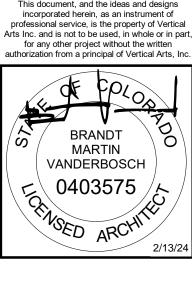


Los Locos Remodel 1865 Ski Time Square Drive Steamboat Springs, CO 80487 2402 PERMIT SET 13FEB24







\triangle	ISSUE NAME	DATE	
1	PERMITSET	13FEB24	
	RAWING TITLE		
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S	HEET NO.		×.
	A0.0		

ABBREVIATIONS

SYMBOLS		К
& ∠	AND ANGLE	KPL KIT
ل ب	CENTER LINE	KB KC
A A/C	AIR CONDITIONING	KO
AB ABV	ANCHOR BOLT ABOVE	L L.P.
ACP ACT	ACOUSTICAL PANEL ACOUSTICAL CEILING TILE	LT
AD	AREA DRAIN	Μ
ADMIN ADJ	ADMINISTRATION ADJACENT	MTL MAT
A.F.F. ALT	ABOVE FINISH FLOOR ALTERNATE	MAX MECH
ALUM AP	ALUMINUM ACCESS PANEL	MIN M.O.
APPROX ARCH	APPROXIMATE ARCHITECT/ARCHITECTURE	MTD
В		Ν
BD BLDG	BOARD BUILDING	NEC N.I.C.
BLK BLW	BLOCK BELOW	NO N.T.S.
BM B.O.	BEAM BOTTOM OF	
BR	BRONZE	О 0.С.
C c	CASEMENT	0.D. 0.H.
CABT CLNG	CABINET CEILING	OPNG OPP
CI	CAST IRON	Р
CJ CLR	CONTROL JOINT CLEAR	PART PBR
CMU CO	CONCRETE MASONRY UNIT CLEANOUT	P&D
COL CONT	COLUMN CONTINUOUS	PE TRUSS PL
CONC CONV	CONCRETE CONVECTOR	PLAM PLMB
CPT CT	CARPET CERAMIC TILE	PLYWD PR
CU	CONDENSING UNIT	PT PTD
D DTL	DETAIL	R
D.F. DH	DRINKING FOUNTAIN DOUBLE HUNG	R
DIA DIM	DIAMETER DIMENSION	RAD RCP
DO DR	DOUBLE WALL OVENS DOOR DRAWING	R.D. REC
DW DWG	DISHWASHER DRAWING	REF. REFL
		REFR REQ
E EA	EACH	REV RM
EF ELEV	EXHAUST FAN ELEVATION	R.O.
ELEC ENCL	ELECTRIC ENCLOSURE	S
ENT EQ	ENTRANCE EQUAL	S SAD
EQPT EXST	EQUIPMENT EXISTING	SF SHT
F		SIM SLNT
FD		SPEC'D SPEC
FDN FE	FOUNDATION FIRE EXTENGUISHER	S.O.G. STD
FIN FLR	FINISH FLOOR	STL SS
F.O.W F.R.S.C.	FACE OF WALL (STUD, ETC.) FIRE RESISTANT SELF CLOSING	STOR STF
FR FS	FRAME FLOOR SINK	Т
FTG	FOOTING	T T.B.S.
G GA	GAUGE	T.O.D. THK
GALV GC	GAUGE GALVANIZED GENERAL CONTRACTOR	TEL T&G
GL GWB	GLASS/GLAZING GYPSUM WALL BOARD	T.O. T.O.D.
	GTPSOM WALL BOARD	T.O.S. T.O.W.
Н HB	HOSE BIBB	TYP
HDCP HGT	HANDICAPPED HEIGHT	U
HM H.P.	HOLLOW METAL HIGH POINT	U.N.O. UNF
HR H&V	HOUR HEATING & VENTILATION	U.V.
HVAC	HEATING, VENTILATION & AIR CONDITIONING	V
I		V VCT
I.D. INFO	INSIDE DIAMETER INFORMATION	VENT. V.I.F.
INSUL	INSULATION	VP
J		W W
JC JT	JANITOR CLOSET JOINT	W/ W/O
		WC W/D
		WD WH

KICKPLATE KITCHEN KNEE BRACE KITCHEN CABINET KNOCKOUT

LOW POINT LIGHT

METAL MATERIAL MAXIMUM MECHANICAL MINIMUM MASONRY OPENING MOUNTED

NECESSARY NOT IN CONTRACT NUMBER NOT TO SCALE

ON CENTER OUTSIDE DIAMETER **OPPOSITE HAND** OPENING OPPOSITE

PARTITION PURLIN BEARING ROOF **PLUMBING & DRAINAGE** PRE-ENGINEERED TRUSS PROPERTY LINE PLASTIC LAMINATE PLUMBING PLYWOOD PAIR PAINT PAINTED

RADIUS/RISER RADIATOR REFLECTED CEILING PLAN ROOF DRAIN RECESS REFER REFLECTED REFRIGERATOR REQUIRED REVEAL ROOM ROUGH OPENING

SINK SADDLE SQUARE FEET SHEET SIMILAR SEALANT SPECIFIED SPECIFICATION SLAB ON GRADE STANDARD STEEL STAINLESS STEEL STORAGE STAFF

TREAD TO BE SELECTED TOP OF DRAIN THICK TELEPHONE TONGUE AND GROOVE TOP OF TOP OF DECKING TOP OF SLAB TOP OF WALL TYPICAL

UNLESS NOTED OTHERWISE UNFINISHED UNIT VENTILATION

VARIES VINYL COMPOSITE TILE VENTILATOR VERIFY IN FIELD VENT PIPE

W.P.

WΤ

WASHER WITH WITHOUT WATER CLOSET WASHER.DRYER WOOD WATER HEATER WATERPROOF/WATERPROOFING WEIGHT

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS AND THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE. ALL MATERIALS AND COMPONENTS SHALL BE INSTALLED PER MANUFACTURES INSTRUCTIONS AND SPECIFICATIONS WITH FULL WARRANTIES.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED.

4. CHANGES FROM THE PLANS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES. 5. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL

OWNER. 7. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS OF RESULT OF HIS/HER OPERATION.

8. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.

9. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS/HER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING OR OTHERWISE ALTERING THE TOTAL WORK OR ANY OTHER PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.

11. DIMENSIONS

FURRING OCCURS.

14. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION.

15. PROVIDE ACCESS AND MINIMUM VENTILATION REQUIREMENTS TO ALL CRAWL SPACES AS REQUIRED BY GOVERNING CODES.

OR DAMAGED.

DEFLECTION.

NEW CONDITION.

4. PROTECT ALL ITEMS TO REMAIN AND ALL EXISTING CONSTRUCTION NOT SCHEDULED TO BE DEMOLISHED -IMMEDIATELY REPAIR OR REPLACE DAMAGED ITEMS.

5. REROUTE ALL UTILITIES REMAINING IN USE INTERRUPTED BY DEMOLITION.

6. OWNER TO REMOVE ALL FURNITURE, EQUIPMENT, AND OTHER FURNISHINGS FROM CONSTRUCTION AREA PRIOR TO PROJECT START.

9. ALL DAMAGED EXISTING WORK MUST BE REPAIRED AND PREPARED TO RECEIVE NEW FINISHES. THE CONTRACTOR SHALL INCLUDE ON THE BASE PRICE ALL REPAIR OR REPLACEMENT WORK REQUIRED FOR NEW CONSTRUCTION.

10. RESTORE THE INTEGRITY OF EXISTING FIRE RATED PARTITIONS, FIREPROOFING AND STRUCTURE DAMAGED DURING DEMOLITION. GC TO FIRE STOP RATED PENETRATIONS AT THE END OF EACH DAY.

11. DUST PROOF PARTITIONS & RELATED PROTECTIONS ERECTED DURING DEMOLITION OPERATIONS SHALL REMAIN IN PLACE FOR THE DURATION OF THE CONSTRUCTION PERIOD UNLESS OTHERWISE INSTRUCTED BY THE TENANT OR ARCHITECT.

12. VERIFY ALL EXISTING POWER/DATA/GAS DEVICES; REMOVE ALL DEAD AND NON-STANDARD DEVICES 13. REMOVE EXISTING CEILING TILES; MAINTAIN GRID IN ALL AREAS WHERE CEILING IS SHOWN TO REMAIN. REMOVE AND REPLACE ANY DEFECTIVE PORTIONS OF GRID AND PREPARE FOR NEW CEILING TILES

TAKE PRECEDENCE UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR MATERIALS. 6. THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE

10. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS AND SAMPLES.

> ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF C.M.U. OR FACE OF CONCRETE U.N.O. CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR TO FACE OF FINISH CEILING MATERIALS UNLESS NOTED OTHERWISE.

12. CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT, RECESSED ITEMS AND ALL OTHER ITEMS AS REQUIRED.

13. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL BE EXTENDED THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE

16. INSTALL TEMPERED GLASS AS REQUIRED BY GOVERNING CODES.

17. STRUCTURAL AND FIRE RESISTIVE INTEGRITY SHALL BE MAINTAINED AS REQUIRED BY GOVERNING CODES. 18. FIREBLOCKS AND DRAFT STOPS SHALL BE PROVIDED AS REQUIRED BY GOVERNING CODES.

19. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE PER IRC R402.4.

20. RECESSED LIGHT IN BUILDING THERMAL ENVELOPE SHALL BE SEALED PER IRC402.4.1.1.

GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH THE NEW CONSTRUCTION TO DETERMINE DIMENSIONS AND SCOPE OF WORK AND TO ENSURE THAT NO ITEMS OR SERVICES TO REMAIN ARE DISTURBED

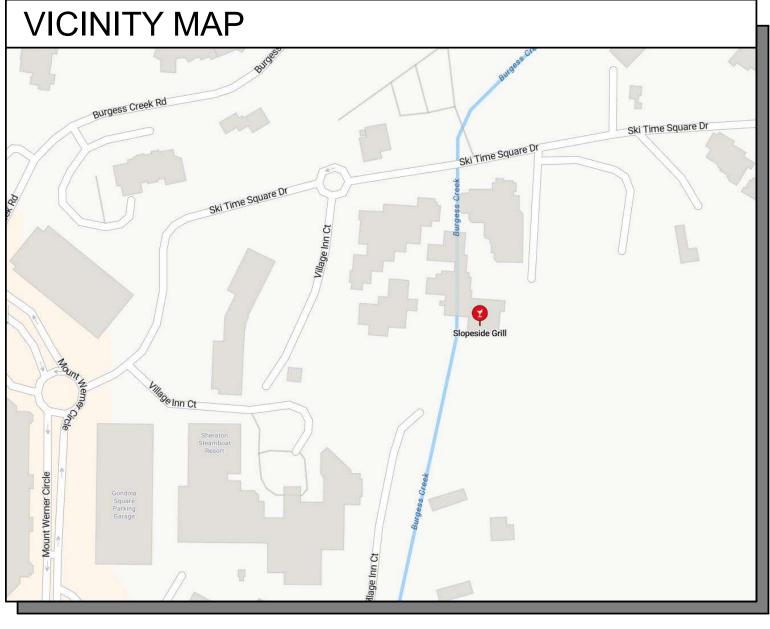
2. PROVIDE AND PLACE BRACING AND SHORING AS REQUIRED. TAKE NECESSARY PRECAUTIONS TO PROPERLY INSTALL TEMPORARY SUPPORT STRUCTURES TO REMAIN TO PREVENT DAMAGE OR UNACCEPTABLE

3. WHERE REMOVALS ARE MADE CONTRACTOR SHALL PATCH ALL CONSTRUCTION TO PROVIDE SMOOTH AS

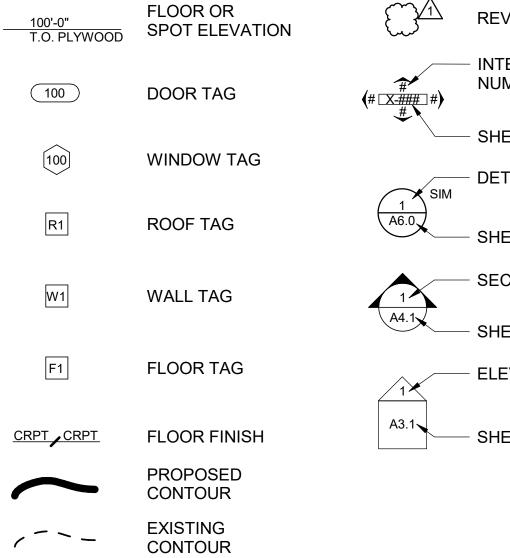
3. CONTRACTOR SHALL PATCH AND/OR LEVEL ALL EXISTING SURFACES RECEIVING NEW FINISHES.

7. CONTRACTOR TO COORDINATE DEMOLITION WITH ENGINEERING DOCUMENTS.

8. SEAL ALL OPENINGS UNCOVERED DURING DEMOLITION OF FURRED WALLS, RELOCATION OF DUCT SHAFTS OR PIPE CHASES, OR REMOVAL OF PARTITIONS OR FIXTURES.



DRAWING SYMBOLS



GRAPHIC KEY TO MATERIALS

<u>EARTH</u>		INSULATION
	COMPACTED FILL	
	POROUS FILL	
<u>CONCRETE</u>		WOOD
	CAST	
	GROUT LIGHWEIGHT	
MASONRY		
	CMU BLOCK	
	BRICK	
	STONE	METAL
		<u>"//////</u>

REVISION SYMBOL

INTERIOR ELEVATION NUMBER

SHEET NUMBER

DETAIL NUMBER

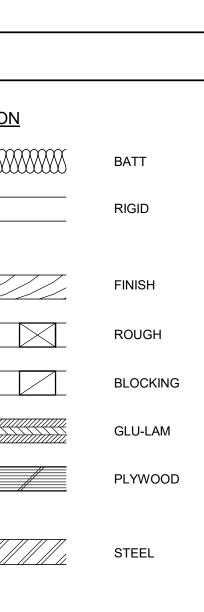
SHEET NUMBER

SECTION NUMBER

SHEET NUMBER

ELEVATION NUMBER

SHEET NUMBER



SHEET INDEX

ARCHITECTURAL COVER SHEET GENERAL INFORMATION SHEET ACCESSIBILITY GUIDELINES CODE ANALYSIS A2.2

PROJECT TEAM

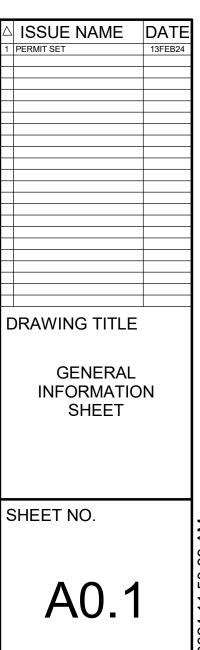
<u>OWNER</u> WILLIAM BANKS 1019 STEAMBOAT BLVD STEAMBOAT SPRINGS, CO 80487

ARCHITECT VERTICAL ARTS, INC. 690 MARKETPLACE PLAZA SUITE 1 STEAMBOAT SPRINGS, CO 80487 CONTACT: sarah@vertical-arts.com

574.536.7800

970.871.0056

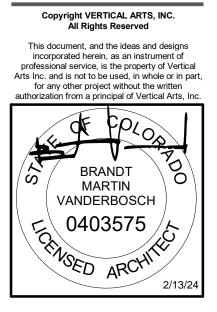




A0.0 A0.1 A0.2 A0.3 D2.2

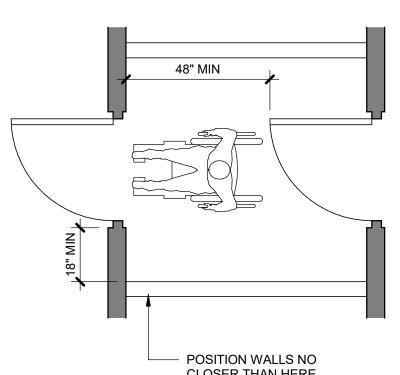
MAIN LEVEL DEMOLITION PLAN MAIN LEVEL FLOOR PLAN

ARCHITECTURE PLANNING LANDSCAPE INTERIORS



POSITION WALLS NO CLOSER THAN HERE (H) 2-HINGED DOORS IN SERIES

(G) 2-HINGED DOORS IN SERIES

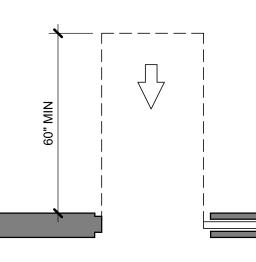


(C) SLIDING DOOR

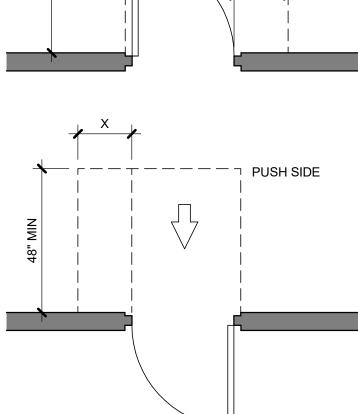
(D) FOLDING DOOR

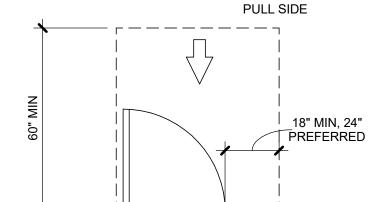
32" MIN

(E) FRONT APPROACHES - SLIDING AND FOLDING DÓORS



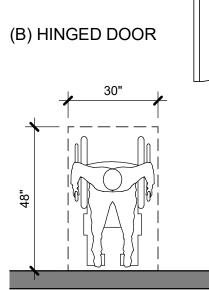
NOTE: X= 12" IF THE DOOR HAS BOTH A CLOSER AND A LATCH (A) FRONT APPROACHES - SWINGING DOORS





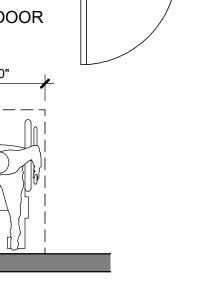
(D) KNEE SPACE (C) CLEAR FLOOR SPACE

(B) FORWARD APPROACH

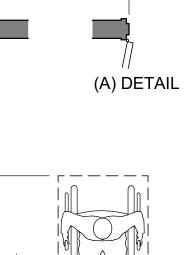




' DEEF



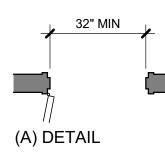
32" MIN



30"

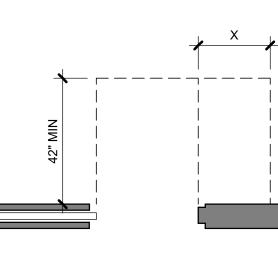
(A) CLEAR FLOOR SPACE

30"

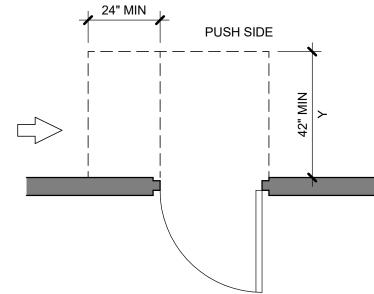


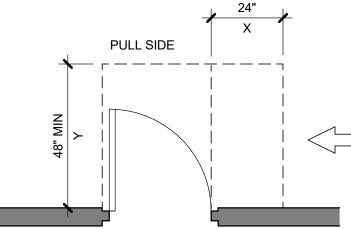
 $\langle \square$

(G) LATCH-SIDE APPROACHES - SLIDING AND FOLDING DOORS

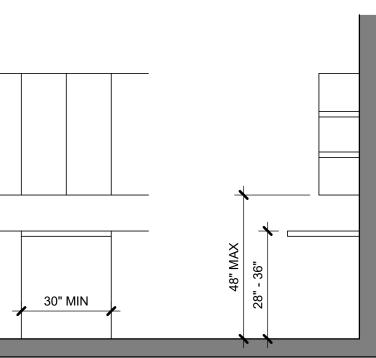


(C) LATCH-SIDE APPROACHES - SWINGING DOORS

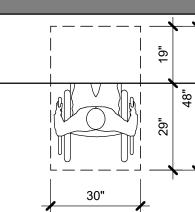




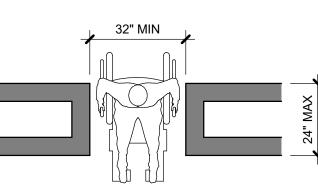
30" MIN



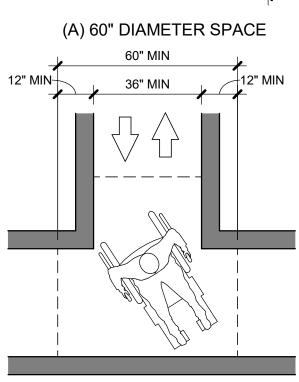
(B) CLEAR FLOOR SPACE UNDER WORK SURFACE

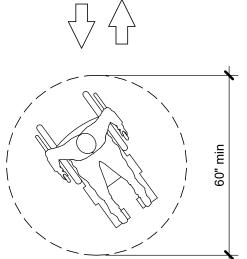


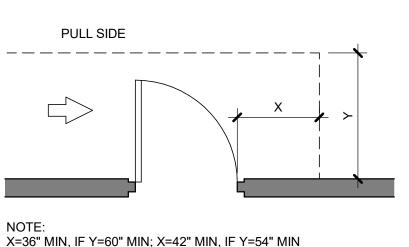
(E) MAXIMUM DOORWAY DEPTH



(B) T-SHAPED SPACE FOR 180° TURNS





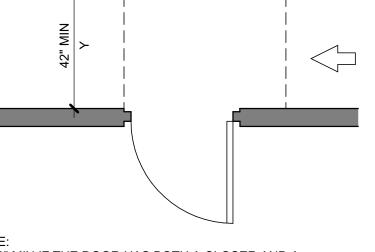


PUSH SIDE

32" MIN

48" MIN

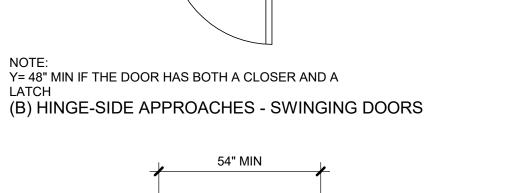
PROVIDE THE ADDITIONAL
SPACE IF DOOR IS EQUIPPED
W.BOTH A LATCH AND A CLOSER



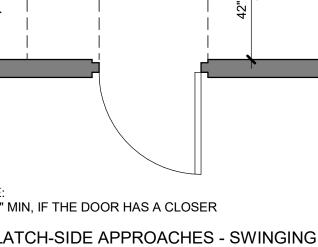
54" MIN

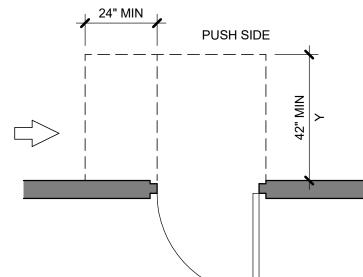
NOTE: Y= 48" MIN IF THE DOOR HAS BOTH A CLOSER AND A LATCH

(F) SLIDE-SIDE APPROACHES - SLIDING AND FOLDING DOORS

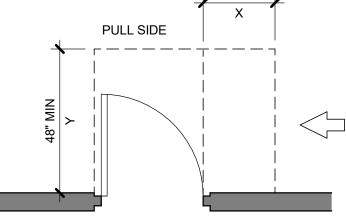


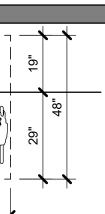
NOTE: Y= 48" MIN, IF THE DOOR HAS A CLOSER





NOTE: Y= 54" MIN, IF THE DOOR HAS A CLOSER





(A) CABINETS & BASES REMOVED & HEIGHT ALTERNATIVES

ACCESSIBILITY NOTES:

- ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCE FOR FRONT APPROACHES.
- 2. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED IN A MANNER COMPLYING AT THE FOLLOWING LOCATIONS:
 - A. PARKING SPACES DESIGNATED AS RESERVED FOR THE HANDICAPPED B. PASSENGER LOADING ZONES C. ACCESSIBLE ENTRANCES D. ACCESSIBLE TOILET AND BATHING FACILITIES
- 3. LETTERS AND NUMBERS ON SIGN SYSTEMS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1
- 4. LETTERS AND NUMBERS ON SIGN SYSTEMS SHALL HAVE A STROKE WIDTH-TO-HEIGHT RATIO OF BETWEEN 1:5 AND 1:10
- 5. MINIMUM DIMENSIONS FOR THE SYMBOL:

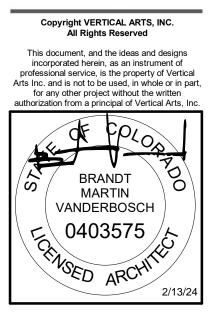
LOCATION	MINIMUM SIZ
INTERIOR	2 1/2 INCHES
EXTERIOR	8 INCHES

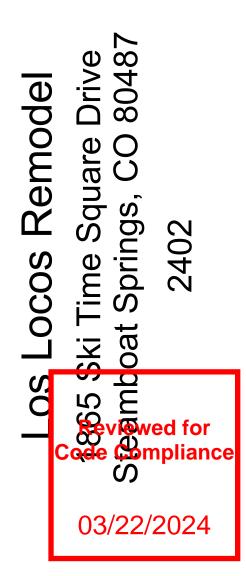
- 6. INTERIOR SIGNS SHALL BE LOCATED ALONGSIDE OF THE DOOR ON THE LATCH SIDE AND SHALL BE MOUNTED AT BETWEEN FOUR FEET SIX INCHES AND FIVE FEET SIX INCHES ABOVE FINISHED FLOOR.
- 7. EXTERIOR SIGNS SHALL BE INSTALLED AT ENTRANCES AND WALKS TO DIRECT INDIVIDUALS TO ACCESSIBLE ROUTES AND ENTRANCES.
- 8. EXTERIOR SIGNS SHALL BE INSTALLED AT VEHICULAR ENTRANCES TO DIRECT DISABLED MOTORISTS TO ACCESSIBLE PARKING AREAS.





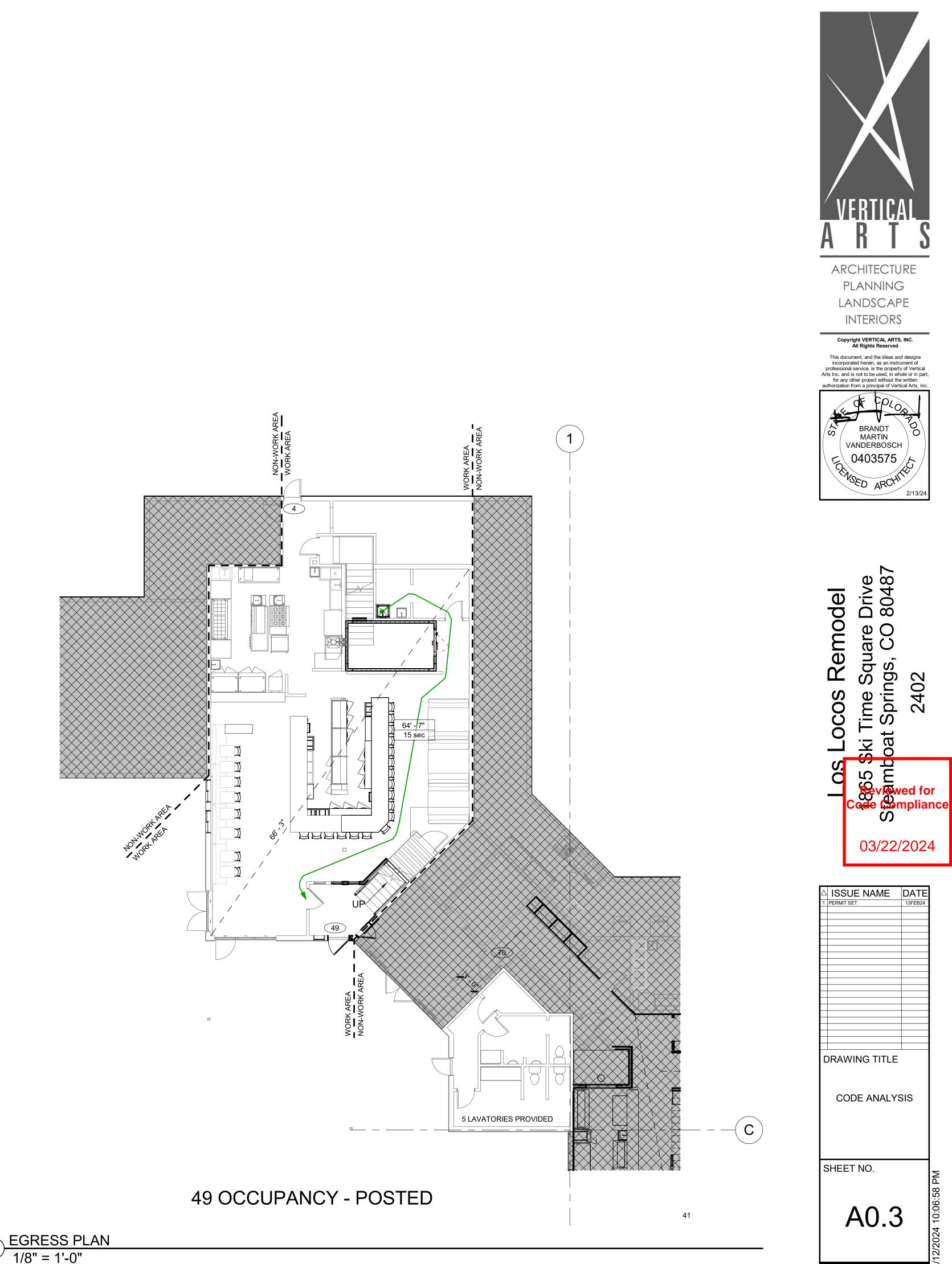
ARCHITECTURE PLANNING LANDSCAPE INTERIORS

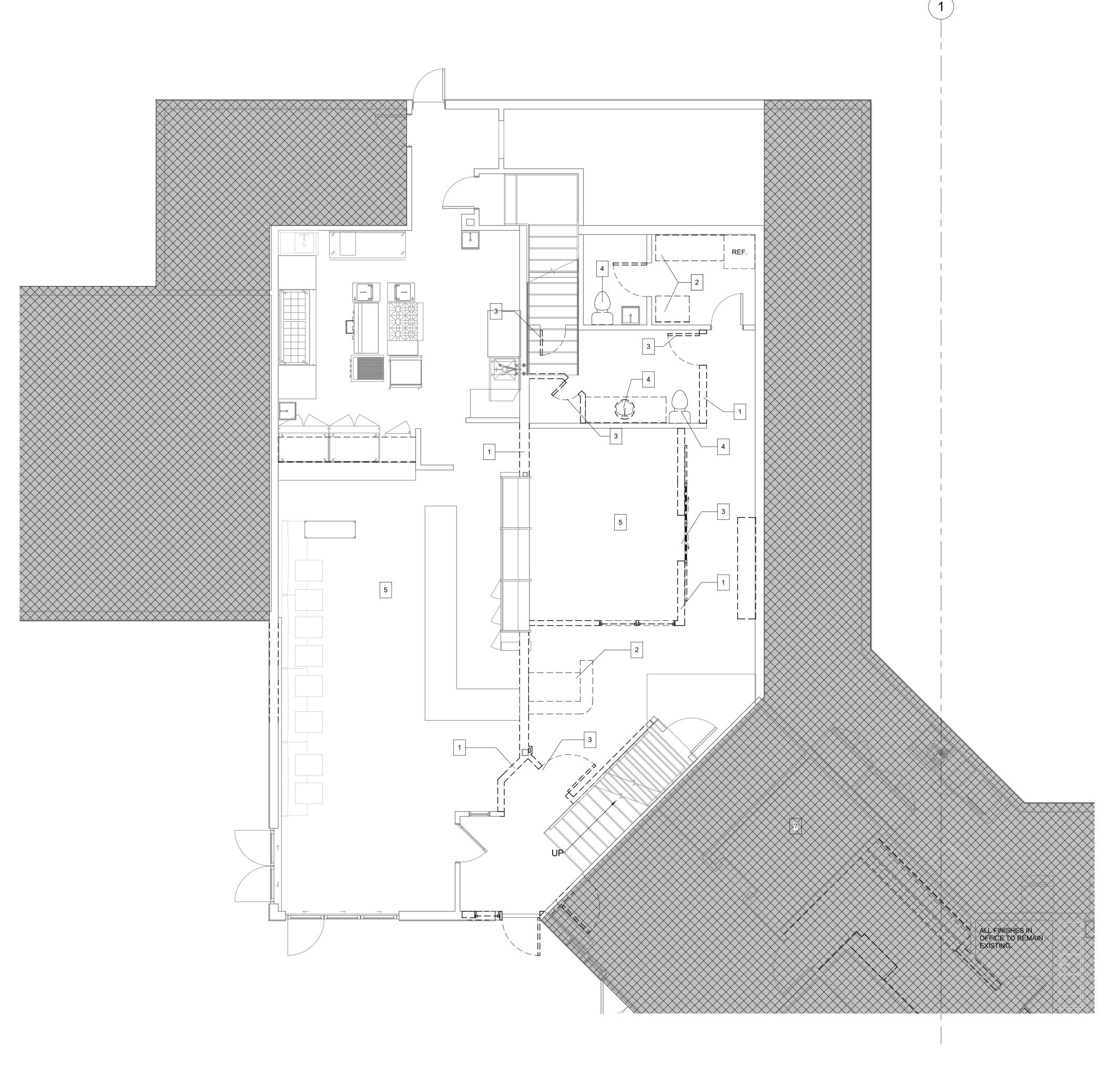




Δ	ISSUE NAME	DATE	
1	PERMIT SET	13FEB24	
_			
C	RAWING TITLE		
	ACCESSIBILIT		
	GUIDELINES	5	
S	HEET NO.		.
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	A0.2		
	TU.Z	•	

CODE ANALYSIS Chapter 9 - Fire Protection Systems APPLICABLE BUILDING CODES: 2021 INTERNATIONAL BUILDING CODE 903.2 The building is equipped with an existing automatic sprinkler system in accordance with NFPA 13 and shall be modified for compliance in the remodeled space. 2021 INTERNATIONAL PLUMBING CODE • 2021 INTERNATIONAL MECHANICAL CODE • 2021 NATIONAL ELECTRICAL CODE • 2021 INTERNATIONAL FIRE CODE 907.1 The building is equipped with an existing fire alarm and detection system and shall be • 2022 NFPA 72 NATIONAL FIRE ALARM CODE modified for compliance in the remodeled space. • AMERICANS WITH DISABILITIES ACT GUIDELINES • Chapter 10 - Means of Egress **Project Description:** The drawings in this set represent as-builts of Los Locos restuarant remodel. Vertical Table 10045.5 Maximum Floor Area Allowances Per Occupant • Arts is providing drawings for the building department to document the previous remodel. The remodel included expansion of the existing bar, removal of demising wall, added Maximum Occupant Load shall be posted as 49 Occupants. seating booths, and beer cooler. Chapter 11 - Accessibility 1102.1 Buildings and facilities shall be designed and constructed to be accessible in accordance Summary: with this code and ICC A117.1. Occupancy: B • NFPA13 Building is fully sprinkled: • Allowable Heights and Areas 75'-0" [Table 504.3] Allowable Height: • Allowable Stories: 4 [Table 504.4] • Allowable Area: 69,000 sf [Table 506.2] • Existing Building Heights and Areas Actual Height: 24' - 2 1/2" 2 Stories Actual Stories: • Total Actual Area: 2,254 SF • **Restaurant Remodel Area** 2,254 SF Actual Area: Number of Occupants Restaurant Occupancy: Maximum 49 Occupants • Back of House Occupancy: 3 Occupants • Chapter 3 - Use and Occupancy Classification 303.1 Assembly Group, A 303.1.1 Small buildings and tenant spaces. A building or tenant space used for assembly purposes with an occupant load of less than 50 persons shall be classified as a Group B occupancy. Chapter 5 - General Building Heights and Areas • See Summary for Height, Area, and Stories. Chapter 6 - Types of Construction Table 601 - Type II-B, all construction shall be non-rated. Chapter 9 - Fire Protection Systems 903.2 The building is equipped with an existing automatic sprinkler system in accordance with NFPA 13 and shall be modified for compliance in the remodeled space. Table 906.3(1) - 2-A maximum distance of travel to extinguisher 75 feet. 907.1 The building is equipped with an existing fire alarm and detection system and shall be modified for compliance in the remodeled space.



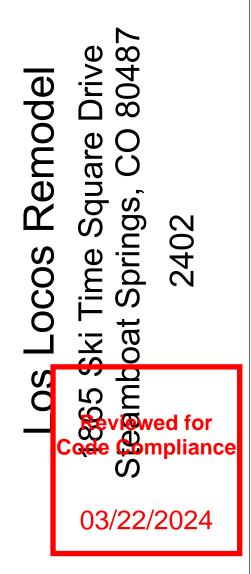


DEMOLITION KEYNOTES		
Key Value Keynote Text		
	1	
1	DEMOLISH WALL	
2	DEMOLISH CASEWORK	
3	DEMOLISH DOOR	
4	DEMOLISH PLUMBING FIXTURES AND CAP PLUMBING	
5	DEMOLISH FLOORING	



ARCHITECTURE PLANNING LANDSCAPE INTERIORS





Δ	ISSUE NAME	DATE
1	PERMIT SET	13FEB24
C	RAWING TITLE	
	MAIN LEVEL	
	DEMOLITION FI	
5	SHEET NO.	
	D2.2	
	DZ.Z	-



