



INSPECTION REPORT

Report Issued: Jul 30, 2024

Inspection Result: PARTIAL PASS

Permit Number: SPRNR230582

Issuance Date: Jun 29, 2023

Property Address: 1716 COPPER RIDGE SPUR, UNIT:C1;

Applicant: Richey Construction

Contractor: Richey Construction PO Box 775272 Steamboat Springs, CO 80477 (970) 846-1168

To construct: New Duplex style Live Work Unit 1
See SPRNR230776 for Unit 2

On this day we have inspected your construction for **Final Planning Department Site Improvement** and we find the following result of the inspection. If there are any questions, please call the inspector at the address below.

Corrections:

This report and these comments apply to this permit and SPRNR230776

- 1 See site plan notes
- 2 Critical improvements are incomplete, see conditions on PL20220235
- 3 Revegetation needs to be reviewed and approved by Engineering/Stormwater. If that department approves of the site they can resolve conditions on the DP or the BP, upload a letter, or let me know and I can resolve my comments
4. The grass buffer/drainage area on the front of the property called out on the site notes also needs to be reviewed/approved by Engineering. If the DP needs to change to be consistent with the BP, a substantial conformance plan is required.

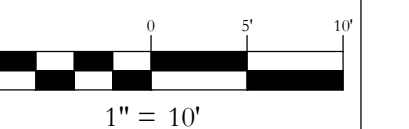
Sincerely,

Toby Stauffer, AICP
Senior Planner
tstauffer@steamboatsprings.net

No.	DATE	REVISIONS	
		DESCRIPTION	BY
1	8/29/2023	DIRT REVIEW & RESPONSE	
2	10/30/2023	DIRT REVIEW & RESPONSE	

RICHEY CONSTRUCTION
LIVE/WORK
1716 COPPER RIDGE SPUR
STEAMBOAT SPRINGS, CO 80487

Horizontal Scale



Contour Interval = 2 ft

DATE: 6-21-2022
JOB #: 1647-007
DRAWN BY: MDM
DESIGN BY: MDM
REVIEW BY: FPSE

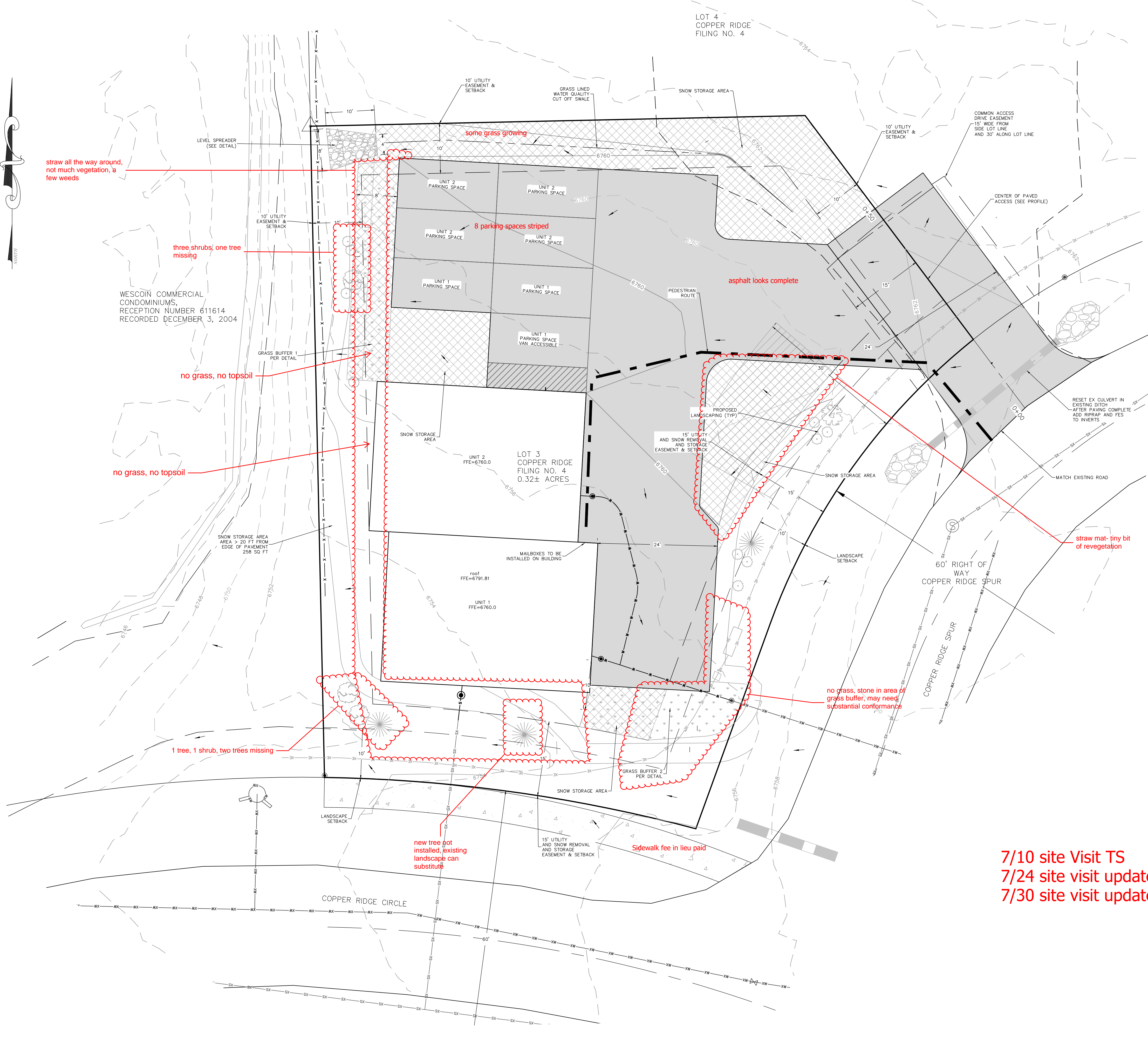
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN A4 X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

SITE PLAN

DRAWING:

SHEET #

C3



straw all the way around, not much vegetation, a few weeds

three shrubs, one tree missing

WESCOIN COMMERCIAL CONDOMINIUMS
RECEPTION NUMBER 611614
RECORDED DECEMBER 3, 2004

no grass, no topsoil

no grass, no topsoil

1 tree, 1 shrub, two trees missing

new tree not installed, existing landscape can substitute

no grass, stone in area of grass buffer, may need substantial conformance

straw mat- tiny bit of revegetation

7/10 site Visit TS
7/24 site visit update
7/30 site visit update

SNOW STORAGE CALCULATIONS
ASPHALT & CONCRETE AREA TOTAL = 5,160 SQ FT
SNOW STORAGE REQUIRED = 2,580 SQ FT
SNOW STORAGE AREA = 2,585 SQ FT
NO LANDSCAPE DEDUCTIONS - NO EVERGREENS IN SNOW STORAGE
TOTAL PROVIDED = 2,585 SQ FT

PARKING CALCULATIONS - FULL
WORK/LIVE, INDUSTRIAL = 2+(1 PER 900 SF OF WORK AREA)
NUMBER OF UNITS (2) = 4 SPACES
SF WORK AREA (2,520 SQ FT) = 3 SPACES
TOTAL SPACES PROVIDED = 7

NOTE: PARKING DESIGNATION WILL BE PRESENTED WITH THE UNIT NUMBER PAINTED ON THE PARKING SPACE ITSELF.

LANDSCAPE CALCULATIONS
LANDSCAPE FRONTAGE
INDUSTRIAL ZONED NON-EC OVERLAY = 10 FT DEPTH AT CATEGORY A
FRONTAGE LANDSCAPING AREA AND PARKING LOT SETBACK LANDSCAPING AREA OVERLAP SO 30 FOOT PARKING LOT LANDSCAPE STANDARD WILL BE USED IN FRONT OF THE PARKING LOT.
1 PLANTING PER 400 SF - CATEGORY A
10 FT LANDSCAPE FRONTAGE AREA = 1,853 SF
30 FT PARKING LOT SETBACK AREA = 587 SF
TOTAL AREA = 2,440 SF
7 PLANTINGS REQUIRED/PROVIDED
BREAKDOWN:
3 EVERGREEN TREES REQUIRED/PROVIDED
2 DECIDUOUS TREES REQUIRED/PROVIDED
1 ORNAMENTAL TREES REQUIRED/PROVIDED
1 SHRUB PLANTINGS REQUIRED/PROVIDED
1 PLANTING = 3 SHRUBS
6 SHRUBS PROVIDED/REQUIRED
INTERIOR PARKING
INTERIOR PARKING LANDSCAPE STANDARDS
EVERGREENS PROHIBITED
200 SF PER 9 PARKING SPACES
7 PARKING SPACES=200 SF
1 DECIDUOUS PLANTINGS REQUIRED/PROVIDED
4 SHRUBS REQUIRED/PROVIDED
TOTALS:
3 EVERGREEN TREES REQUIRED/PROVIDED
3 DECIDUOUS TREES REQUIRED/PROVIDED
1 ORNAMENTAL TREES REQUIRED/PROVIDED
10 SHRUBS REQUIRED/PROVIDED

- EVERGREEN TREE (COLORADO SPRUCE)
- DECIDUOUS TREE (QUAKING ASPEN)
- ORNAMENTAL TREE (CRABAPPLE)
- SHRUBS (RED-OSIER DOGWOOD)
- LANDSCAPE PARKING SETBACK AREA