

Lincoln Avenue

1206 Lincoln Avenue
Steamboat Springs, Colorado 80487

Permit Set

February 10, 2024 Permit Set

REVIEWED
FOR
CODE
COMPLIANCE
07/09/2024

REVIEWED
FOR
CODE
COMPLIANCE
10/28/2024

GENERAL NOTES

1. DUTY OF COOPERATION NOTICE: PUBLICATION & ACKNOWLEDGMENT OF THESE DOCUMENTS INDICATES COLLABORATION AMONG THE BUILDING/LAND PROPRIETOR, THEIR GENERAL CONTRACTOR & SUB-CONTRACTORS. DESPITE THE FACT THAT THE DRAWINGS WERE PRODUCED WITH DUE DILIGENCE & ATTENTION TO DETAIL, THEY DO NOT GUARANTEE PERFECTNESS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE APPLICATION OF THESE DOCUMENTS SHALL BE IMMEDIATELY COMMUNICATED TO THE BUILDING/LAND PROPRIETOR

2. DO NOT SCALE DRAWINGS. GENERAL CONTRACTOR & SUBCONTRACTORS TO EXAMINE & VERIFY DIMENSIONS, CONDITIONS & UTILITY LOCATIONS BOTH ON THE PLANS & IN THE FIELD. NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS WITHIN THE DRAWINGS, SPECIFICATIONS & SCHEDULES WITHOUT DELAY & PRIOR TO COMMENCEMENT OF ESTIMATING, BIDDING & CONSTRUCTION, TYP.

3. ALL LABELED FEATURES DESCRIBE EXISTING CONDITIONS UNLESS PRECEDED BY THE WORD "NEW".

4. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE & LOCAL CODES. SECURE ALL REQUIRED PERMITS & APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION. ALL REFERENCES TO CODE SECTIONS HEREIN REFER TO THE APPLICABLE CODES W/ LOCAL AMENDMENTS. G.C. (GENERAL CONTRACTOR) TO ENSURE CODE COMPLIANCE.

5. PLAN DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF STEEL, TIMBER, STUD COLUMNS, OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

6. PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO CEILING AND WALL MOUNTED FIXTURES, TOILETS, TOILET ACCESSORIES, CABINETS, COUNTERTOPS, SHELVES, CLOSET RODS AND FALSE BEAMS.

7. IN THE EVENT THAT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, THEY SHALL IMMEDIATELY NOTIFY THE DESIGNER. FAILURE TO GIVE 10 DAY NOTICE TO DESIGNER SHALL NOT CONSTITUTE A DELAY IN THE PROJECT.

8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. THIS PROJECT IS GOVERNED BY THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL RESIDENTIAL CODE. COMPLIANCE IS MANDATORY. THE CONSTRUCTION DOCUMENTS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO ALL RELEVANT CODES INCLUDING IBC AND ALL LOCAL AND REGIONAL CODES.

9. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVALS FROM THE ARCHITECT/ENGINEER BEFORE ANY CUTTING, NOTCHING, OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STRUCTURAL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

10. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. ALL UTILITIES SHALL BE LOCATED TO MINIMIZE EXCAVATION AND VEGETATION IMPACTS TO THE SITE.

ABBREVIATIONS

#	Pound OR Number
@	And
A	Awning Window
ACT	Acoustic Ceiling Tile
AD	Area Drain
AFF	Above Finished Floor
ALUM	Aluminum
ANOD	Anodized
BSMT	Basement
BYND	Beyond
BOT	Bottom
C	Casement Window
CIP	Cast In Place
CHNL	Channel
CJ	Control Joint
CLG	Ceiling
CLR	Clear
CMU	Concrete Masonry Unit
COL	Column
COMPR	Compressible
CONC	Concrete
CONT	Continuous
CPT	Carpet
CT	Ceramic Tile
CTYD	Courtyard
DBL	Double
DEMO	Demolish or Demolition
DIA	Diameter
DIM	Dimension
DIMS	Dimensions
DN	Down
DR	Door
DWG	Drawing
EA	Each
EJ	Expansion Joint
EL	Elevation
ELEC	Electrical
ELEV	Elevator or Elevation
EPDM	Ethylene Propylene Diene M-Class (Roofing)
EQ	Equal
EXIST	Existing
EXP	Expansion Joint
EXT	Exterior
F	Fixed Window
FD	Floor Drain or Fire Department
FEC	Fire Extinguisher Cabinet
FIXT	Fixture
FLR	Floor
FM	Filled Metal
FO	Face Of
FND	Foundation
GA	Gauge
GALV	Galvanized
GWB	Gypsum Wall Board
HC	Hollow Core
HI	High
HM	Hollow Metal
HP	High Point
HR	Hour
HVAC	Heating, Ventilating, And Air Conditioning
IRGWB	Impact Resistant Gypsum Wall Board
LO	In Lieu Of
INSUL	Insulated or Insulation
INT	Interior
LO	Low
MAX	Maximum
MO	Masonry Opening
MECH	Mechanical
MEMBR	Membrane
MIN	Minimum
MRGWB	Moisture-Resistant Gypsum Wall Board
MTL	Metal
NIC	Not In Contract
NO	Number
NOM	Nominal
OC	On Center
OH	Overhang
OPP	Opposite or Opposite Hand
OZ	Ounce
PCC	Pre-Cast Concrete
PLUMB	Plumbing
PLYD	Plywood
PT	Pressure Treated
PNT	Paint or Painted
PVC	Polyvinyl Chloride
RBR	Rubber
RCP	Reflected Ceiling Plan
RD	Roof Drain
REQD	Required
RM	Room
SH	Single Hung Window
SIM	Similar
SI	Sliding Window
SPEC	Specified OR Specification
SPK	Sprinkler or Speaker
SSTL	Stainless Steel
STC	Sound Transmission Coefficient
STL	Steel
STRUCT	Structure or Structural
T&G	Tongue And Groove
TELE	Telephone
TME	To Match Existing
TO	Top Of
TCC	Top Of Concrete
TOS	Top Of Steel
TPD	Toilet Paper Dispenser
T/D	Telephone/Data
TYP	Typical
UNO	Unless Noted Otherwise
US	Underside
VIF	Verify In Field
VP	Vision Panel
W/	With
WC	Toilet
WD	Wood

SYMBOLS

EXTERIOR ELEVATION IDENTIFICATION

1 DRAWING NUMBER
A4.01 SHEET NUMBER

INTERIOR ELEVATION IDENTIFICATION

99 DRAWING NUMBER
A7.01 SHEET NUMBER

DETAIL IDENTIFICATION

1 DRAWING NUMBER
A9.01 SHEET NUMBER

WALL SECTION IDENTIFICATION

1 DRAWING NUMBER
A5.11 SHEET NUMBER

BUILDING SECTION IDENTIFICATION

1 DRAWING NUMBER
A5.01 SHEET NUMBER

ENLARGED DETAIL IDENTIFICATION

1 DRAWING NUMBER
A6.01 SHEET NUMBER

DOOR IDENTIFICATION

3068 self-closing → SIZE (FEET & INCHES) & DOOR TYPE

ROOM/SPACE/AREA IDENTIFICATION

Bedroom → ROOM NAME
carpet → FLOOR FINISH

ELEVATION DATUM IDENTIFICATION

LEVEL NAME
ELEVATION

WINDOW IDENTIFICATION

4060 F → SIZE (FEET & INCHES) & WINDOW FUNCTION

KEYNOTE IDENTIFICATION

? → NOTE NUMBER

REVISION IDENTIFICATION

001 → REVISION NUMBER
ASI → REVISION DESCRIPTION

SECTION MATERIAL GRAPHICS

- CONCRETE
- UNDISTURBED OR COMPACTED EARTH
- POROUS FILL (GRAVEL)
- STEEL
- ALUMINUM
- MASONRY - BRICK
- MASONRY - CONCRETE BLOCK
- RIGID INSULATION
- BATT INSULATION
- GYPSUM PLASTER
- PLYWOOD
- FINISH WOOD

PROJECT INFORMATION

PROPERTY ADDRESS: 1206 LINCOLN AVENUE
STEAMBOAT SPRINGS, CO 80487

PARCEL ID: 159502002

SUBDIVISION: SPRINGS ADD TO SS

LEGAL DESCRIPTION: TR 70 FT X 136.9 FT IN S2 BLK2
SPRINGS ADD TO SS

ZONING: CN - COMMERCIAL NEIGHBORHOOD

EXISTING USE: OFFICE, GENERAL

PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

PROPOSED OCCUPANCY: R-3

ENERGY:

APPLICABLE PROVISIONS PER 2018 INTERNATIONAL ENERGY CONSERVATION CODE CHECKLIST FOR GENERAL PRESCRIPTIVE METHOD:

FENESTRATION U-FACTOR: .30

CLIMATE ZONE: 7

APPLICABLE BUILDING CODES: 2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2020 NATIONAL ELECTRICAL CODE

ZONING REQUIREMENTS:

SETBACKS: NO CHANGE FROM EXISTING

MAX. HEIGHT: 40 FT

PROPOSED HEIGHT: +/- 16'-4" FT (NO CHANGE FROM EXISTING)

PROPOSED SF: 1,380 SF (NO CHANGE FROM EXISTING)

PROJECT TEAM

OWNER

COCRES Investments, LLC (Owner)
c/o Ski Town Commercial (Manager)
Jon W. Sanders (Primary Contact)
PO Box 772207
Steamboat Springs, CO 80477
Phone: 970.393.2933
970.871.0002
Email: accounts@skitowncommercial.com
jonwsanders@skitowncommercial.com

CONTRACTOR

Owner Builder
See above Contact Information

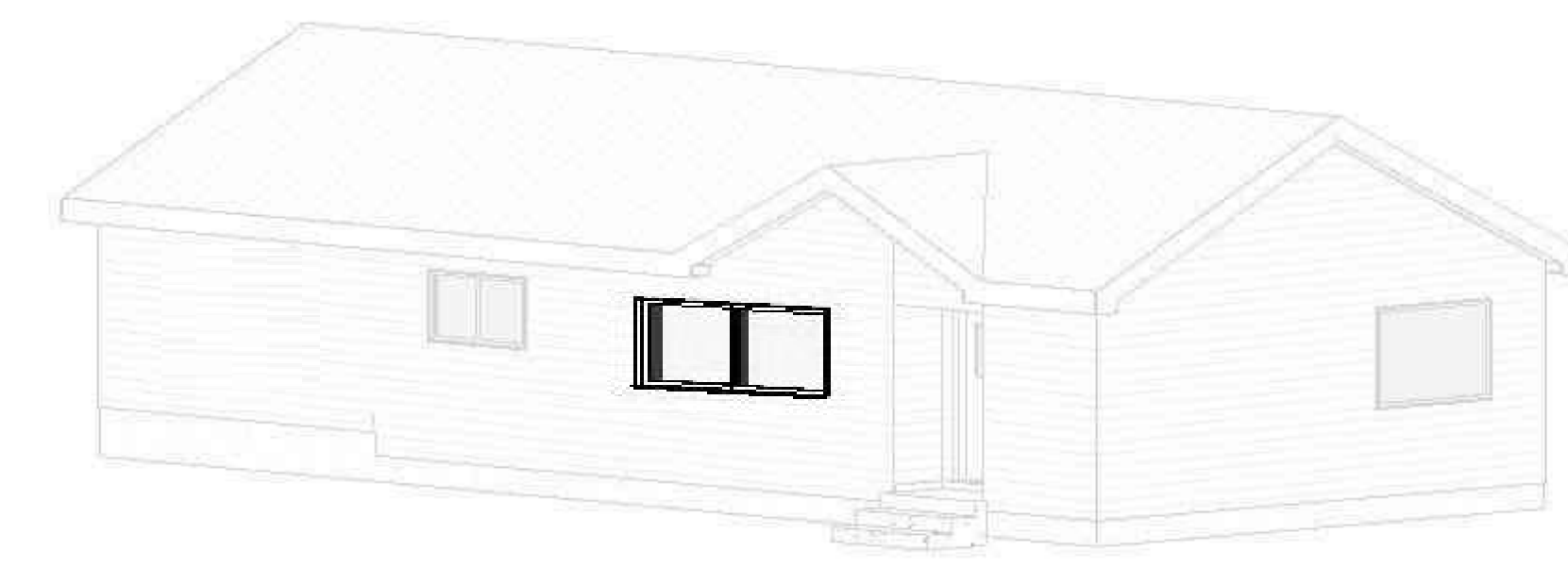
PROJECT SCOPE

REMODEL EXISTING BUILDING FOR SINGLE-FAMILY RESIDENTIAL. DEMO PER PLAN. MODIFY EXISTING KITCHENETTE INTO KITCHEN W/ ISLAND. INSTALL WINDOW INTO EXISTING WINDOW FRAMING PER PLAN. REPAIR & REPLACE EXISTING WINDOW FRAMING AS NEEDED. ADD NEW PARTITION WALLS PER PLAN & RELOCATE EXISTING WATER HEATER. REPLACE EXISTING BATHROOM PLUMBING FIXTURES PER PLAN. ADD STACKING WASHER/DRYER UNIT. REPLACE DOORS AS NEEDED.

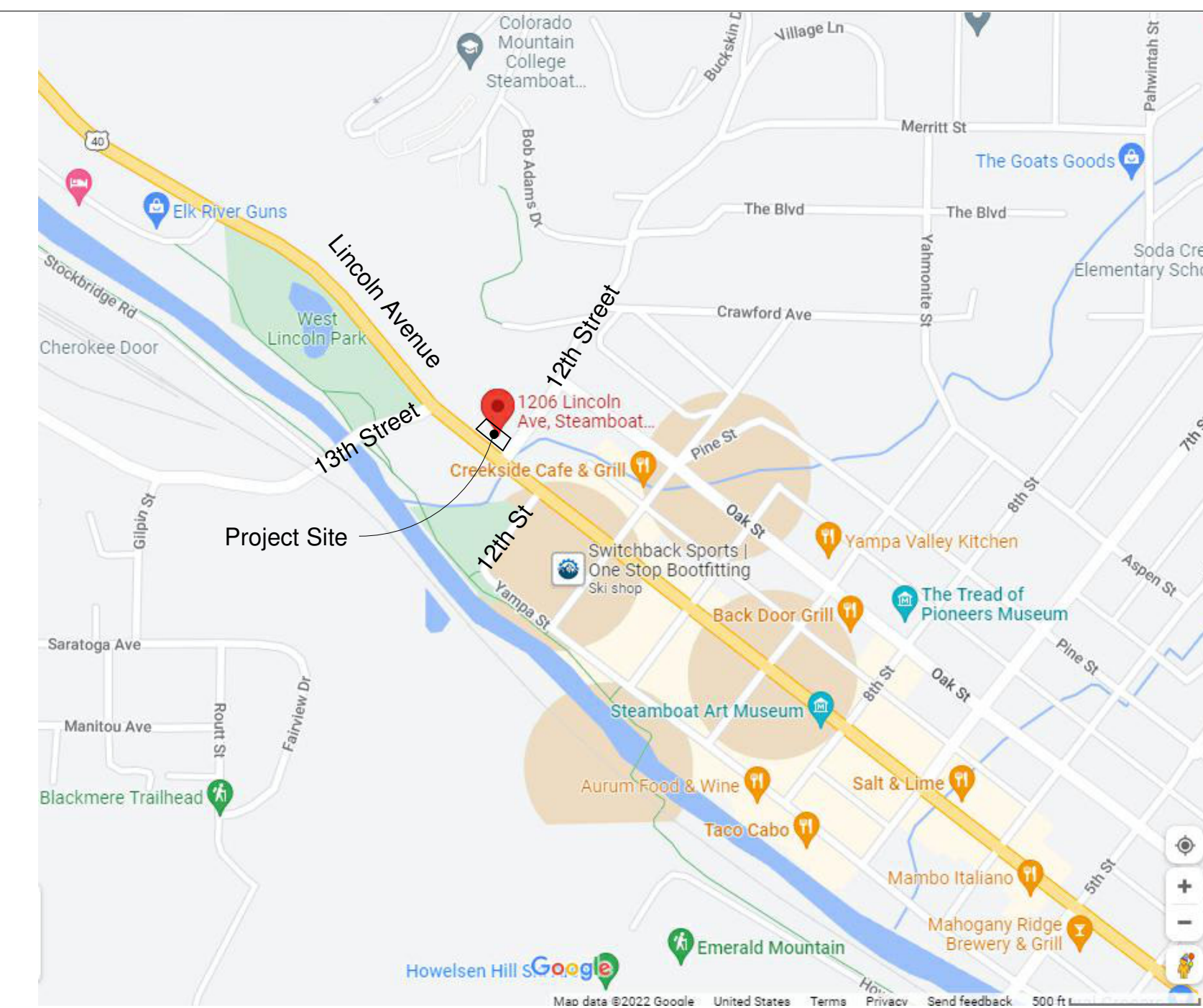
INDEX OF DRAWINGS

A000	Cover Sheet
AB101	Existing Main Level Floor Plan & Electrical Plan & Demo Plan
AB102	Existing Exterior Building Elevations
AB103	Existing Roof Plan & Building Sections
A101	Proposed Main Level Floor Plan & Proposed Building Sections
A102	Proposed Exterior Building Elevations

PROJECT RENDERING



VICINITY MAP



No.	Date	Revision

Project: 1206 Lincoln Avenue
Steamboat Springs, Colorado 80487

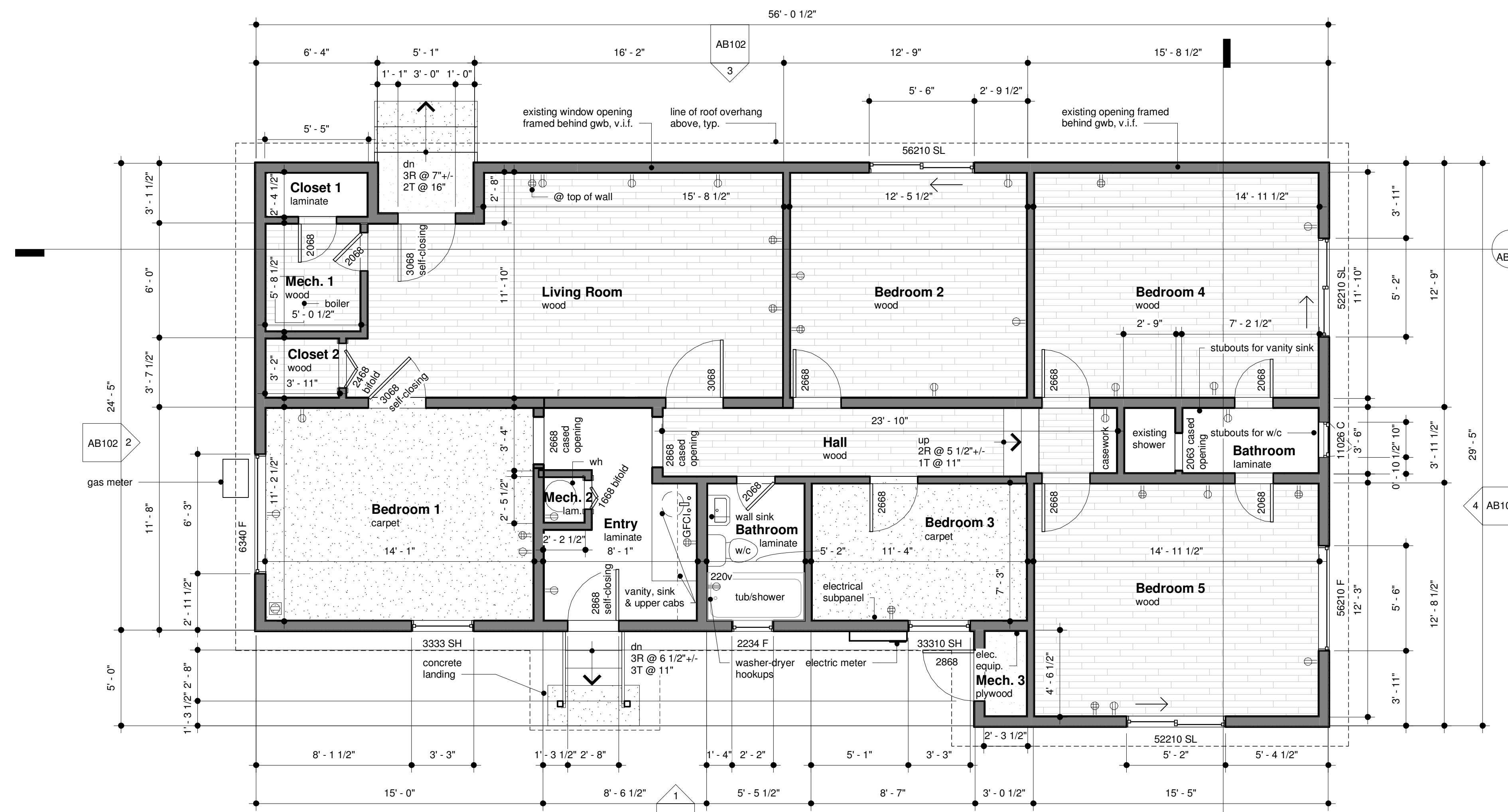
Sheet: Cover Sheet

Sheet

A000

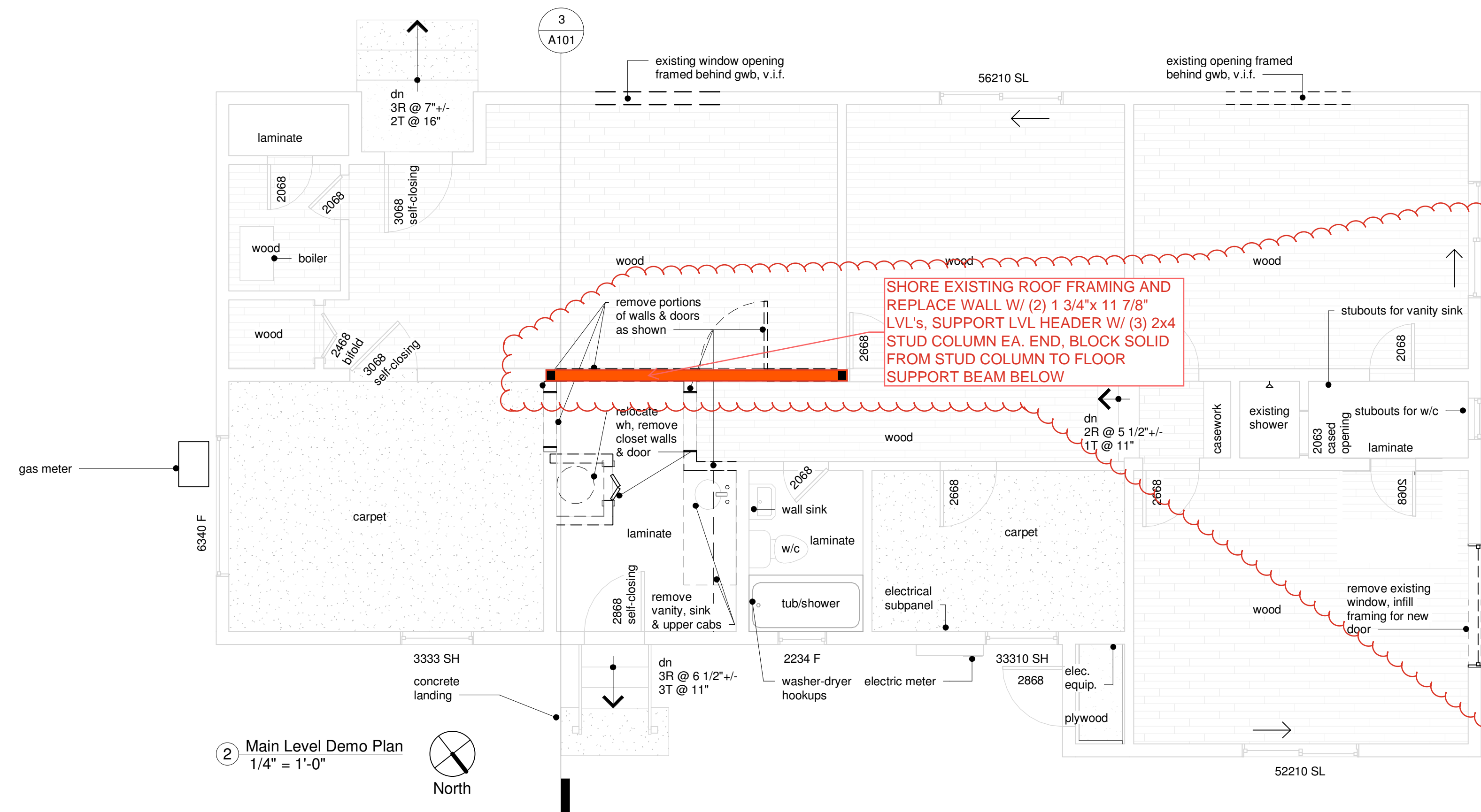
Permit Set

Date:



1 Existing Main Level Floor & Electrical Plan
1/4" = 1'-0"

Total Existing Area: 1,380 SF



2 Main Level Demo Plan
1/4" = 1'-0"

Total Existing Area: 1,380 SF

EXISTING FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL
	EXISTING WINDOW
	EXISTING DOOR

EXISTING FLOOR PLAN NOTES:

- DUTY OF COOPERATION NOTICE: PUBLICATION & ACKNOWLEDGMENT OF THESE DOCUMENTS INDICATES COLLABORATION AMONG THE BUILDING/LAND PROPRIETOR, THEIR GENERAL CONTRACTOR & SUB-CONTRACTORS. DESPITE THE FACT THAT THE DRAWINGS WERE PRODUCED WITH DUE DILIGENCE & ATTENTION TO DETAIL, THEY DO NOT GUARANTEE PERFECTNESS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE APPLICATION OF THESE DOCUMENTS SHALL BE IMMEDIATELY COMMUNICATED TO THE BUILDING/LAND PROPRIETOR.
- DO NOT SCALE DRAWINGS. GENERAL CONTRACTOR & SUBCONTRACTORS TO EXAMINE & VERIFY DIMENSIONS BOTH ON THE PLANS & IN THE FIELD. NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS WITHIN THE DRAWINGS, SPECIFICATIONS & SCHEDULES WITHOUT DELAY & PRIOR TO COMMENCEMENT OF ESTIMATING, BIDDING & CONSTRUCTION, TYP.
- ALL LABELED FEATURES DESCRIBE EXISTING CONDITIONS UNLESS PRECEDED BY THE WORD "NEW".
- ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE & LOCAL CODES. SECURE ALL REQUIRED PERMITS & APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION. ALL REFERENCES TO CODE SECTIONS HEREIN REFER TO THE APPLICABLE CODES W/ LOCAL AMENDMENTS. G.C. (GENERAL CONTRACTOR) TO ENSURE CODE COMPLIANCE.

GENERAL NOTES

DESIGN LIVE LOADS

- Roofs 75 psf

STRUCTURAL WOOD FRAMING

- Except where noted otherwise, all 2" lumber shall be Douglas Fir-Larch S4S No.2 or better, and all solid timber beams and posts shall be Douglas Fir-Larch No. 1.
- Except as noted otherwise, minimum nailing shall be provided as specified in Table 2304.10.2 "Fastening Schedule" of the I.B.C., 2021 edition.
- Laminated Veneer Lumber shall be of such stress grade to provide members with allowable fiber stress in bending = 3100 psi, modulus of elasticity of 2.1x10(6) psi, and allowable shear stress parallel to the glue line = 285 psi.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS

- The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced.
- The Contractor, in the proper sequence, shall provide proper shoring and bracing as may be required during construction to achieve the final completed structure.

EXISTING STRUCTURES

- All existing framing member sizes shown shall be field verified by contractor at time of construction.
- All dimensions shown shall be field verified by contractor at time of construction.
- Contractor shall notify engineer of discrepancies between field conditions and those shown on drawings prior to construction.



REVIEWED FOR CODE COMPLIANCE
07/09/2024

REVIEWED FOR CODE COMPLIANCE
10/28/2024

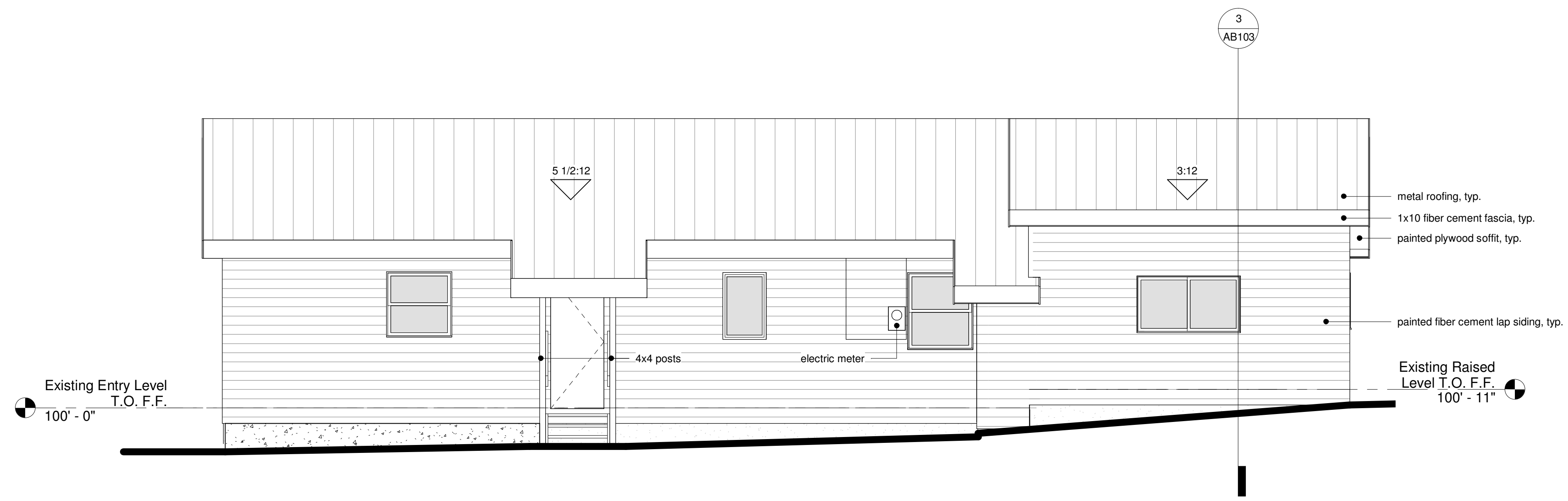
No.	Date	Revision	Permit Set

Project: 1206 Lincoln Avenue
Steamboat Springs, Colorado 80487
Sheet: Existing Main Level Floor & Electrical Plan & Demo Plan

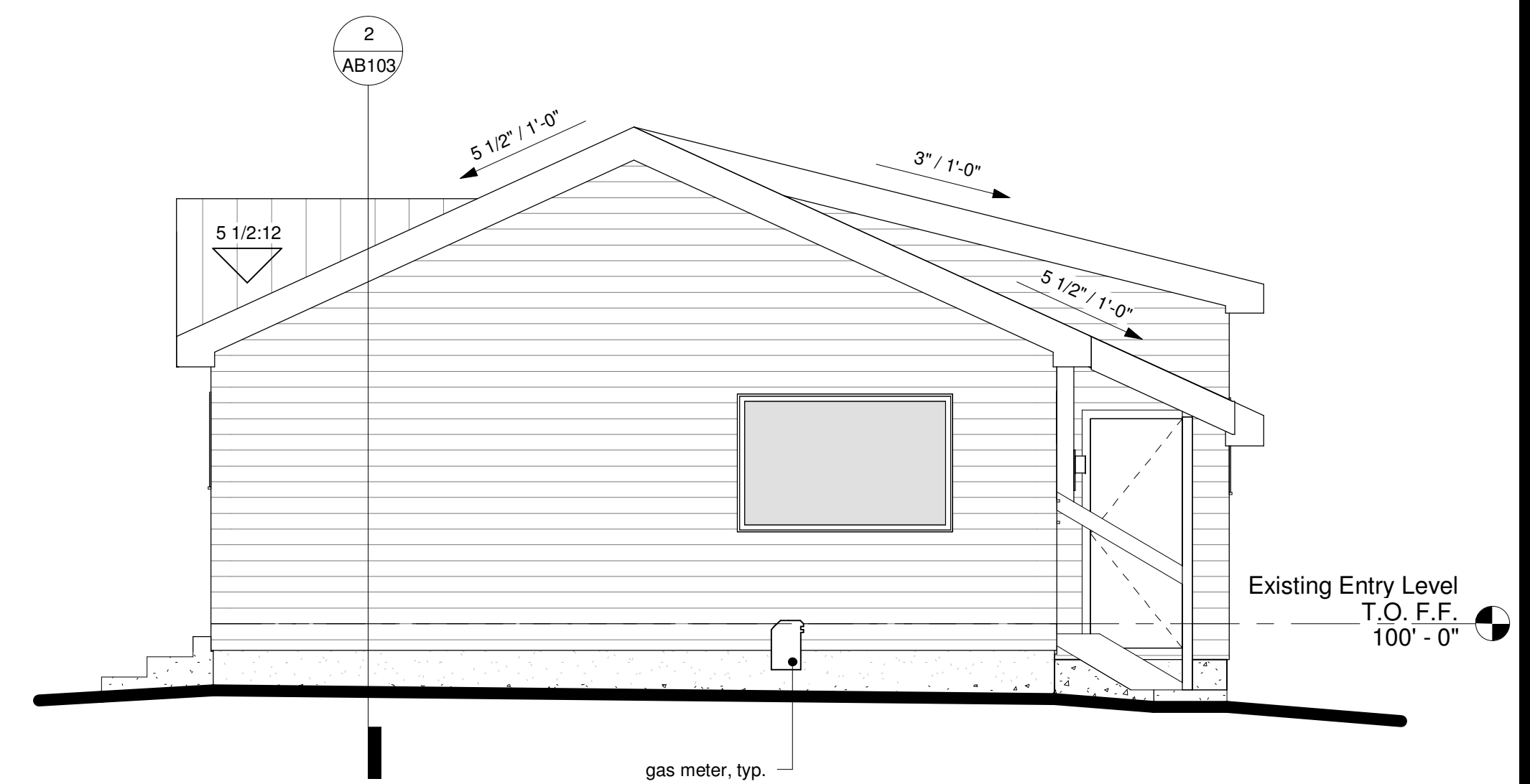
Sheet
AB101

REVIEWED FOR CODE COMPLIANCE
07/09/2024

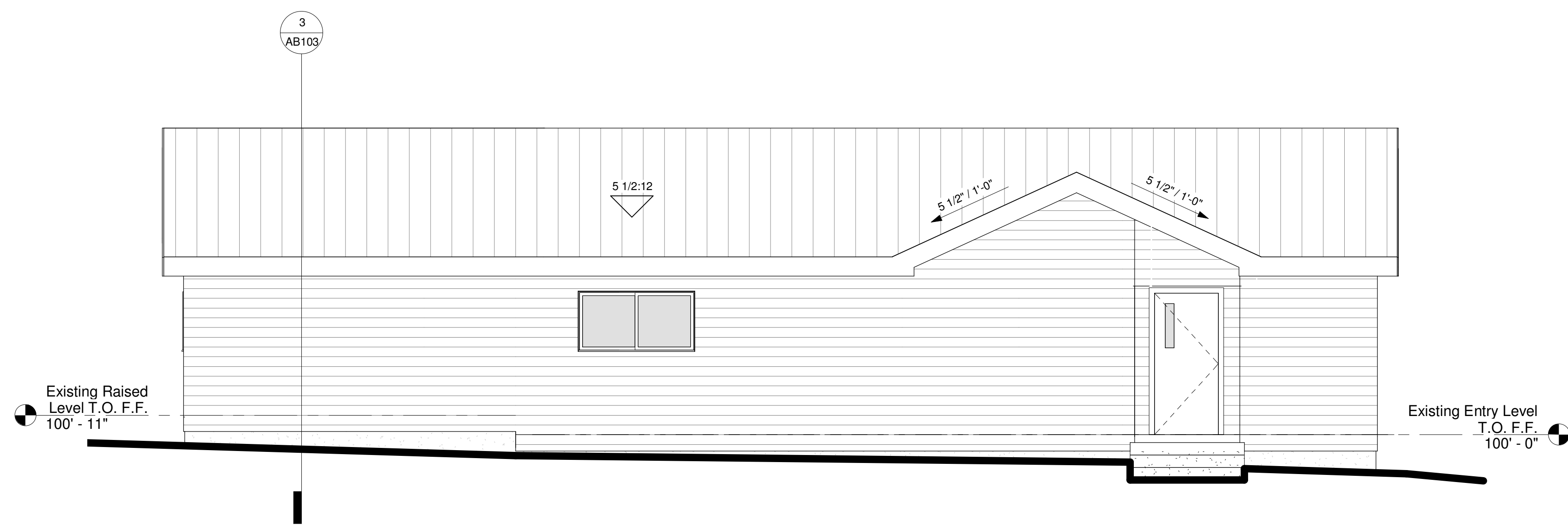
REVIEWED FOR CODE COMPLIANCE
10/28/2024



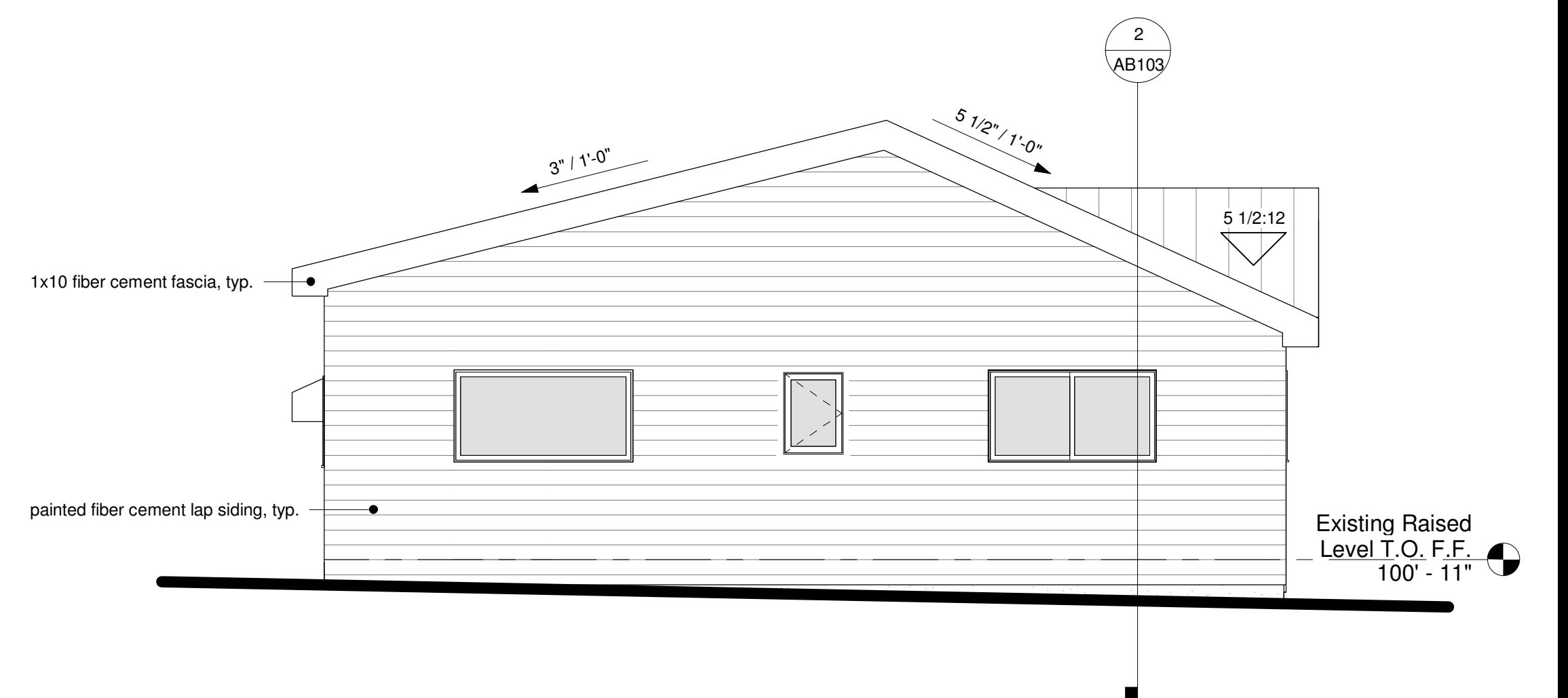
① Existing North East Elevation
1/4" = 1'-0"



② Existing South East Elevation
1/4" = 1'-0"



③ Existing South West Elevation
1/4" = 1'-0"



④ Existing North West Elevation
1/4" = 1'-0"

No.	Date	Revision	Permit Set

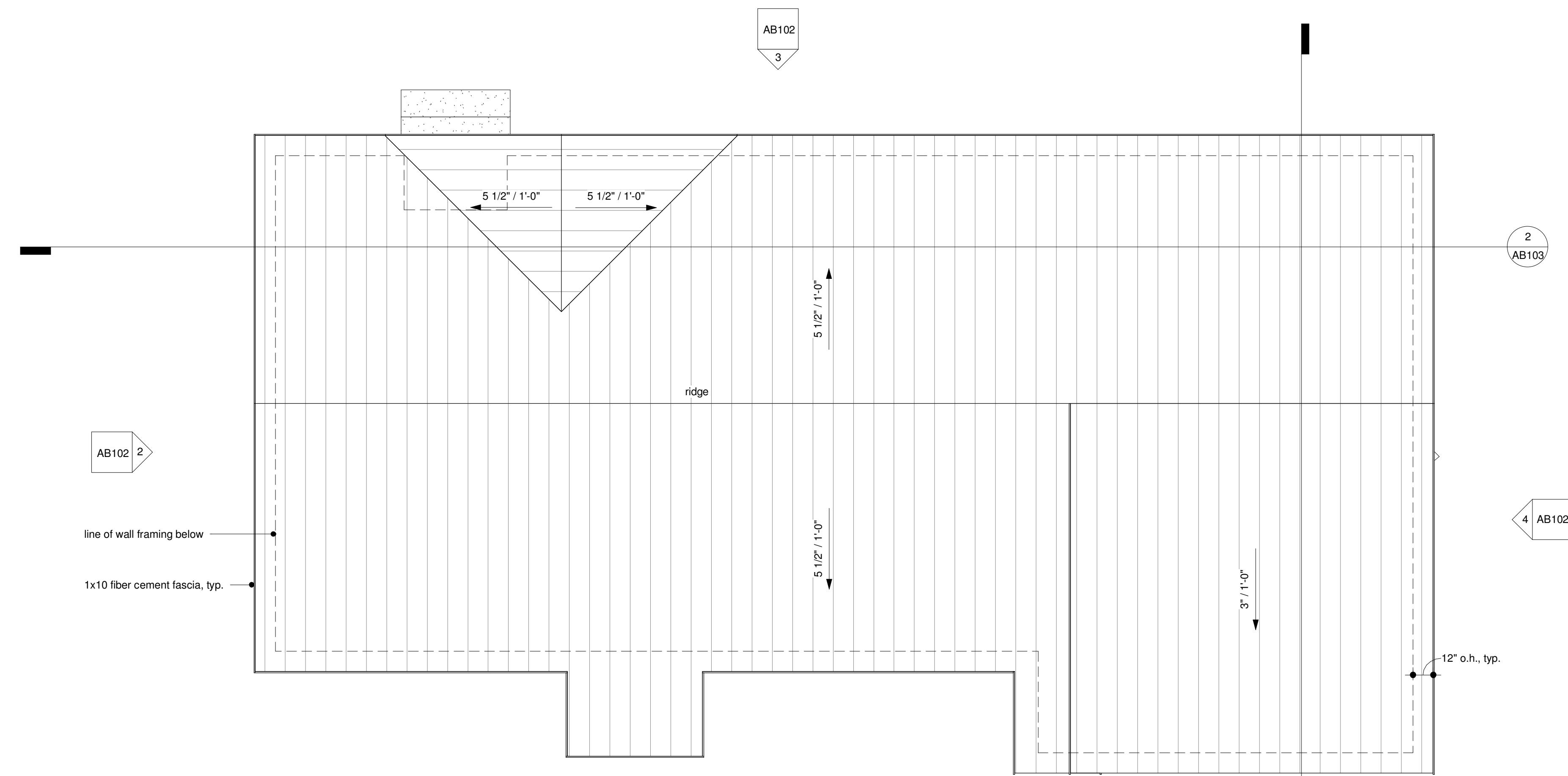
Project: 1206 Lincoln Avenue
Steamboat Springs, Colorado 80487

Sheet: Existing Exterior Elevations

Sheet
AB102

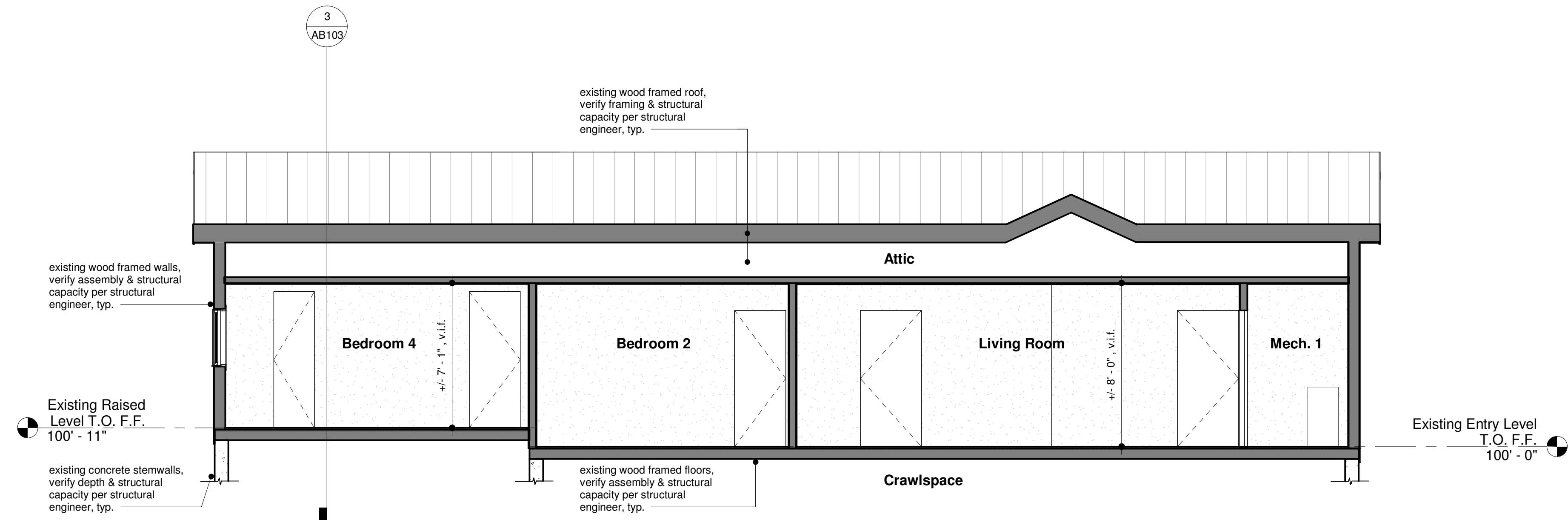
REVIEWED FOR CODE COMPLIANCE
07/09/2024

REVIEWED FOR CODE COMPLIANCE
10/28/2024

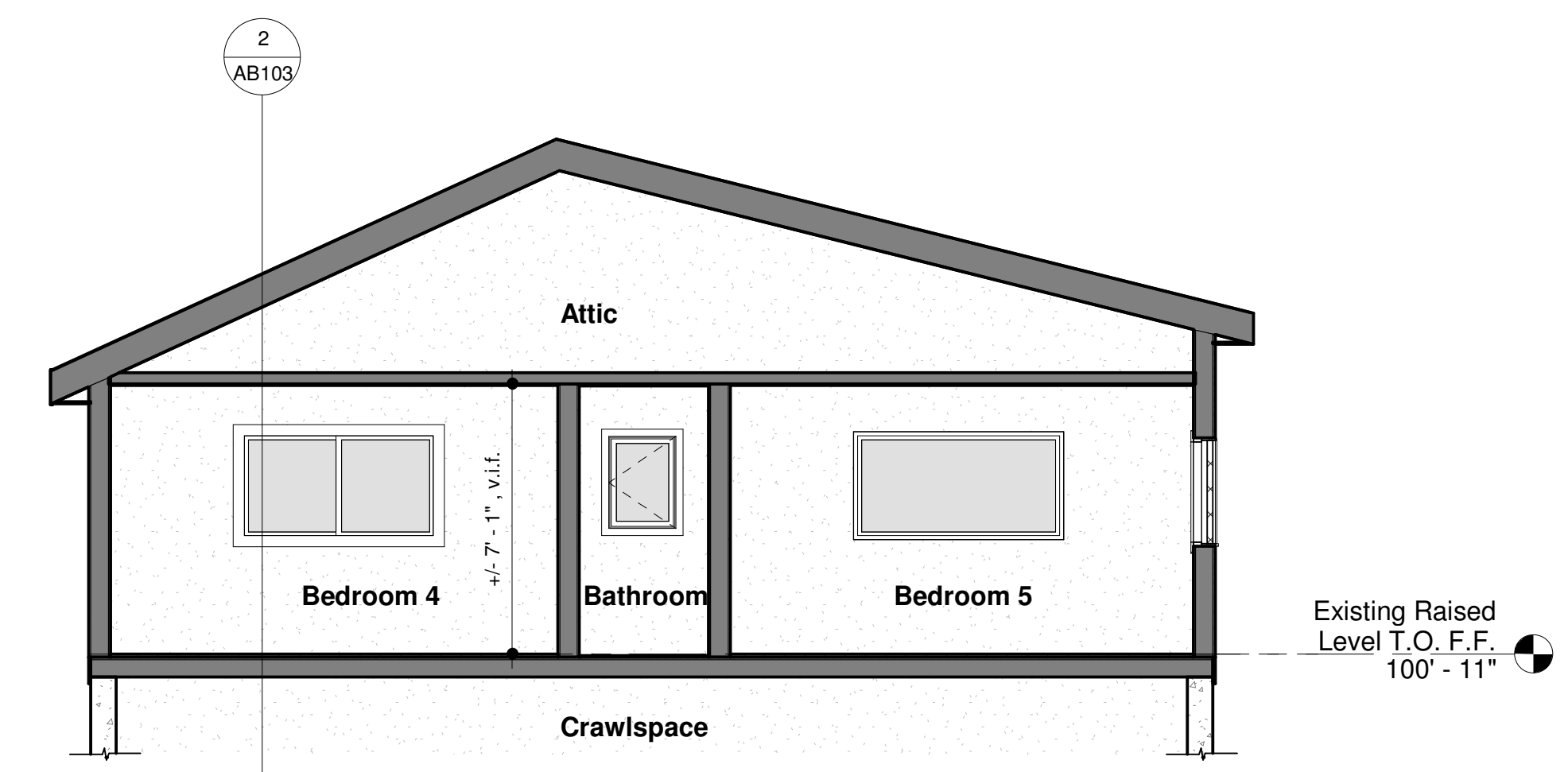


NOTE: NO WORK TO EXISTING ROOF

1 Existing Roof Plan
1/4" = 1'-0"



2 Existing Building Section A
1/4" = 1'-0"



3 Existing Building Section B
1/4" = 1'-0"

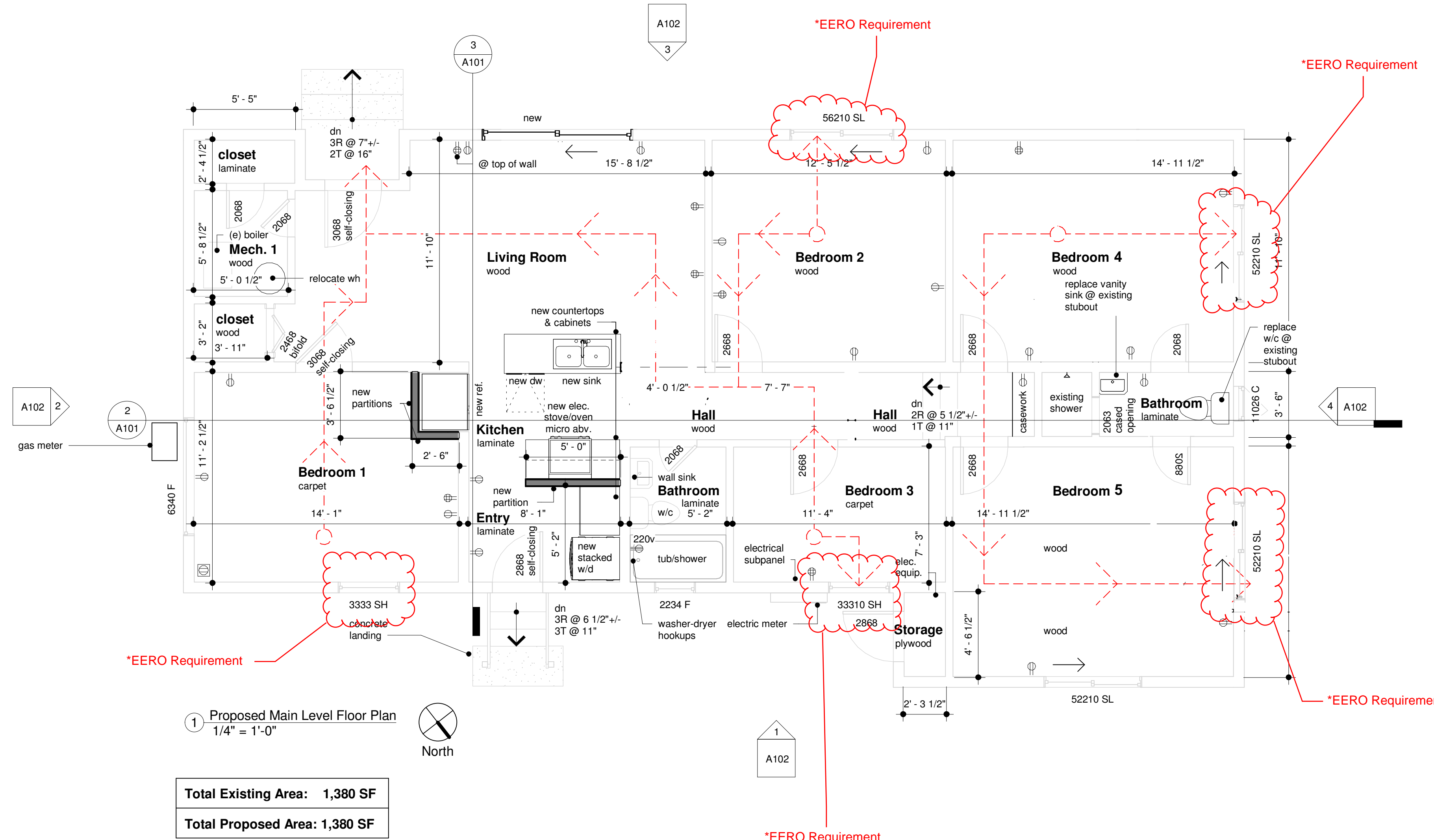
No.	Date	Revision	Permit Set

Project: 1206 Lincoln Avenue
Steamboat Springs, Colorado 80487
Sheet: Existing Roof Plan & Building Sections

Sheet
AB103

BEDROOM WINDOWS
* EERO Requirement

Each Bedroom must have emergency escape and rescue opening (EERO). The highlighted windows shall meet the minimum requirements as per IRC R310.
- Each window shall have a minimum width of 36 inches and shall be not more than 70 inches above the finished floor. Contractor shall verify each EERO meets the minimum requirement within IRC R310. If existing window(s) do not meet such requirements, then contractor shall modify the window/door egress opening and replace with a window/door that meets such requirements.



Total Existing Area: 1,380 SF
Total Proposed Area: 1,380 SF

PROPOSED FLOOR PLAN LEGEND

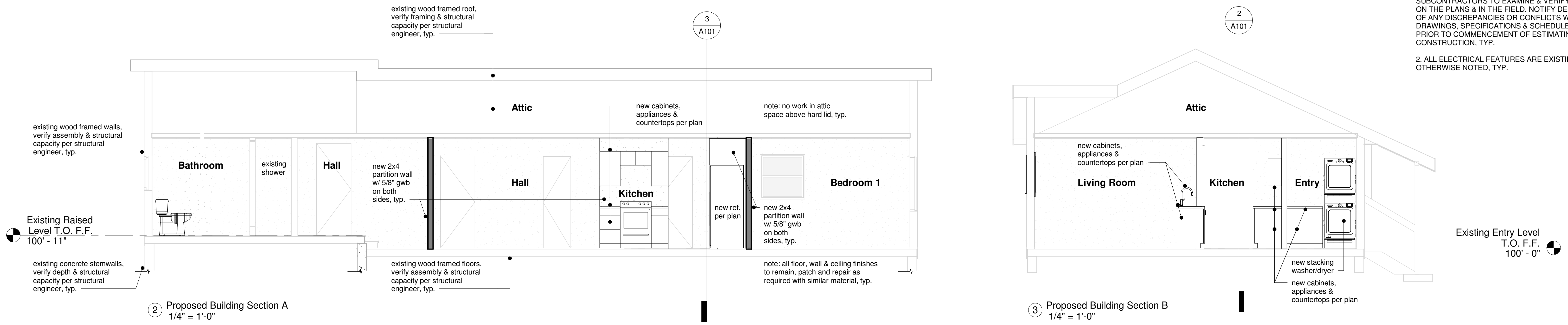
SYMBOL	DESCRIPTION
	EXISTING WALL
	PROPOSED WALL
	EXISTING WINDOW
	PROPOSED WINDOW
	EXISTING DOOR
	PROPOSED DOOR
	PROPOSED PATH OF EMERGENCY TRAVEL

- PROPOSED FLOOR PLAN NOTES:**
- DUTY OF COOPERATION NOTICE: PUBLICATION & ACKNOWLEDGMENT OF THESE DOCUMENTS INDICATES COLLABORATION AMONG THE BUILDING/LAND PROPRIETOR, THEIR GENERAL CONTRACTOR & SUB-CONTRACTORS. DESPITE THE FACT THAT THE DRAWINGS WERE PRODUCED WITH DUE DILIGENCE & ATTENTION TO DETAIL, THEY DO NOT GUARANTEE PERFECTNESS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE APPLICATION OF THESE DOCUMENTS SHALL BE IMMEDIATELY COMMUNICATED TO THE BUILDING/LAND PROPRIETOR & TEMPLE DESIGN STUDIO.
 - DO NOT SCALE DRAWINGS. GENERAL CONTRACTOR & SUBCONTRACTORS TO EXAMINE & VERIFY DIMENSIONS BOTH ON THE PLANS & IN THE FIELD. NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS WITHIN THE DRAWINGS, SPECIFICATIONS & SCHEDULES WITHOUT DELAY & PRIOR TO COMMENCEMENT OF ESTIMATING, BIDDING & CONSTRUCTION, TYP.
 - ALL LABELED FEATURES DESCRIBE EXISTING CONDITIONS UNLESS PRECEDED BY THE WORD "NEW".
 - ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE & LOCAL CODES. SECURE ALL REQUIRED PERMITS & APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION. ALL REFERENCES TO CODE SECTIONS HEREIN REFER TO THE APPLICABLE CODES W/ LOCAL AMENDMENTS. G.C. (GENERAL CONTRACTOR) TO ENSURE CODE COMPLIANCE.

EXISTING INTERIOR POWER LEGEND

SYMBOL	DESCRIPTION
	DUPLEX FLOOR OUTLET
	DUPLEX WALL OUTLET -VERIFY HEIGHT ABV. F.F. IN FIELD
	QUADPLEX WALL OUTLET -VERIFY HEIGHT ABV. F.F. IN FIELD
	SINGLE WALL OUTLET, 220 / 240 VAULT -VERIFY HEIGHT ABV. F.F. IN FIELD

- EXISTING ELECTRICAL NOTES:**
- DO NOT SCALE DRAWINGS. GENERAL CONTRACTOR & SUBCONTRACTORS TO EXAMINE & VERIFY DIMENSIONS BOTH ON THE PLANS & IN THE FIELD. NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS WITHIN THE DRAWINGS, SPECIFICATIONS & SCHEDULES IMMEDIATELY & PRIOR TO COMMENCEMENT OF ESTIMATING, BIDDING & CONSTRUCTION, TYP.
 - ALL ELECTRICAL FEATURES ARE EXISTING UNLESS OTHERWISE NOTED, TYP.



2 Proposed Building Section A
1/4" = 1'-0"

3 Proposed Building Section B
1/4" = 1'-0"

REVIEWED FOR CODE COMPLIANCE
07/09/2024

REVIEWED FOR CODE COMPLIANCE
10/28/2024

No.	Date	Revision	Permit Set

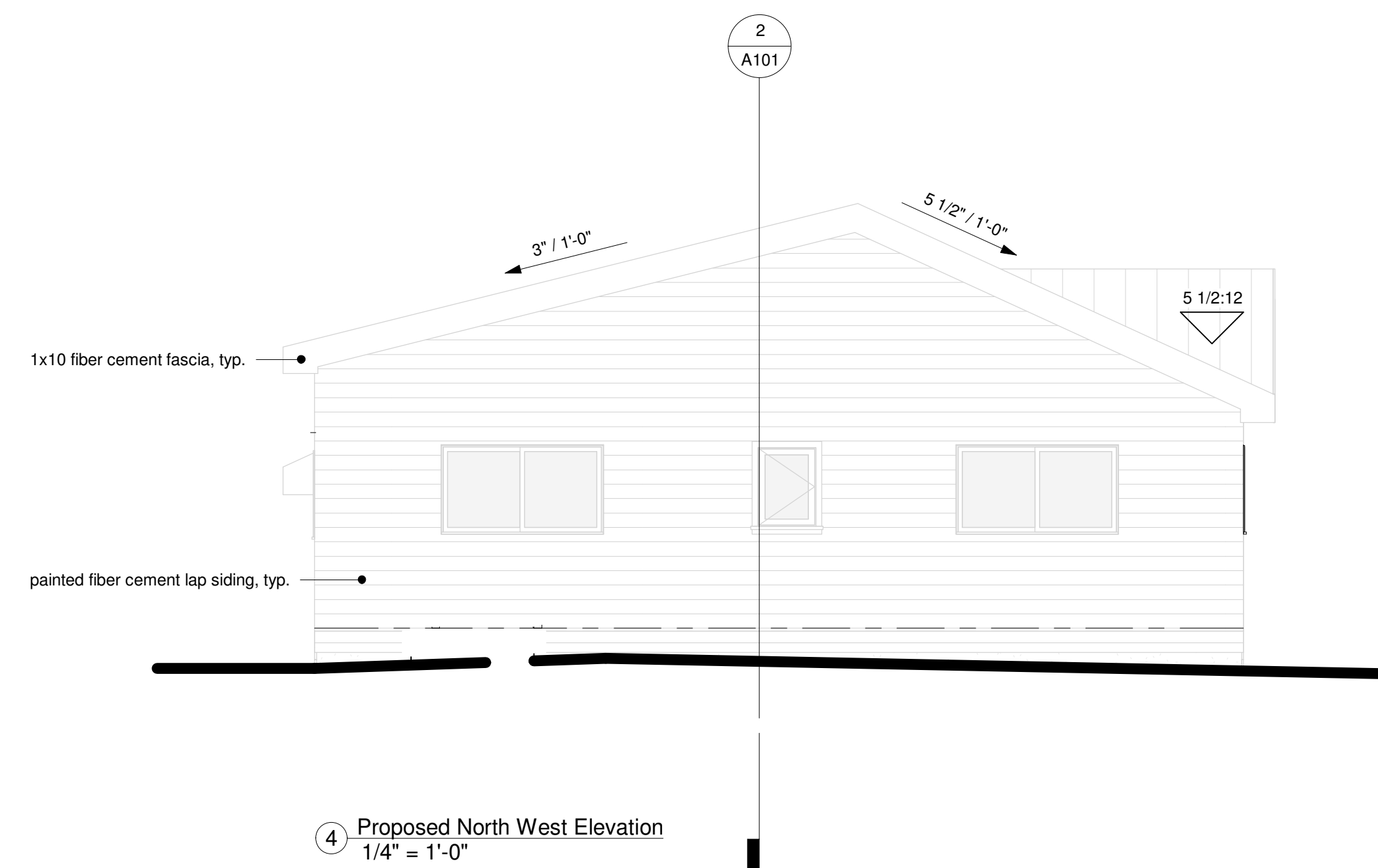
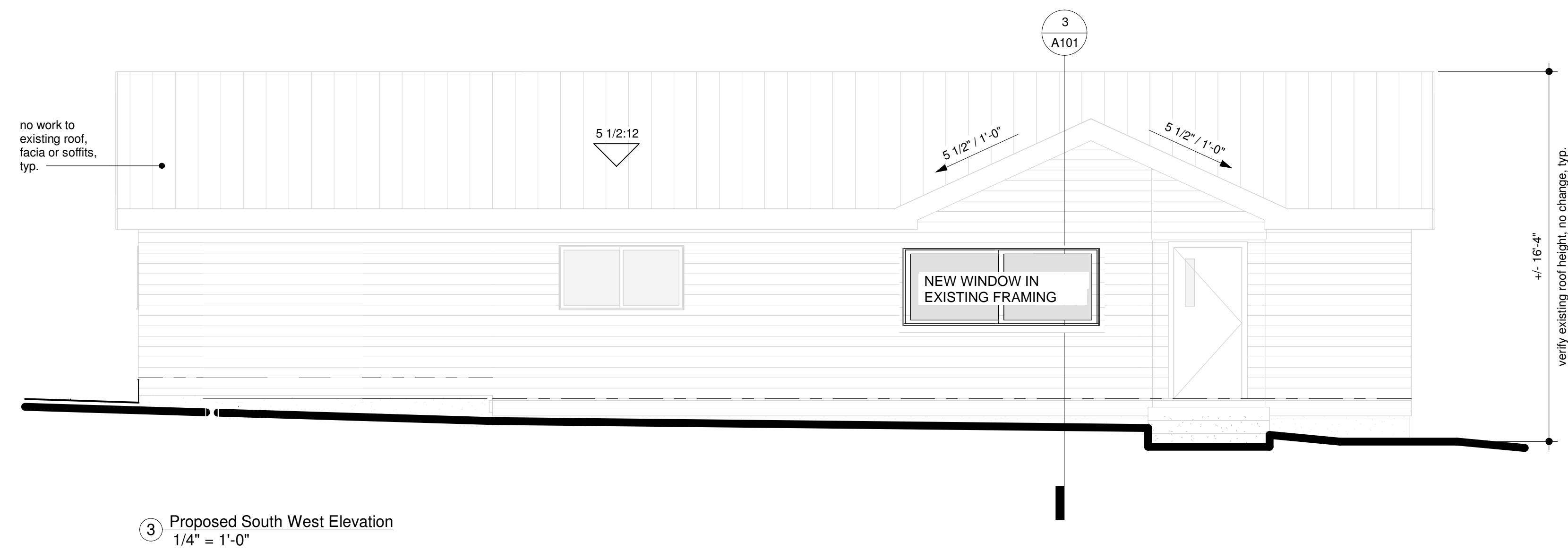
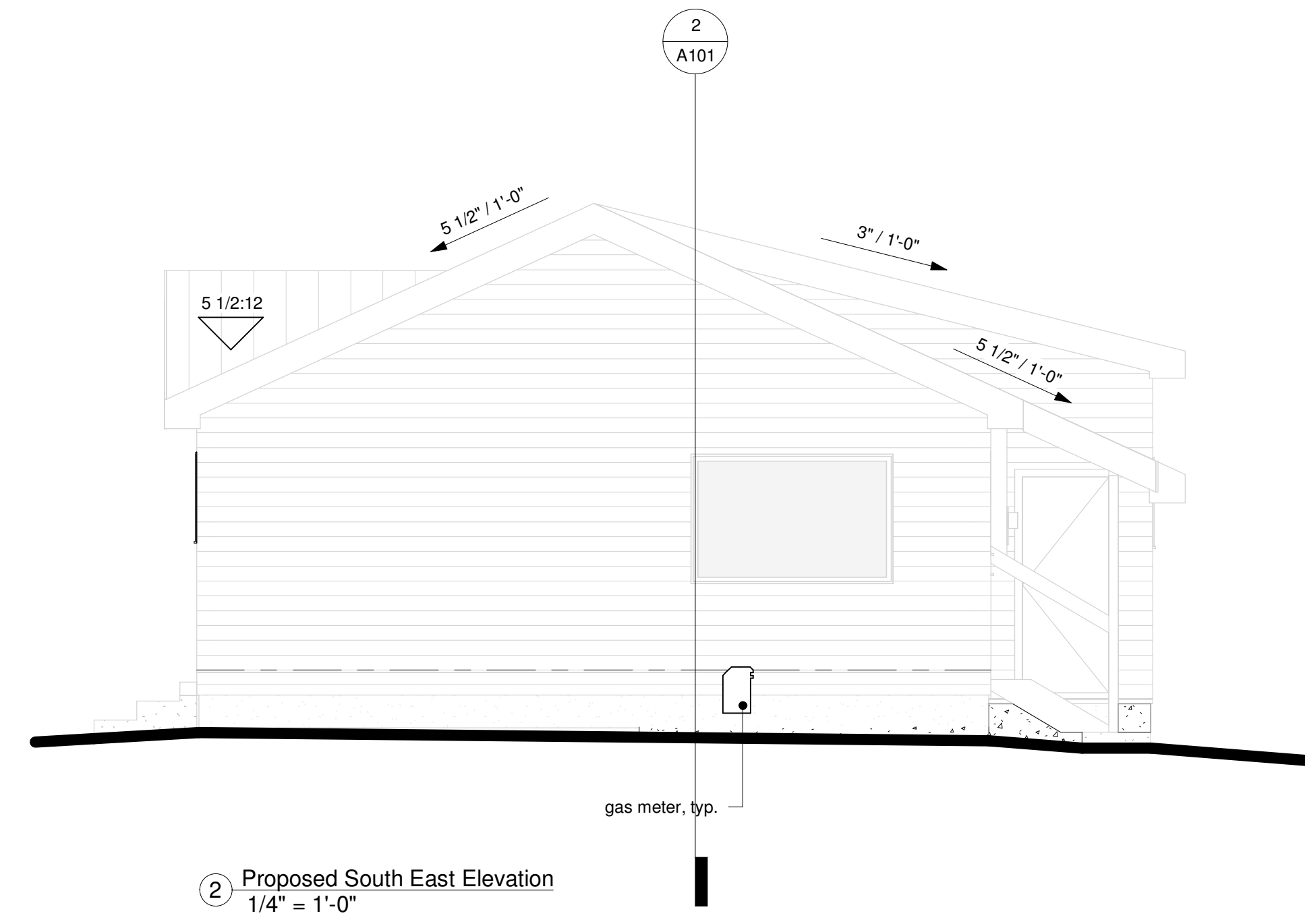
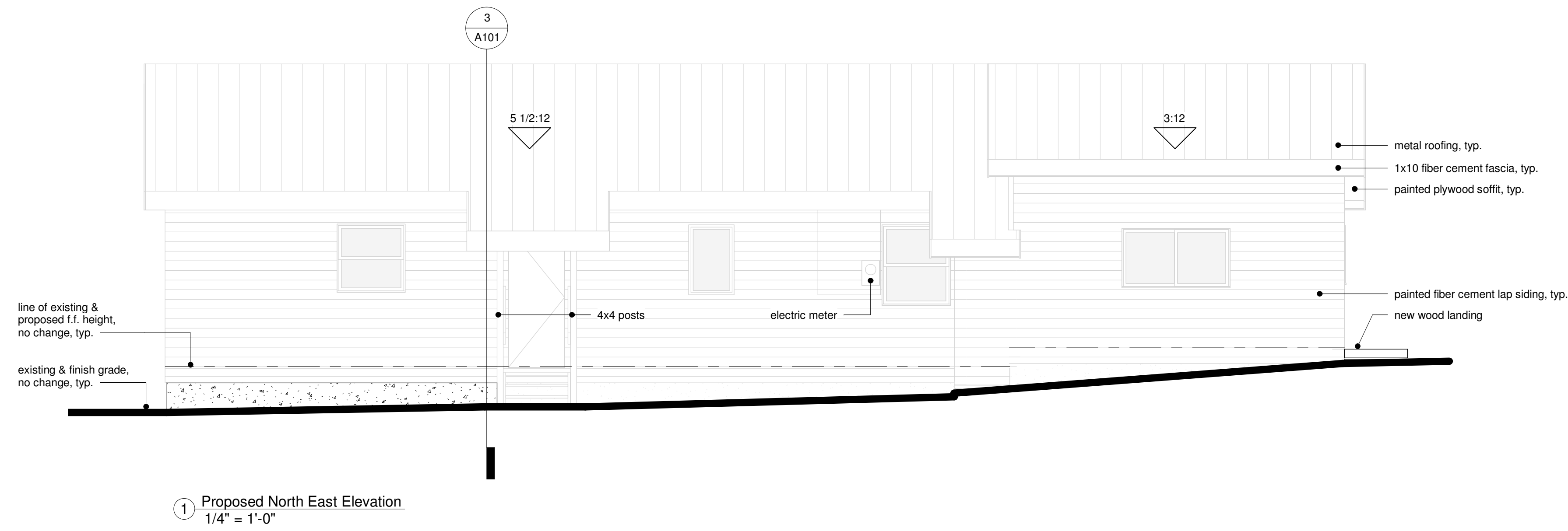
Project: 1206 Lincoln Avenue
Steamboat Springs, Colorado 80487

Sheet: Proposed Main Level Floor Plan & Proposed Building Sections

Sheet

**REVIEWED
FOR
CODE
COMPLIANCE**
07/09/2024

**REVIEWED
FOR CODE
COMPLIANCE**
10/28/2024



No.	Date	Revision	Date	Permit Set

Project: 1206 Lincoln Avenue
Steamboat Springs, Colorado 80487
Sheet: Proposed Exterior Building Elevations

Sheet

A102