

**PROJECT DESCRIPTION:**

RENOVATION OF SINGLE STORY LOBBY IN AN 8 STORY APARTMENT BUILDING.

**APPLICABLE CODES:**

2021 IBC  
2021 IMC  
2021 IPC  
2021 IECC  
2021 IFC  
2021 IEBC  
2023 NEC  
CITY OF STEAMBOAT CDC

**MECHANICAL, ELECTRICAL,  
PLUMBING AND STRUCTURAL**

M.E.P. AND STRUCTURAL WILL BE DESIGN BUILD AS NEEDED.  
G.C. AND SUB CONTRACTORS TO PROVIDE DRAWINGS FOR  
REVIEW AND PERMIT.

**FIRE SPRINKLER**

DEFERED SUBMITTAL

**CONTRACTORS RESPONSIBILITIES**

1. NOTE: THIS IS A BUILDERS SET OF DRAWINGS. OWNER & BUILDER TO PROVIDE & INSTALL ALL ELEMENTS OF THE BUILDING PER MANUFACTURER'S SPECIFICATIONS & REQUIREMENTS.
2. MECHANICAL, ELECTRICAL & PLUMBING TO BE DESIGN BUILD AND SHALL TO CONFORM TO THEIR CURRENT RESPECTIVE CODES. ADOPTED BY ANY AND ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
3. ARCHITECTURAL DETAILS THAT SHOW OR INDICATE STRUCTURAL SYSTEMS AND/OR COMPONENTS ARE FOR GENERAL REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR SYSTEM SPECIFICATIONS, DESIGN, LAYOUT, ETC... RELATED TO THEIR TRADE.
4. THE CONTRACTOR SHALL VERIFY THE BUILDING CODE REQUIREMENTS, AS ADOPTED BY THE LOCAL MUNICIPALITY, HAVE BEEN MET. ALL WORK CONTAINED WITHIN THESE DOCUMENTS SHALL CONFORM TO ALL CODES, REGULATIONS, ORDINANCES, LAWS, PERMITS & CONTRACT DOCUMENTS WHICH APPLY.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, LICENSES AND APPROVALS AS ASSOCIATED WITH THIS PROJECT.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EQUIPMENT SIZES AND LOCATIONS WITH MECHANICAL, PLUMBING, ELECTRICAL AND UTILITY COMPANIES.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FIRE MITIGATION REQUIREMENTS WITH THE MUNICIPALITY AND FOREST SERVICE.
8. THE CONTRACTOR MUST VERIFY THE BUILDING LAYOUT WITH THE OWNER OR ARCHITECT PRIOR TO BEGINNING THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.
9. THE CONTRACTOR MUST VERIFY THAT ALL DOORS, WALLS AND CEILINGS BETWEEN GARAGE AND LIVING SPACES MEET ALL FIRE AND SAFETY CODES AND REGULATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL FINISH GRADES ON SITE.
11. CONTRACTOR SHALL SUBMIT A LIST OF SUBCONTRACTORS TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
13. THE CONTRACTOR AND THEIR SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLETING ALL THE WORK WITHIN THESE DOCUMENTS, UNLESS NOTED OTHERWISE.
14. CONTRACTOR TO PROVIDE SMOKE DETECTORS & CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH LOCAL APPLICABLE CODES.
15. CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, AC EQUIPMENT, RECESSED ITEMS AND ALL OTHER ITEMS AS REQUIRED.
16. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
17. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC... VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION AND NOTED ON PLANS.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE DRAWINGS AND OBTAINING THE PERMITS FOR THE FIRE SPRINKLER SYSTEM. THE SYSTEM SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES AND ORDINANCES. IF FIRE PROTECTION IS REQUIRED, ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE ARCHITECT.
19. NO PORTION OF THE WORK OR SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT AND/OR ENGINEER. ALL SUCH PORTIONS OF THE WORK SHALL BE INSTALLED IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS AND SAMPLES.
20. THE CONTRACTOR SHALL CONFINE THEIR OPERATIONS ON THE SITE TO THE AREAS PERMITTED BY THESE DOCUMENTS AND THE PROPERTY OWNERS ASSOCIATION.
21. THE JOBSITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF THEIR OPERATION.
22. THE GENERAL CONTRACTOR AND OWNER ARE RESPONSIBLE FOR RADON TESTING IN THE FIELD & MUST INSTALL RADON REMEDIATION EQUIPMENT TO PREVENT RADON BUILD-UP IN THE STRUCTURE.
23. MOISTURE IS THE PREVALENT CAUSE OF MOLD GROWTH. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE TO BE PROACTIVE IN THE MITIGATION OF MOISTURE DURING CONSTRUCTION. "TIGHT BUILDING" CONSTRUCTION IS ONE OF THE IMPLICATED CAUSES OF MOLD. ALL ROOFS AND OTHER UNCONDITIONED SPACES ARE TO BE VENTILATED ADEQUATELY. IF ACCESS MOISTURE IS NOTICED DURING CONSTRUCTION, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. ANY MODIFICATIONS TO THE PLANS REGARDING MOISTURE CONTROL DURING CONSTRUCTION SHALL BE REVIEWED BY THE ARCHITECT.
24. SOUND INSULATING GYPSUM BOARD PARTITIONS SHOULD BE INSTALLED PER ASTM E497, STANDARD PRACTICE FOR INSTALLING SOUND-INSULATING GYPSUM BOARD PARTITIONS, AND ASTM C919, STANDARD PRACTICE FOR USE OF SEALANTS IN ACOUSTICAL APPLICATIONS.

**CHANGES TO THE DESIGN:**

1. CHANGES OR SUBSTITUTIONS TO THE DESIGN OR PRODUCTS WHICH ARE SPECIFIED IN THESE DOCUMENTS WILL ONLY BE ALLOWED WITH WRITTEN APPROVAL FROM THE OWNER OR ARCHITECT AND FROM THE ARCHITECTURAL REVIEW BOARD.

**STRUCTURAL CHANGES**

1. ANY CHANGES IN THE FIELD TO THE STRUCTURAL PLANS SHALL RELIEVE THE ARCHITECT AND STRUCTURAL ENGINEER FROM ANY CONSEQUENCES WHICH MAY ARISE. ANY PROPOSED CHANGES TO THE STRUCTURAL DOCUMENTS MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER IN WRITING.

**DISCREPANCIES**

1. ANY DISCREPANCIES FOUND WITHIN THESE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. ANY FAILURE TO REPORT DISCREPANCIES SHALL RELIEVE THE ARCHITECT OF ANY CONSEQUENCES.
2. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE. UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATIVE METHOD AND/OR MATERIALS.

**DIMENSIONS**

1. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. DRAWINGS SHOULD NEVER BE SCALED.
2. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR TO FACE OF FINISH CEILING MATERIAL, UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR WALLS TO BE 2X6 STUD WALLS (5 1/2") UNLESS NOTED OTHERWISE.
5. ALL INTERIOR WALLS TO BE 2X4 STUD WALLS (3 1/2") UNLESS NOTED OTHERWISE.
6. WHERE LARGER STUDS OR FURRING ARE INDICATED ON DRAWINGS TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.

# CONSTRUCTION DOCUMENTS

# LOBBY RENOVATION AT TORIAN PLUM



1  
A001

LOBBY RENOVATION	
A001	COVER SHEET
A101	DEMOLITION
A102	CONSTRUCTION

<b>PROJECT DESCRIPTION</b>	RENOVATION OF HOT TUB ROOM INTO FITNESS ROOM.
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NO CHANGE OF USE  
NO CHANGE OF OCCUPANCY  
NO CHANGE IN AREA  
NO CHANGE IN MEANS OF EGRESS

2018 IEBC  
LEVEL 2 RENOVATION

THE BUILDING WILL NOT BE MADE LESS SAFE BY THIS RENOVATION.  
THE EXISTING FIRE PROTECTION SYSTEMS WILL BE MAINTAINED.  
THE MEANS OF EGRESS WILL BE MAINTAINED.  
THE NEW INTERIOR FINISHES WILL COMPLY WITH THE 2018 IBC.

SECTION 305.6 EXCEPTION 1  
20% OF THE BUDGET MIN. TO BE SPENT ON ALTERATIONS AFFECTING THE PRIMARY FUNCTION OF THE SPACE. THE COST OF PROVIDING AN ACCESSIBLE SHOWER, WHICH IS PART OF THE PRIMARY FUNCTION OF THE SPACE, WILL EXCEED 20% OF THE BUDGET OF ALTERATIONS AFFECTING THE PRIMARY FUNCTION. THE 4<sup>TH</sup> STEP AT THE ENTRANCE WILL REMAIN UNCHANGED.

1973 UBC

**CONSTRUCTION TYPE**  
TYPE 1 CONSTRUCTION

**OCCUPANCY**  
H - HOTELS AND APARTMENT BUILDINGS  
F-DIVISION 2 - OFFICE

PER CONSTRUCTION DOCUMENTS DATED 1983, THE STRUCTURAL FRAME HAS 3 HOUR SPRAY ON FIRE PROOFING. REFERRING THE 1973 UBC, AN 8 STORY APARTMENT BUILDING OF TYPE I CONSTRUCTION, A 3 HOUR STRUCTURAL FRAME IS REQUIRED AND ALL PARTITIONS TO BE 1 HOUR RATED. THE FIRE PROOFING WILL BE MAINTAINED. EXISTING INTERIOR PARTITIONS WILL MAINTAIN THEIR 1 HOUR RATING.

2021 IBC

**CONSTRUCTION TYPE**  
TYPE 1 A

**OCCUPANCY**  
R-2 APARTMENT BUILDING  
B - ASSEMBLY SPACE LESS THAN 750 S.F., ACCESSORY USE

**TABLE 601**  
A 3 HOUR RATED STRUCTURAL FRAME IS REQUIRED. INTERIOR NON-LOAD BEARING WALLS ARE NOT REQUIRED TO BE RATED. NEW INTERIOR PARTITIONS WILL NOT BE RATED. 3 HOUR FIRE RATING OF STRUCTURAL FRAME WILL BE MAINTAINED.

**705.8**  
UNLIMITED AREA OF OPENING WHEN SETBACK EXCEED 30'. DISTANCE FROM BUILDING TO CENTERLINE OF SKI TIME SQUARE DRIVE EXCEEDS 30 FEET. NEW WINDOWS MEET CODE. WALL IS NOT LOAD BEARING, BUILDING HAS STRUCTURAL FRAME.

1. CONTRACTOR TO VERIFY ALL HVAC, PLUMBING AND ELECTRICAL SYSTEMS HAVE BEEN DISCONNECTED AND MADE SAFE PRIOR TO ANY DEMOLITION WORK.
2. TYPICAL FLOATING WALL FRAMING AT LOWER LEVEL.
3. ANY RATED ASSEMBLY COMPROMISED DURING DEMOLITION OR CONSTRUCTION SHALL BE RESTORED TO ORIGINAL RATED ASSEMBLY.
4. ALL MECHANICAL, ELECTRICAL AND PLUMBING SCOPE OF WORK SHALL BE SUBMITTED UNDER SEPARATE PERMIT BUT ASSOCIATED WITH PARENT BUILDING PERMIT.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY ALL ALARM MONITORING ORGANIZATIONS PRIOR TO STARTING DEMOLITION AND TAKE MEASURES TO MINIMIZE RISK OF DAMAGE TO EXISTING SPRINKLER SYSTEM.
6. SPRINKLER DRAWINGS WILL BE A DEFERRED SUBMITTAL UNDER SEPARATE PERMIT

[illegible]

NTS



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**TORIAN PLUM COMPLEX  
FITNESS ROOM**  
1855 SKI TIME SQUARE DRIVE  
STEAMBOAT SPRINGS, CO 80487



<b>Job Number:</b>	23010
<b>Date:</b>	4/16/24
<b>Drawn By:</b>	JP
<b>Checked By:</b>	ESA

<b>Project Phase</b>
LOBBY RENOVATION

Sheet Title
COVER SHEET

Sheet Number
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A001



04/30/2024

Diagram illustrating the layout of a control panel. The panel is rectangular with a width of 18 inches and a height of 455 inches. The layout includes a Back wall, a Seat wall, and a Control wall. A dimension of 4 max is indicated for the distance from the bottom edge to the control wall, with a total height of 102 inches.

Diagram illustrating the dimensions and components of a control wall. The wall is shown in cross-section, with a control wall on the left and a main wall on the right. The main wall has a thickness of 15 max (380). The control wall is labeled "Control wall". The main wall has a height of 1220, with a minimum height of 38 min (965) and a maximum height of 48 max (1220). The main wall is labeled "15 max 380".

Technical drawing of a door handle assembly. The drawing shows a side view of the handle mounted on a door. Key dimensions and components are labeled:

- 18**: Width of the handle plate.
- 455**: Distance from the edge of the door to the center of the handle.
- 18 min**: Minimum height of the handle plate.
- 455**: Distance from the center of the handle to the bottom of the plate.
- 75**: Height of the handle from the bottom of the plate.
- 150**: Total height of the handle assembly.
- 33 - 36**: Thickness of the door.
- 840 - 915**: Height of the handle from the bottom of the door.
- Section 603.4.1**: Reference to the relevant code section.
- Back wall**: Label for the wall behind the door.

Technical drawing of a rectangular plate with a central hole. The plate has a total width of 15 - 16 (380 - 405) and a total height of 38. The central hole has a width of 64 and a height of 75. The plate has a thickness of 1 1/2 max. The distance from the left edge to the center of the hole is 2 1/2 max (64). The distance from the right edge to the center of the hole is 3 max (75).

3 ACCESSIBLE SHOWER DETAILS  
A101 1/8" = 1'-0"

The image displays two architectural floor plans of a building, likely a school or institutional structure, showing different sections or levels.

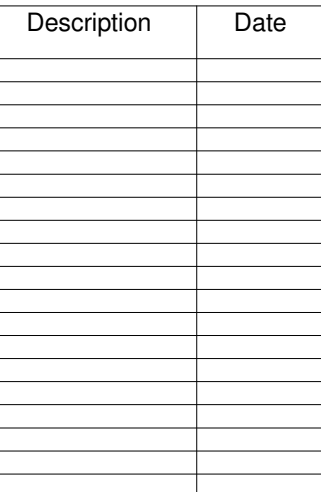
**Left Plan:**

- Grid System:** Vertical grid lines are labeled A7 and A8. Horizontal grid lines are labeled EB, AG, EA, and AF.
- Callouts:** Numbered callouts (1, 2, 3, 4, 5, 6, 7) point to specific features or rooms.
- Dimensions:** A dimension of 23'-2 1/2" is indicated for a section of the plan.

**Right Plan:**

- Grid System:** Vertical grid lines are labeled A7 and A8. Horizontal grid lines are labeled EB, EA, and AF.
- Callouts:** Lettered callouts (A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P) point to specific features or rooms.
- Dimensions:** Multiple dimensions are provided: 6'-0 1/2" (horizontal), 11'-0" (vertical), 23'-2 1/2" (vertical), and 24'-0 3/8" (horizontal).

1 FIRST LEVEL FITNESS CENTER DEMOLITION PLAN  
A101 1/4" = 1'-0"



**FITNESS ROOM**  
1855 SKI TIME SQUARE DRIVE  
STEAMBOAT SPRINGS, CO 80487







