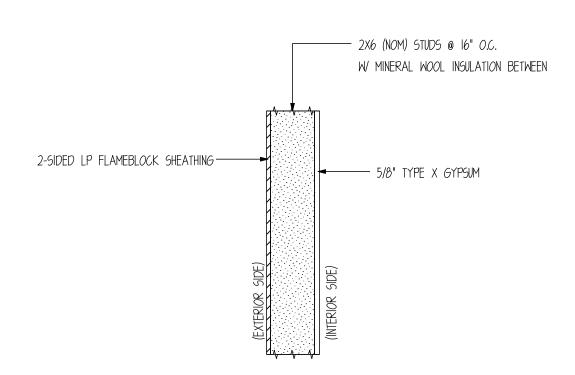
DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: -
OTHER: --

SHEET NOTES

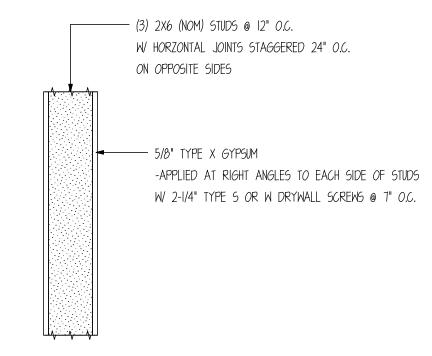
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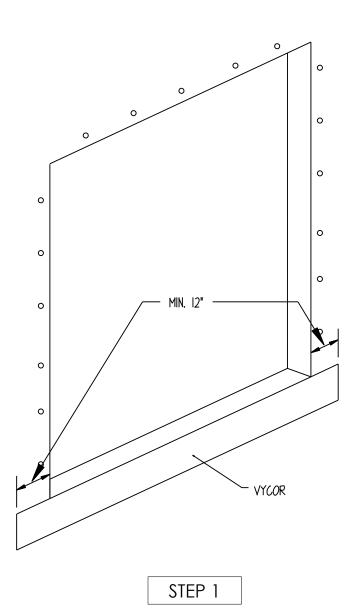
V EXTERIOR FIRE WALL DETAIL

SCALE: 1" = 1'-0"

1-HOUR ETIHER SIDE LOAD RESTRICTED TO 73% STUD CAPACITY, CALCULATED ASSUMING A SLENDERNESS RATIO OF I/D=21



W SCALE: 1" = 1'-0"



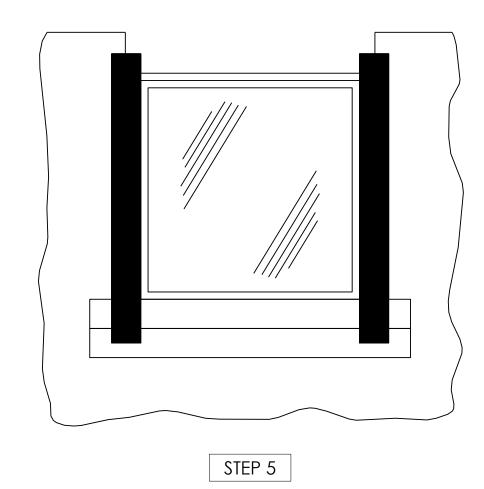
INSTALL 12" WIDE MOISTSTOP PER DIAGRAM, LEAVING RELEASE PAPER ON BACKSIDE, PLACE PAPER SIDE AGAINST SHEATHING AND ATTACH BY STAPLING OR NAILING ALONG TOP EDGE.

STEP 4

PLACE 60 MIN BUILDING PAPER AROUND WINDOWS AS SHOWN

CONTINUOUS AROUND STRUCTURE - REMOVE BACKING FROM

MOISTSTOP SILL PIECE AND ADHERE TO BUILDING WRAP



STEP 2

INSTALL 12" MOISTSTOP JAMB PIECES PER

DIAGRAM, ADHERING TO

SHEATHING AND FRAMING.

FOR ADDITIONAL

ATTACHMENT, STAPLE

PERIMETER EDGES

ABOVE SILL AREA.

UPON COMPLETION OF

STEPS (I THRU 4)

USING A J-ROLLER,

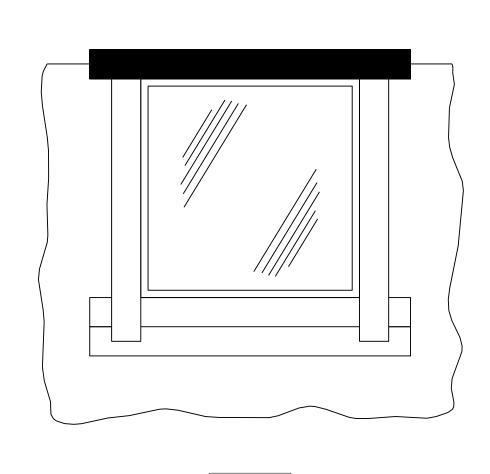
APPLY PRESSURE AND

ROLL ENTIRE SURFACE

OF MOISTSTOP TO REMOVE WRINKLES &

AIR POCKETS.

INSTALL 20 MIL. VYCOR TAPE PER DIAGRAM ADHERING
TO THE WINDOW SILL NAILING FLANGE.



STEP 3

USE 1/2" GALVANIZED

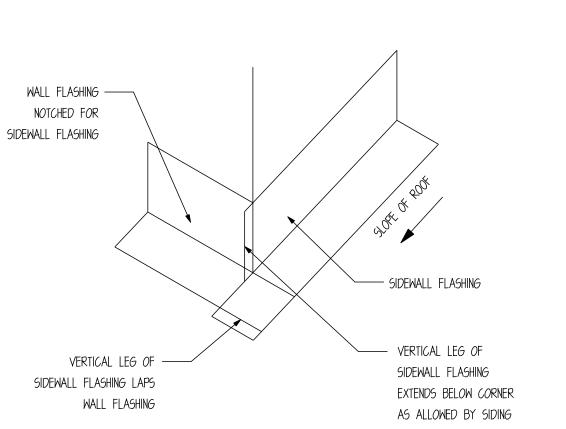
ROOFING NAILS

- WINDOW UNIT WITH TOP

NAILING FLANGE

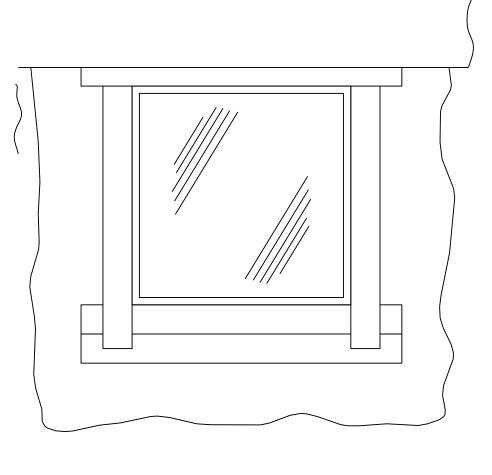
Installed

INSTALL 20 MIL. VYCOR PER DIAGRAM, ADHERING TO THE WINDOW
HEAD FLANGE AND SHEATHING.
UPON COMPLETION OF STEPS, USING A J-ROLLER, APPLY PRESSURE
AND ROLL ENTIRE SURFACE OF VYCOR TO REMOVE WRINKLES AND AIR
POCKETS.



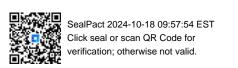
KICK-OUT FLASHING

SCALE: N.T.S.



INSTALL 60 MIN. BUILDING PAPER AS SHOWN CONTINUOUS AROUND STRUCTURE







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Wayne, NE 68787
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Texas: 613 Hwy 46 E.

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Boerne, TX 78006

877-680-1680

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STATUS: STRUCTU

STATUS: STRUCTURAL

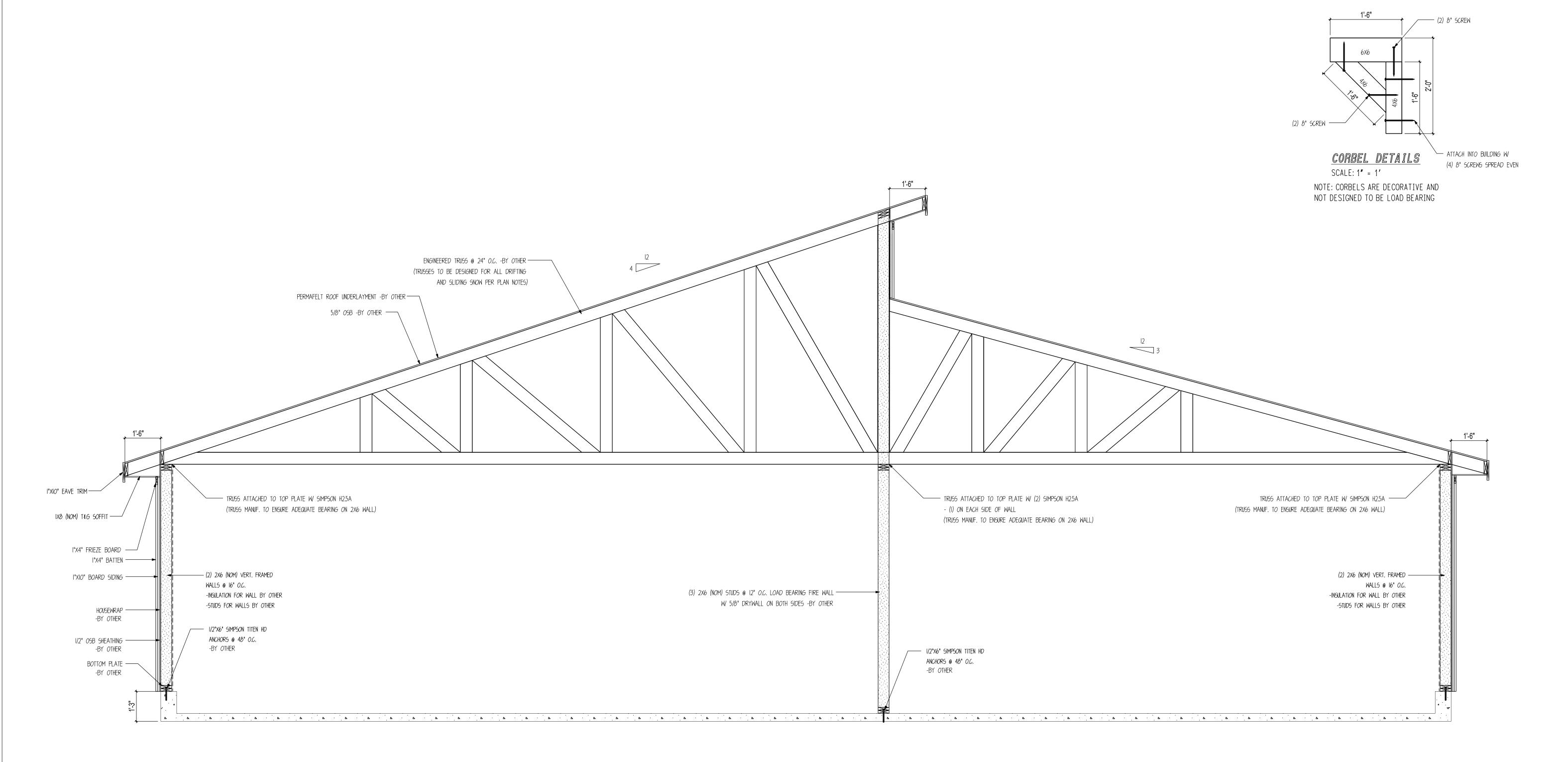
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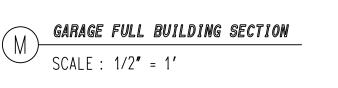
OTHER: --

OTHER: --

SHEET NOTES

SHEET





NOTE: SEE ENGINEERED TRUSS PLAN FOR MORE
DETAILS AND INFORMATION ON GARAGE BUILDING





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OTHER: --

SHEET NOTES

SHEET

	SI	HEAR W	ALL SCHED	ULE	
MARK	WALL SHEATHING	NAIL	EDGE NAIL	FIELD NAIL	SPECIAL NOTES
		SIZE	SPACING	SPACING	
$\wedge$	1/2" OSB	8D	6" O.C.	12" O.C.	
	SHEATHING	NAILS			
SHEAR	WALL NOTES:				

GARAGE (BY OTHER) NORTH

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REVIEWED **FOR** CODE COMPLIANCE 11/15/2024

CUSTOMER INFORMATION:

DAN **MCENTEE** 

PROJECT INFORMATION:

MCENTEE GROUP HOME

200&202 SUNDANCE CT STEAMBOAT SPRINGS,CO 80487 NUMBER: MGR0524-1

CATEGORY: Residential STYLE: SINGLE SLOPE

OTHER: --OTHER: --

PM: CM

DRAWING INFORMATION:

DRAWN BY: BL DATE: 10/16/24

STATUS: STRUCTURAL

OTHER: --

OTHER: --

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S1301

1. VERT. 2X6 (NOM) STUDS, SEE S1300 FOR REQ. STUD SPACING 2. ALL FIELD NAILING TO BE 12" O.C. AND ALL UNSUPPORTED PANEL

EDGES ARE TO BE BLOCKED. 3. ALL SHEAR WALLS HAVE 2x6 TREATED SILL PLATE.

4. ALL SILL PLATE ANCHORED TO FOUNDATION W/ 1/2"X6" SIMPSON TITEN

HD ANCHORS.

5. ANCHOR BOLTS SHALL BE PLACED @ ALL JAMBS, CORNERS, AND

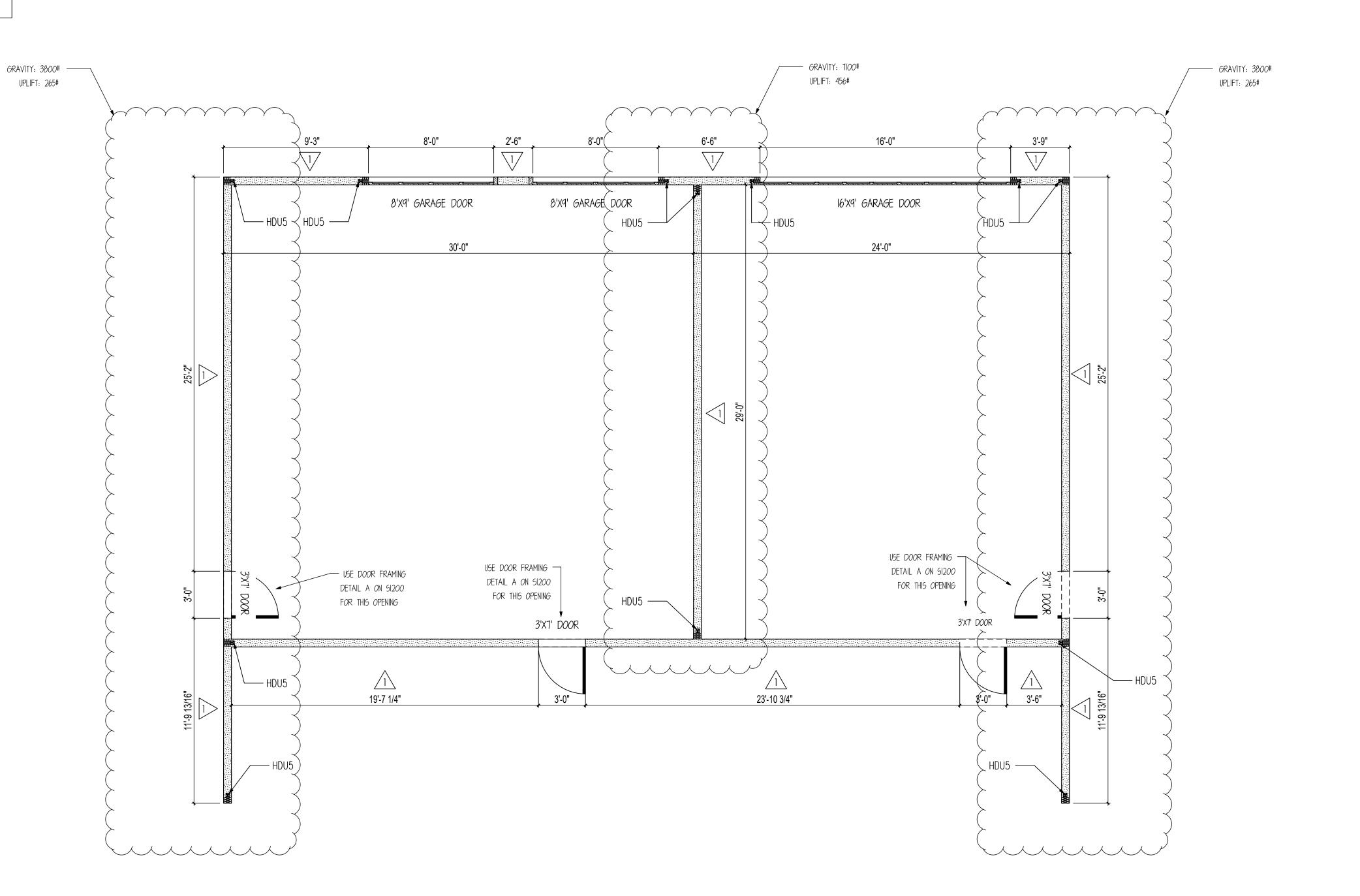
INTERSECTIONS.

6. FIELD VERIFY ALL DOOR AND WINDOW OPENINGS ON SITE PRIOR TO

FRAMING OPENINGS.

HOLDOWN DESCRIPTIONS -REFER TO MANUF. SPECS FOR FURTHER INFORMATION ABOUT PRODUCT AND ATTACHMENTS -USE SIMPSON SET EPOXY OR EQUIV. SIMPSON HDU5-SDS2.5 ATTACH INTO MIN. 3.5" FRAMING W/ 14 SDS 1/4"X2-1/2" SCREWS. ANCHOR INTO FOUNDATION W/ 5/8" DIA. THREADED ROD (EPOXY SET) MIN. 12" EMBEDMENT.

\*\* HOLDOWN UPLIFT 3600#.\*\*



### GARAGE FLOOR SHEAR WALL LAYOUT

SCALE: 1/4" = 1'

NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES PRIOR TO FRAMING.

GENERAL

All work must comply with state and local codes, based on the local Zoning Regulations, 2021 International Building Code, 2021 International Residential Code, 2021 International Plumbing Code, 2021 the International

Mechanical Code, International Fuel Gas Code, 2021 Energy Conservation Code, International Existing Building Code (if applicable), 2021 IWUICC, 2023 Colorado Model Electric ventilated. & Solar Ready Code, and the 2023 National Electric code. The contractor shall comply with all laws, ordinances, rules and regulations of any public authority bearing on the performance of the work, including 0.S.H.A.

Location of the utilities (electrical, telephone, cable TV, gas, water, sewer) shall be verified before construction begins.

methods are the responsibility of the contractor. There 4) Glazing in quards and railings is no implication of the construction safety requirements or building methods contained in these drawings.

Actual site conditions may require that some of the components of the work should be done differently than shown on these drawings. All dimensions and conditions to 7) Site-built Windows be verified by the contractor prior to construction. Verify changes with the designer and engineer.

These drawings represent a simplified builder's set of plans. Additional detailing may be required of the engineer during construction upon request.

Any variation which requires a physical change from these plans must be brought to the attention of the designer and if min. 36" blw. deck engineer in order to maintain the design intent of the project.

All work connected with this project by any trade involved above the handrail. The surface of stairs shall be slip shall be of the highest quality attainable in accordance with the professional practice of the trade and code standards.

### DIMENSIONS

All interior and exterior dimensions are to face of stud or face of concrete, U.N.O. All exterior walls are nominal 2x6 stud construction, U.N.O. All interior walls are nominal 2x4 stud construction, U.N.O.

Do not scale drawings.

The water closet stool shall be located in a clear space of not less than 30" in width. The clear space in front of the water closet stool shall be not less than 21".

Allic access shall be provided w/ a min. clear opening of 22"x30" and min. 30" head height.

Minimum clear ceiling height is 7ft for habitable space & hallways & 6'-8" for bathrooms, laundry rooms & stairs. Exceptions apply for stoped ceilings and basements per

If any discrepanciesare found in these drawings notify engineer and/or designer immediately.

Exterior roofs, flashing, ledges, concrete & other surfaces shall slope min. 1#4:12 to prevent water ponding. Landings shall also slope max. 1#4:12 to prevent slipping. Covered garages or carports floor surface shal stope min. 1#8:12 to provide positive drainage to drain. WALLS

Exterior walls open to the outside air must have a class IIVapor relarder ("smart vapor relarder" or kraft faced ball with .1 - 1.0 perm) on the inside of the framed wall (IRC R702.7). However, if min. R-15 spray foam is used in the exterior wall, Class III vapor retarder (1 - 10 perm) FIRF PROTECTION can be used w/o a class II vapor relarder on the inside of Provide smoke detection per IRC section R314 & carbon the wall (IRC, Section R702.7.1). Basement or exterior walls below grade shall only have a Class III vapor relarder on the interior of the wall to allow drying to the interior.

### CRAWL SPACE

Unvented crawl spaces shall have Class I vapor retarder (sheet polyethylene, or material w/ perm rating less than .1) covering exposed earth per R408.3. Overlap vapor retarder joints min. 6" and seat or tape seams. Extend & seal edges min. 6" up słem walls

Crawl space access shall be provided w/ min. 18"x24" through the floor & min. 16"x24" through the wall.

If mechanical equipment is provided in a crawlspace, the min. access provided shall be large enough to remove the largest appliance but not smaller than 30"x22".

### CHIMNEYS & FIREPLACES (IRC CHAPTER 10)

Wood or other combustible materials shall not be placed within 2" from the front face and sides and not less than 4" from the back of masonry fireplaces.

All masonry chimneys shall extend 2ft. higher than any portion of a building within 10' & min. 3ft. above the highest point where the chimney penetrates the roof.

STATE OF COLORADO MODEL ELECTRIC AND SOLAR READY CODE The electrical panel shall have a reserved space for a minimum two-pole circuit breaker for each branch circuit provided for future electric equipment/appliances. The electrical receptacle, junction box and dedicated circuit breaker space shall be labeled for their intended future electric equipment or appliance use. The electrical receptacle and junction box shall be located w/in 3' of the combustion equipment/appliances or dedicated future equipment/appliances.

Min. (1) EV ready space shall be provided per dwelling unit w/ a branch circuit that terminates at a receptacle w/in 3' of each EV space. Branch circuit shall have a min. 8.3 kVA (40A 208/240V) capacity. Electrical panel, distribution equip, directory & outlets or enclosures shall be marked "For future electric vehicle supply equipment"

Electrical equipment associated with each parking space type, including branch circuits, conduit or raceway, junction boxes, receptacle, and EVSE shall be properly labeled and installed.

### WINDOWS

Habitable spaces within dwelling units shall have natural light provided by exterior openings equal to 8% of the floor area. Natural ventilation shall be provided by means of operable exterior openings equal to 4% of the floor area. Laundry rooms, toilet rooms and bathrooms shall either have an operable window or be mechanically

Safely glazing shall be provided in the following

hazardous locations: 1) In doors where glazed opening is greater than 3"~ 2) Within 24" adjacent to either side of doors if less than 60" above the walking surface

3) Single panes where all following conditions exist: greater than 9 sq.ft., less than 18" above the floor, top Note for all options, the roof shall dry to the inside, All on site construction safety and construction means and edge higher than 36" above the floor and within 36" horizontal distance of walking surface.

> 5) Glazing containing wet surfaces of bathtubs, showers, pools, etc. if less than 60" to walking surface. 6) Adjacent to the bottom stair landing w/in 60" arc length if less than 36" above landing

8) Skylights and glazing sloped more than 15°

Sleeping rooms and basements w/ habitable space shall have min. one operable emergency escape w/ min 5.7 s.f. openable area, min. 20" clear width or min. 24" clear hqt. & max 44" sill height. (R310.2). Egress window wells 4.^IInsulation may be installed above the structural roof shall be provided below grade and are allowed blw decks

### STAIRWAYS:

resistant. Minimum vertical headroom is 6'-8" from the nosing. Max. riser height is 7[", and min. tread depth is Asphalt shingles when applied on 2:12 to 4:12 roof 10". Max. vertical rise shall be 12'-7" between landings.

Landings shall be provided at the top and bottom of each stairway with a depth no less than 36" and a width no less than the width of the stairway served. Landings are Metal panel roofing shall have min. ;:12 stope & comply not required at the top of interior stairs provided that a door does not swing over the stairs. Max. 1 step down to landing allowed at outside of exterior doors.

The greatest riser height or nosing within a flight of stairs shall not exceed the smallest by more than 3#8". At open risers higher than 30" above the floor or grade, openings shall not be greater than 4"

Handrails shall be provided on at least one side of each continuous stair flight with four or more risers, (a handrail is not required on staircases that have 4 risers if they are less than 30" above surrounding surfaces w/in Roofing materials must have Class A Fire ratings 36" horizontal distance from the stairs). Handrails shall MECHANICAL/ENERGY SYSTEMS:SYSTEMS: be 34"-38" tall, measured vertically from the sloped plane of the tread nosings. Handrails shall comply with R311.7.8.

Open sides of stairways, landings, ramps, balconies and porches which are more than 30" above grade shall be protected by a quardrail. All quardrails must be 36" above finished floor and shall allow no more than a 4" diameter sphere to pass through any portion of the railing per IRC R312.

Walls and ceilings of enclosed usable space under stairs requires 1/2" gypsum wallboard. The door to access such spaces need not be rated.

monoxide detection per IRC section R315.

Provide 2x Fireblocking in concealed walls at 10' max. o.c., and at dropped ceiling transitions, and at the top and bołłom of concealed słair stringers per IRC section Dishwashers shall be connected to a separate stand pipe

Opening between a private garage and residence shall be min. 1-3/8"thick, of solid wood, or solid honeycomb core steet doors or 20-min fire rated that are self-closing and self-latching. Openings between garages and steeping accordance with IRC, Chapter 14. rooms prohibited. Habitable rooms located above garages qaraqe ceiling.

Secondary dwelling units separated from a garage must have a 1-hr fire rated ceiling/floor and/or wall assembly snow is a danger to the meter set. per IRC, Section R302.3 to separate between the garage and dwelling spaces. Exterior wall supporting construction must have a min. of 5#8" type x gypsum on the inside face of the wall per RCRBD adopted exception to IRC, Section R302.3.1.

Provide min. 1#2" drywall on the underside of all TJI joists to protect the engineered webs in the event of a fire per IRC Sec. R302.13. If the floor is tocated over a crawl space not used for storage or fuet-fired or electric powered heating appliances, the drywall is not required.

Roof eaves and soffits shall be protected on the exposed non-combustible, or FRWT products per IWUIC Section 405.3 equipment or HVAC until submitted to RCRBD and approved.

### Gutters and Downspouts shall be noncombustible material Roof valley flashing shall be min. no. 26 galvanized

sheet gage, corrosion-resistant over min. 36" wide underlayment consisting of one layer of 72-lb mineral-surfaced nonperforated cap sheet along full lenght of valley

Exterior vents shall not exceed 144 sq..in. ea. & covered Freeze protection systems shall have automatic controls w/ non-combustible corrosion resistant mesh w/ max. ;" openings

ROOF ASSEMBLIES (IRC CHAPTER 8 & 9)ASSEMBLIES (IRC CHAPTER 8 & 9)

Roof ventilation of enclosed roof assemblies shall comply with R806 and shall provide min. net free ventitating area of 1#300 of the area of the vented space. Provide 40%-50% of the ventilators no more than 3ft. below the highest point of the roof, and the remainder at the eave. All vents shall be protected against entrance of rain or snow and shall have openings between 1#16" - 1#4". The same venting area shall be provided between the insulation and roof sheathing. Continuous soffit vents shall be max. 2\" wide

Unvented roof assemblies shall comply with R806.5 with1 of the 4 following prescriptive options:

thus Class I vapor retarder shall NOT be installed on the 1.^IIf air-impermeable insulation is used, it shall be

Class II vapor relarder, min. R-49, and be applied directly to the underside of sheathing.

2. ÎA combination of air-impermeable and air-permeable insulation may be used where min. R-30 air-impermeable is applied to underside of sheathing & shall be accompanied by min. R-30 continuous rigid board insulation above the

3. IAlternatively, R-30 air-impermeable insulation can be applied to the underside of sheathing, w/ min. R-30 air-permeable beneath.

sheathing as rigid board or sheet insulation to maintain 45 degrees on the underside of the structural roof sheathing.

Stairs shall have a minimum 36" clear width at all points Provide Grace 'ice and water shield' underlayment, or equivalent product, from the edge of roof overhangs to

> pitches shall & require double underlayment (apply a 19" strip of underlayment parallel to and starting at the eaves. Apply 36" wide sheets of underlayment, overlapping successive sheets 19") Re: R905.2

w/ R905.10. Apply underlayment in accordance w/ manufacturer's instructions

Attic access shall be provided if attic is more than 30" tall (measured from top of ceiling framing to underside of roof framing members for more than 30 sq. ft. Access shall have a rough-framed opening of min. 22"x30" with min. 30" clear headroom.

Snow quards shall be provided at the eave of all metal

Appliances located in garages and having an ignition source shall be elevated such that the source of ignition less than 18" above the floor.

If appliances are located in the crawl space, an ignition barrier shall be provided per IRC section R316.5.4 on all ceilings/walls of mechanical room in crawl space.

Dryer exhaust systems shall be independent of all other systems, shall transport the moisture to the outdoors and shall terminate on the outside of the building in accordance with M1501 and M1502 w/ min. 36" clearance to building openings or soffit vents.

All bathrooms shall be vented per IRC section 303.3.

All kitchens in new construction must have a Kitchen exhaust fan in accordance with Section M1505.4.4, or a ERV or HRV with an exhaust and supply line located within the kitchen area.

or approved air gap prior to connection to sanitary

Heating and Cooling equipment appliances shall be installed per manufacturers instructions and in

shall be protected w/ min 5#8" Type X gypsum board on the Corporation employee during a mandatory site visit to be scheduled after foundation is in place. Meters will not be allowed under a shedding roofline or where overhanging

> If located within Routt County (w/ the exception of the Town of Hayden), the building or dwelling unit shall be tested with a blower door test by a certified 3rd party and verified as having an air leakage rate not exceeding three air changes per hour. A certificate of completion must besubmitted to the Routt County Building Department prior to a TCO or CO being issued.

> Provide whole-house mechanical ventilation in accordance with Section M1505.4

> Heating load calculations and equipment sizing shallbe submitted for review and approval when applying for a mechanical permit. Do not install or inspect mechanical

Snow and ice-melt systems shall have automatic controlsto shut the system off when the surface or outdoor temperature is above 40 degrees F and snow is not falling. Sensor locations shall not be located w/in 5-ft of Public ROW or Private Road edge of walking/driving surface, or under a roofoverhang or any object that would shade the sensor during daylight hours.

to shut off the systems when the outdoor air temperatures are abv. 40 degrees F. and shall include a moisture sensor to shut the system off in absence of moisture

Heated outdoor snow melt systems shall not be allowed unless they are powered by a 100% renewable energy source, or by exceptions as listed in RCRBD Adoptions Ordinance.



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## THERMAL ENVELOPE NOTES

The building envelope shall be durably sealed to limit infiltration. the sealing methods between dissimilar materials shall allow for differential expansion and contraction. the following shall be caulked, gasketed, weather-stripped, or otherwise sealed with a barrier material, suitable film, or solid material:

- 1. All joints, seams, and penetrations
- 2. Site-built windows, doors, & skylights
- 3. Openings between window & door assemblies
- 4. Utility penetrations
- 5. Dropped ceilings & chases adjacent to the thermal envelope
- 7. Walls & ceiling separating a garage from conditioned spaces
- 8. Behind tubs & showers of exterior walls 9. Behind fireplace inserts
  - 10. Any other source of infiltration
- Windows, skylights, & sliding doors shall have an air infiltration rate of no more than 0.3 cfm per square foot. swinqing doors shall have an air infiltration rate of no more than 0.5 cfm per square foot.

Recessed luminaries installed in the building thermal envelope shall be sealed to limit air leakage between conditioned & unconditioned spaces by being ic rated & labeled with enclosures that are sealed or gasketed to prevent air leakage to the ceiling cavity or unconditioned space.

6. Knee walls

# PRESCRIPTIVE ENERGY CODE STANDARDS

	Re: 2021 International Energy Conservation Code rable R402.1.2									
			Insulation 8	& Fenestra	lion Requirem	)	•			
Climate Zone	Fenestration u-factor b,i	Skylight u-factor	Glazed Fenestration SHGC <sub>b</sub>	Ceiling R-Value	Wall Wood g Framing R-Value (2x6 wall)	Mass Wal R-Value	l Floor R-Value	Basement Wall <sup>c</sup> R-Value	Slab Perimeter R-Value & d Depth	Crawl c,g Space R-Value
7 & 8	0.30	0.55	NR	R-60*	R-27 cavity or R-20+R-5ci	19/21	38	R-15ci or R-19	R-10ci for 4 ft. deep around perimeter	R-15ci or R-19 or R-13+R-5ci
	R-Values are mi	inimums. U-f	`actors & SGHC a	are maximu	ums. When insu	ilation is	install	ed in a cav	viły which is leg	ss than

- the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- "ci" means continuous insulation on the interior or exterior surface of the wall. "R-19" at basement walls shall be cavity insulation or shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior surface of the wall.
- R-5 shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-vale for slabs as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend

"Cavity" insulation shall be entirely within the wall cavity, "R-20+R-5ci" means R-20 cavity insulation plus R-5

- continuous insulation Mass walls shall be in accordance w/ Section R402.2.5. The second R-value applies where more than half of the
- Max. U-factor of .32 in Climate Zones 3-8 to vertical fenestration products at elevations abv. 4,000 ft.
  - Or min. R-49 w/ min. 2" closed cell foam

insulation is on the interior of the mass wall



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