

# RICHEY LIVE/WORK UNITS



The ENGINEERING LOFT

15873 FAIRWAY DRIVE  
BUENA VISTA, CO 81211  
720.491.1611

CHRISTINA@ENGINEERINGLOFT.COM

RICHEY LIVE/WORK UNITS  
LOT 3 COPPER RIDGE BUSINESS PARK SUBDIVISION F4  
STEAMBOAT SPRINGS, CO 80487

COVER SHEET

### INDEX OF DRAWINGS:

A0	COVER SHEET
A1	SITE PLAN
A2	MAIN LEVEL FLOOR PLAN
A3	UPPER LEVEL FLOOR PLAN
A4	ELEVATIONS
A5	ELEVATIONS
A6	CROSS SECTIONS
S1	FOUNDATION PLAN
S2	UPPER FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN

### OWNER:

RICHEY CONSTRUCTION, INC.  
P.O. BOX 775272  
STEAMBOAT SPRINGS, CO 80477

### PROJECT TEAM:

#### STRUCTURAL ENGINEER

THE ENGINEERING LOFT, PLLC  
15873 FAIRWAY DRIVE  
BUENA VISTA, CO 81211

#### CIVIL ENGINEER

FOUR POINTS SURVEYING AND ENGINEERING  
440 S. LINCOLN AVE, SUITE 4B  
P.O. BOX 775966  
STEAMBOAT SPRINGS, CO 80487

### PROJECT DESCRIPTION:

NEW 2-UNIT LIVE/WORK SPACES.  
TWO-STORY, WOOD-FRAMED CONSTRUCTION ON  
CONCRETE GRADE BEAM AND HELICAL PIER  
FOUNDATION.

### APPLICABLE CODES:

2019 INTERNATIONAL BUILDING CODE  
2019 INTERNATIONAL RESIDENTIAL CODE  
2019 INTERNATIONAL FUEL GAS CODE  
2019 INTERNATIONAL MECHANICAL CODE  
2019 INTERNATIONAL PLUMBING CODE  
2019 INTERNATIONAL ENERGY CONSERVATION CODE  
2020 NATIONAL ELECTRICAL CODE

### INSULATION NOTES:

PER PERSCRIPTIVE PATH: 2019 IECC  
CLIMATE ZONE 7  
CEILING: R-49  
WOOD FRAMED WALLS: R-20+5  
FLOOR: R-38  
UNDER SLAB: R-10 FOR 4'-0" HORIZONTAL  
WINDOW & DOOR: U - 0.30  
SKYLIGHTS: U - 0.55

### DESIGN CRITERIA:

WIND: 115 MPH (V<sub>g</sub>), EXPOSURE 'C'  
SEISMIC: DESIGN CATEGORY 'C'  
WEATHERING: SEVERE  
TERMITE: NONE TO SLIGHT  
FLOOD HAZARDS: FRM, FEBRUARY 4, 2005  
FROST DEPTH: 48"  
GROUND SNOW LOAD: 123 PSF

### ZONING DATA:

JURISDICTION:  
CITY OF STEAMBOAT SPRINGS

#### ZONING:

I - INDUSTRIAL

#### BUILDING HEIGHT:

MAX BUILDING HEIGHT = 32'-0"  
MAX AVERAGE PLATE HEIGHT = 28'-0"

ACTUAL BUILDING HEIGHT = 31'-11 3/4"  
ACTUAL AVERAGE PLATE HEIGHT = 25'-11 1/4"

#### BUILDING LOT LINE SETBACKS:

FRONT = 15' MIN  
SIDE = 10' MIN  
REAR = 10' MIN

#### LOT COVERAGE:

LOT SQUARE FOOTAGE = 13,939 SQ FT (0.22  
ACRES)  
ALLOWABLE LOT COVERAGE = 8,363 SQ FT  
(60%)  
ACTUAL LOT COVERAGE = 2,520 SQ FT (18%)

### SQUARE FOOTAGES:

NON-RESIDENTIAL	
UNFINISHED WORK SPACE:	1063 SQ FT PER UNIT
FINISHED WORK SPACE:	197 SQ FT PER UNIT
TOTAL:	1260 SQ FT PER UNIT
RESIDENTIAL	
FINISHED SPACE:	1243 SQ FT PER UNIT
GROSS TOTAL:	2,503 SQ FT PER UNIT
OVERALL BUILDING GROSS TOTAL:	5,006 SQ FT

IBC SECTION 19.11 #1 - THE LIVE/WORK UNIT IS PERMITTED TO BE NOT MORE THAN 3,000 SQ FT IN AREA.

IBC SECTION 419.11 #2 - THE NON-RESIDENTIAL AREA IS PERMITTED TO BE NOT MORE THAN 50% OF THE AREA OF EACH LIVE/WORK UNIT.

### ADA COMPLIANCE:

ALL ADA REQUIREMENTS NOTED IN THE CODE  
REVIEW ABOVE SHALL CONFORM TO THE 2010 ADA  
STANDARDS FOR ACCESSIBLE DESIGN

### DEMISING WALL NOTES:

1. OUTLETS FOR ANTENNA, PHONE AND ELECTRICAL SHALL HAVE 1/4-INCH ACOUSTICAL SEALANT AROUND THE BOX TO THE DRYWALL.
2. INSTALL FIRE RATED ACOUSTICAL SEALANT BETWEEN THE TERMINATION OF THE DRYWALL AND THE SUB-FLOOR. THE ACOUSTICAL SEALANT SHOULD BE 1/4 INCH TO 1/2 INCH IN DIAMETER.
3. OUTLETS IN DWELLING UNIT SEPARATION WALLS SHALL HAVE ACOUSTICAL PADS COMPLETELY SURROUNDING THE BOX AND WIRE HOLES.
4. PIPES IN DWELLING UNIT SEPARATION WALLS ARE PERMITTED TO TOUCH ONLY THE SIDES OF THE WALL IN THE UNIT THEY SERVE.
5. ISOLATED/SEPARATE VERTICAL PIPING WITH PADDING, AND SECURE THE BRACING OVER THE PADDING, TO AVOID VIBRATION AND SOUND TRANSMISSION.
6. WRAP SEWER AND WASTE STACKS WITH ACOUSTICAL BLANKET.

### INTERIOR ELECTRICAL NOTES:

1. PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL OUTLETS IN BEDROOMS.
2. PROVIDE APPROVED CARBON-MONOXIDE DETECTORS IN THE HALLWAY OR OUTSIDE ALL ROOMS USED FOR SLEEPING PURPOSES AT ALL UNITS WITH COMBUSTION APPLIANCES OR ATTACHED GARAGE(S). INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE PRIMARY POWER SOURCE MUST BE PROVIDED BY THE HOUSE CIRCUIT WIRE, AND THE SYSTEM MUST INCLUDE A BATTERY BACKUP.
3. LIGHT FIXTURES IN HIGH MOISTURE AREAS BE NOTED AS VAPOR-PROOF LIGHTING, TO REDUCE PREMATURE FAILURE.
4. PROVIDE GFCI-PROTECTED OUTLETS IN THE KITCHEN AT ALL COUNTERTOP SURFACES. ANY OUTLET LOCATED OUTSIDE OF THE KITCHEN, BUT WITHIN 6 FEET OF THE SINK, MUST BE GFCI PROTECTED.
5. GFCI-PROTECTED OUTLET AT EACH BATHROOM. OUTLETS ARE REQUIRED TO BE LOCATED ON THE WALL WITHIN 3 FEET OF A SINK AND 5 FEET FROM A TUB. IT MAY BE NECESSARY TO INSTALL A SECOND RECEPTACLE IF A RECEPTACLE CANNOT BE MOUNTED BETWEEN BASINS.
6. OUTLETS SHOULD BE INDICATED WITH A MAXIMUM SPACING OF 12 FEET, AND ON EVERY WALL MEASURING LONGER THAN 2 FEET.
7. SMOKE DETECTORS SHOULD BE INDICATED AS A MINIMUM OF 3 FEET FROM ANY AIR CURRENT SOURCE, INCLUDING SUPPLY/RETURN DUCT TERMINATIONS AND CEILING FANS.
8. ELECTRICAL SUBPANELS MUST BE LOCATED IN AN ACCESSIBLE AREA WHERE THEY WILL NOT BE BLOCKED BY OTHER OBJECTS. INSTALLATION IN CLOSETS IS PROHIBITED.

### EXTERIOR ELECTRICAL NOTES:

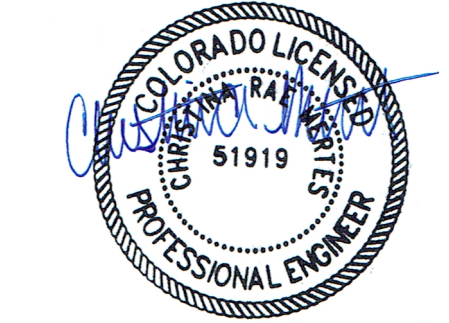
1. SEE ELEVATION VIEWS FOR EXTERIOR LIGHTING LOCATIONS.
2. RE: CIVIL PLANS FOR ALL EXTERIOR LIGHTING CALCULATIONS AND INFORMATION.

### ARCHITECTURAL NOTES:

1. APPLICABLE CODES:  
• ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE GOVERNING CODES AND APPLICABLE STANDARDS.
2. DIMENSIONS:  
• DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE CONFIRMED AND CORRELATED BY THE CONTRACTOR AT THE JOB SITE. IN CASE OF QUESTIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR FURTHER CLARIFICATION.
3. GUARANTEE:  
• THE ENGINEER MAKES NO EXPRESSED OR IMPLIED GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAME OR MANUFACTURER.
4. WATER RESISTANT GYPSUM BOARD SHALL BE USED AT ALL WET AREAS AS REQUIRED BY BUILDING CODE.
5. OPEN GUARDRAILS SHALL BE LOCATED +36" ABOVE FINISH FLOOR AND SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SPACED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH.
6. PROVIDE PRIVACY LATCH AT ALL BEDROOM AND BATHROOM DOORS. PROVIDE KEYED ENTRY AND DEADBOLT AT ALL EXTERIOR DOORS.
7. COORDINATE WITH OWNER ALL CLOSET, CABINET AND SHELF DESIGNS.
8. WINDOW SIZES SHOWN ARE NOMINAL DIMENSIONS. CONTRACTOR TO VERIFY ROIS PRIOR TO FRAMING.
9. ALL EXTERIOR ROUGH OPENINGS SHOWN IN PLANS AND ELEVATIONS ARE IN FEET AND INCHES 3'06" = 3'-0" X 6'-8" NOMINAL ROUGH OPENING.

### MECHANICAL NOTES:

1. CONTRACTOR SHALL NOT EXCEED 50 CFM PER 1000 SQUARE FEET FOR TOTAL DUCT LEAKAGE, MEASURED AT 50 FASCAL (0.2 W.C.) OF POSITIVE PRESSURE, USING CALIBRATED DUCT BLASTER TEST EQUIPMENT.
2. ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED AND TESTED IN ACCORDANCE WITH THE MOST RESTRICTIVE OF LOCAL REGULATIONS, THE PROCEDURES DETAILED IN THE ASHRAE HANDBOOK OF FUNDAMENTALS, OR THE APPLICABLE STANDARDS ADOPTED TO THE SHEET METAL AND AIR CONDITIONING CONTRACTOR ASSOCIATION.
3. PROVIDE EXHAUST FANS IN ALL TOILET ROOMS AND AT KITCHEN HOOD.



PRELIM DATE:	7.18.22
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	4.10.23
	6.12.23
	3.5.24

SHEET:  
**AO**

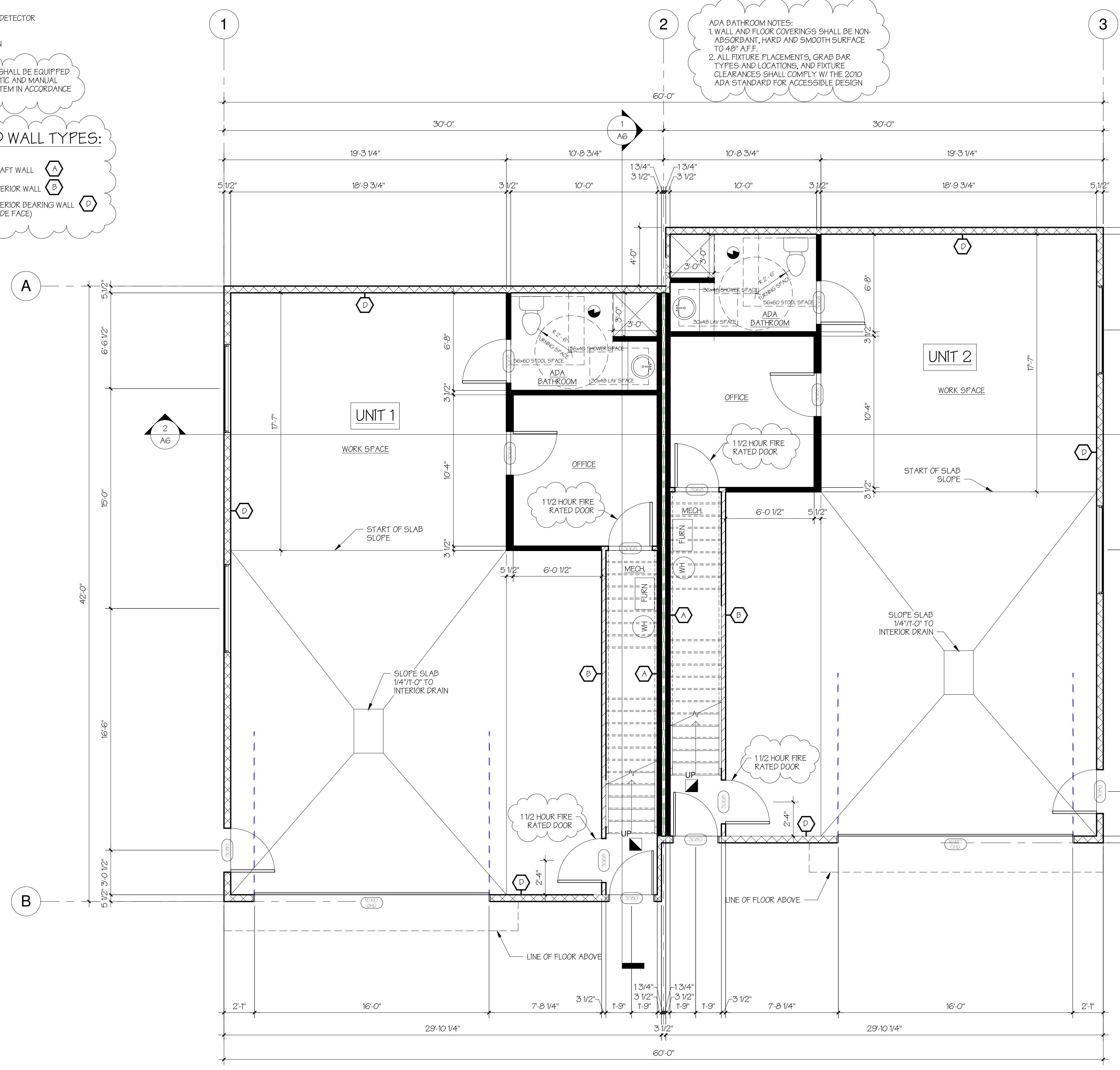
PROJECT NO: 21160

- LEGEND:**
- SMOKE & CO DETECTOR
  - ⊙ EXHAUST FAN

NOTE: EACH UNIT SHALL BE EQUIPPED WITH AN AUTOMATIC AND MANUAL FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA 72.

- PROTECTED WALL TYPES:**
- 2-HOUR SHAFT WALL (A)
  - 2-HOUR INTERIOR WALL (B)
  - 1-HOUR EXTERIOR BEARING WALL (FROM INSIDE FACE) (D)

**ADA BATHROOM NOTES:**  
 1. WALL AND FLOOR COVERINGS SHALL BE NON-ABSORBANT, HARD AND SMOOTH SURFACE TO 48" AFF.  
 2. ALL FIXTURE PLACEMENTS, GRAB BAR TYPES AND LOCATIONS, AND FIXTURE CLEARANCES SHALL COMPLY W/ THE 2010 ADA STANDARD FOR ACCESSIBLE DESIGN



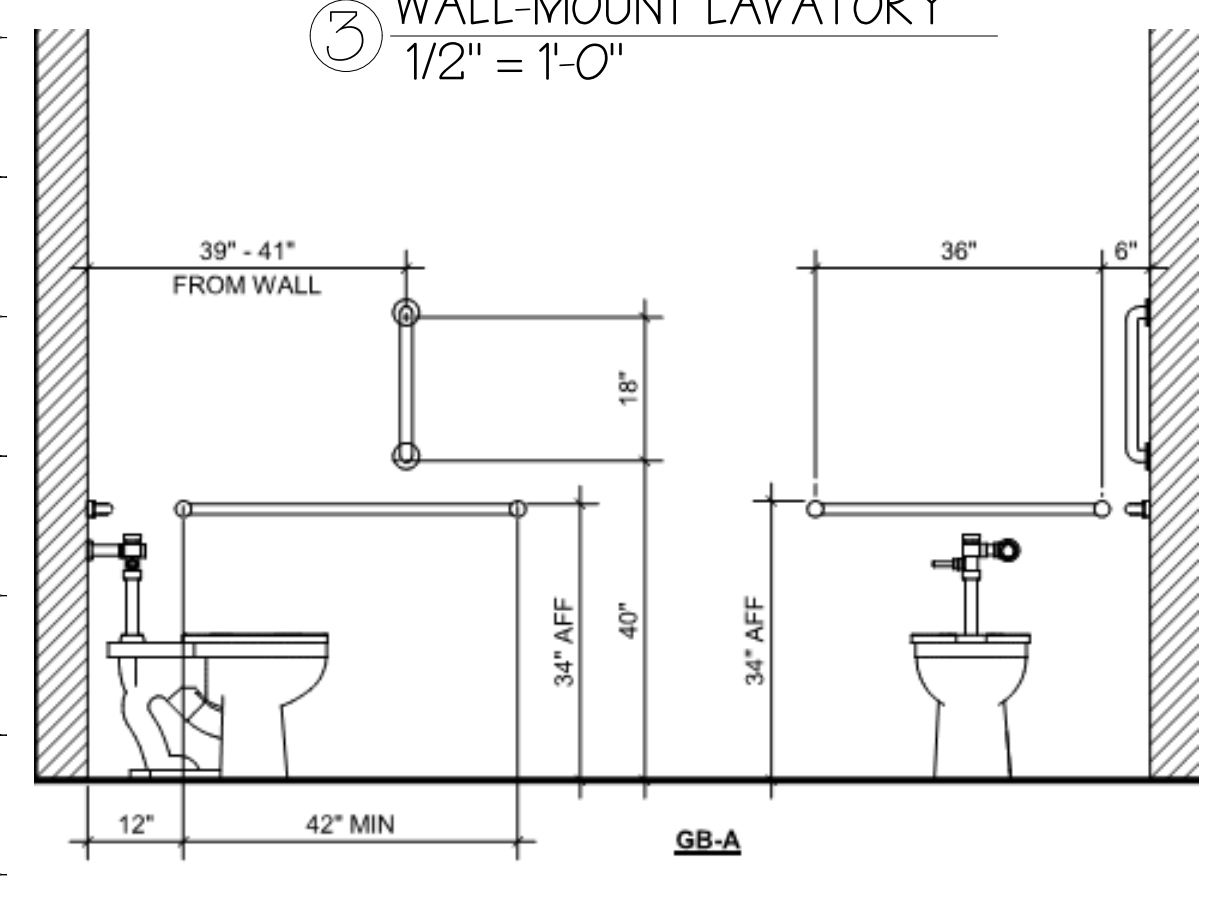
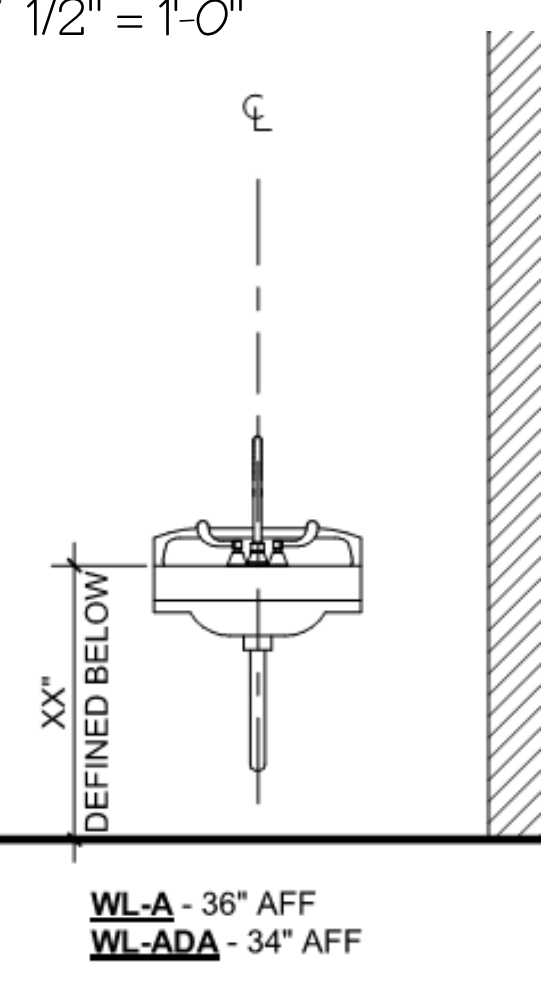
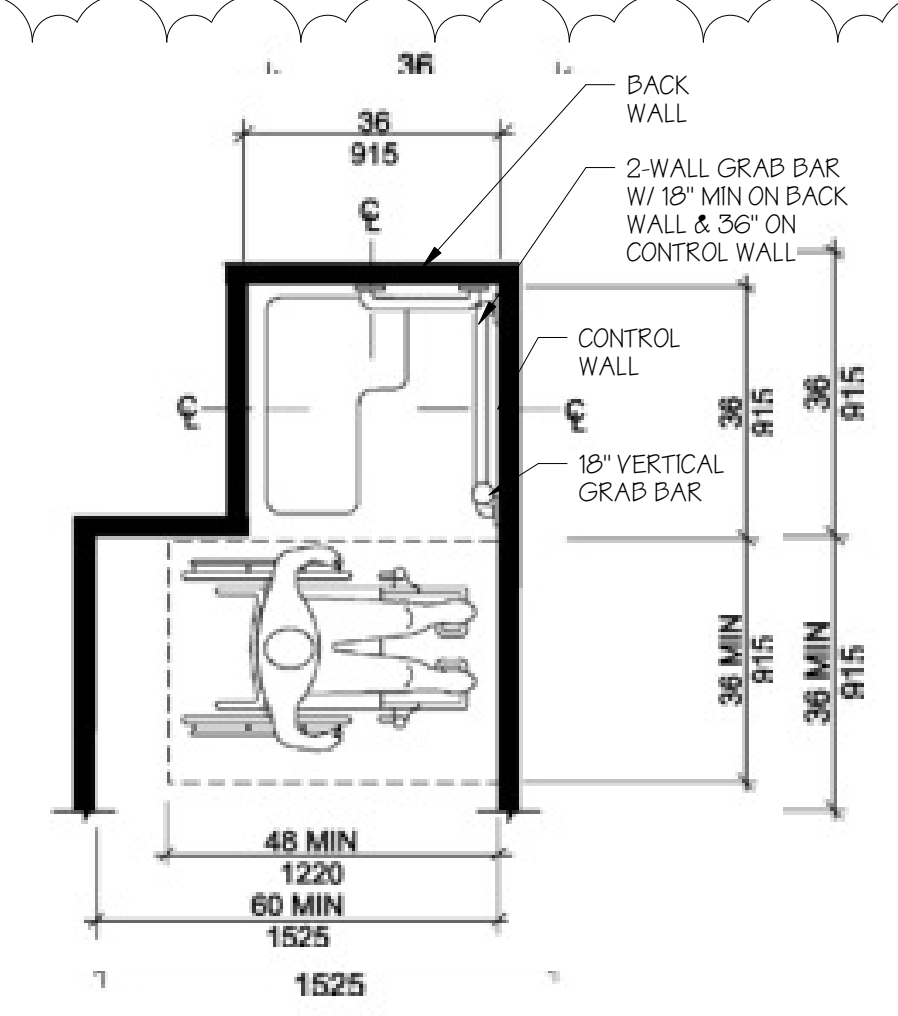
1 MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"

**WINDOW SCHEDULE**

Type Mark	Width	Height	Description	Head Height	Count
2650	2'-6"	5'-0"	Casement	7'-0"	4
3020	3'-0"	2'-0"	Awning	7'-0"	2
3050	3'-0"	5'-0"	Casement	7'-0"	6
3060	3'-0"	5'-0"	Fixed	7'-0"	6
4020	4'-0"	2'-0"	Fixed	9'-0"	2
4060	4'-0"	6'-0"	Fixed	7'-0"	6
6020	6'-0"	2'-0"	Fixed	10'-0"	4
8020	8'-0"	2'-0"	Fixed	9'-0"	2

**DOOR SCHEDULE**

Type	Height	Width	Count
15' x 10'	10'-0"	16'-0"	2
28' x 80"	8'-8"	2'-4"	4
28' x 80"	8'-8"	2'-4"	2
30' x 80"	8'-8"	2'-6"	2
32' x 80"	8'-8"	2'-8"	4
36' x 80"	8'-8"	3'-0"	14
36' x 90"	8'-0"	3'-0"	2
36' x 96"	8'-0"	3'-0"	2
72' x 80"	6'-8"	6'-0"	4



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 MAIN LEVEL FLOOR PLAN



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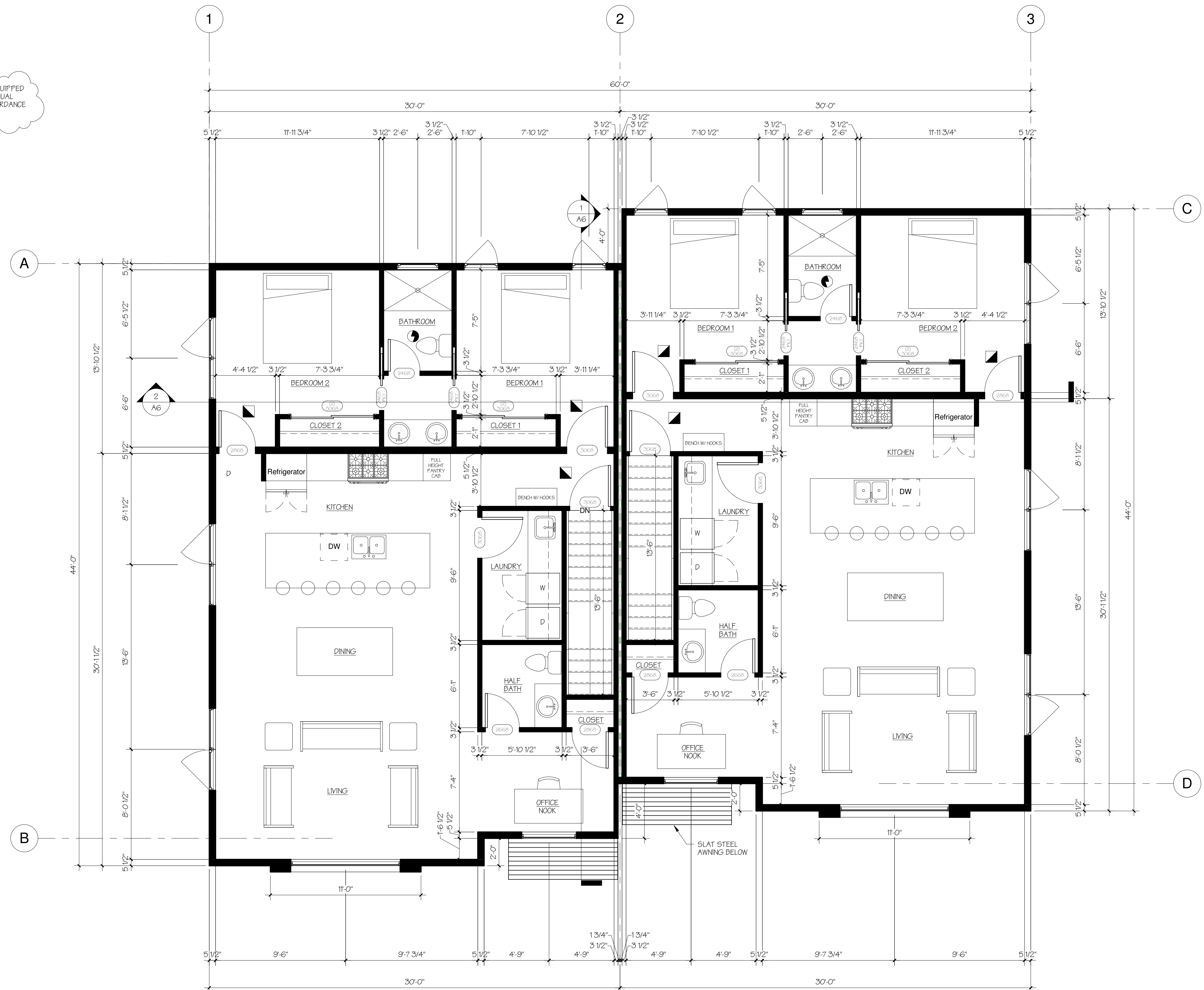
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**A2**

PROJECT NO: 21160

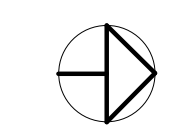
LEGEND:

- SMOKE & CO DETECTOR
- EXHAUST FAN

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1 UPPER LEVEL FLOOR PLAN  
1/4" = 1'-0"



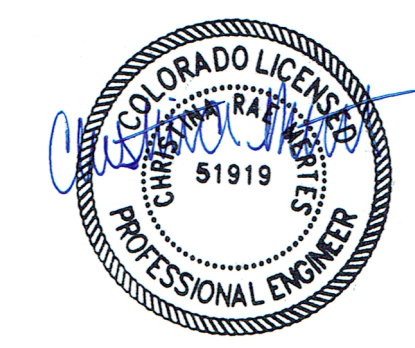
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UPPER LEVEL FLOOR PLAN



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SHEET:

**A3**

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ELEVATIONS

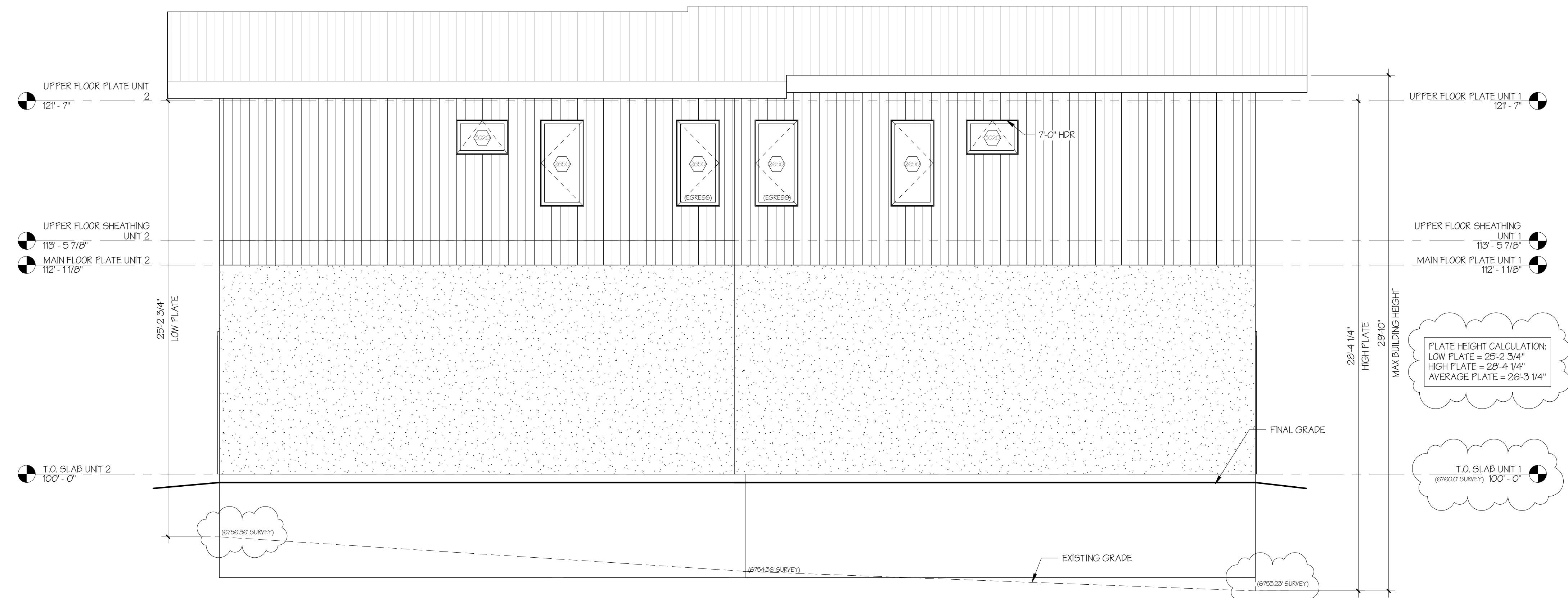
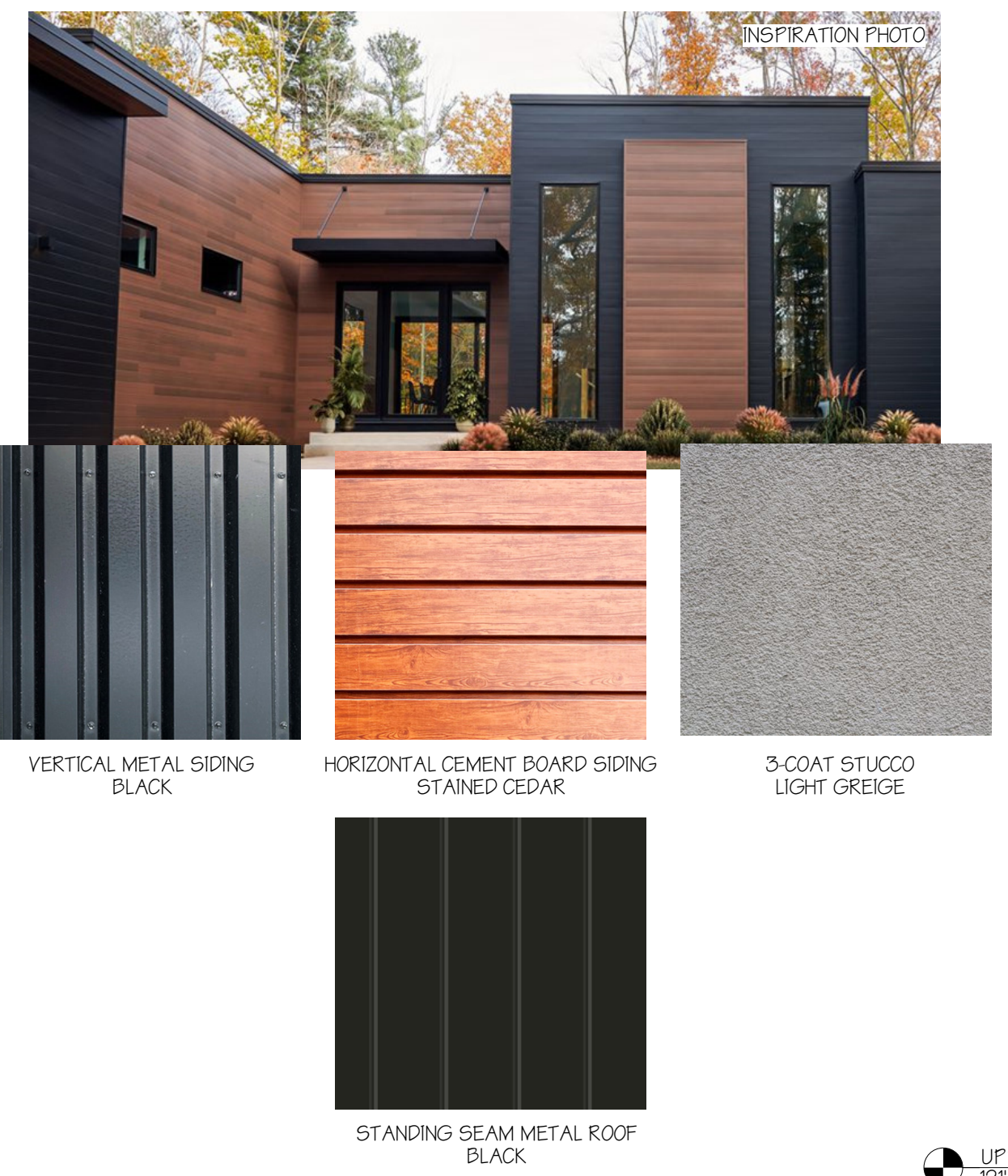


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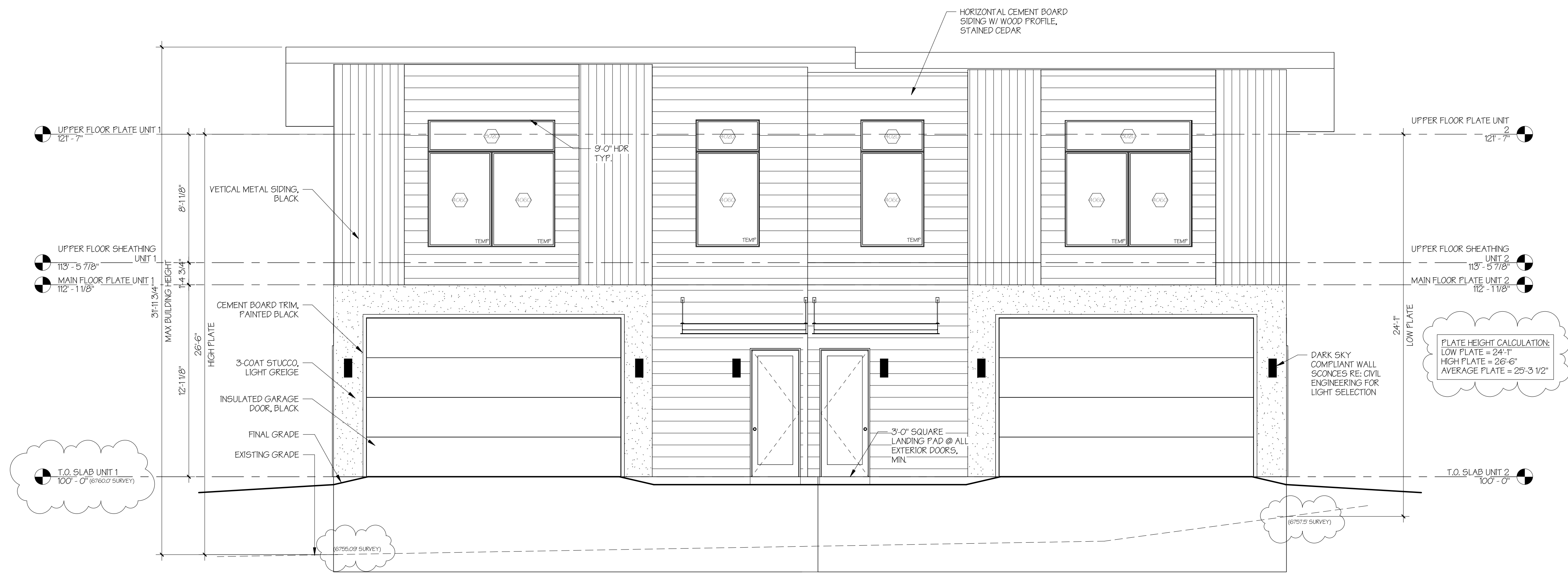
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**A4**

PROJECT NO: 21160

EXTERIOR MATERIALS BOARD



② WEST ELEVATION  
1/4" = 1'-0"



① EAST ELEVATION  
1/4" = 1'-0"

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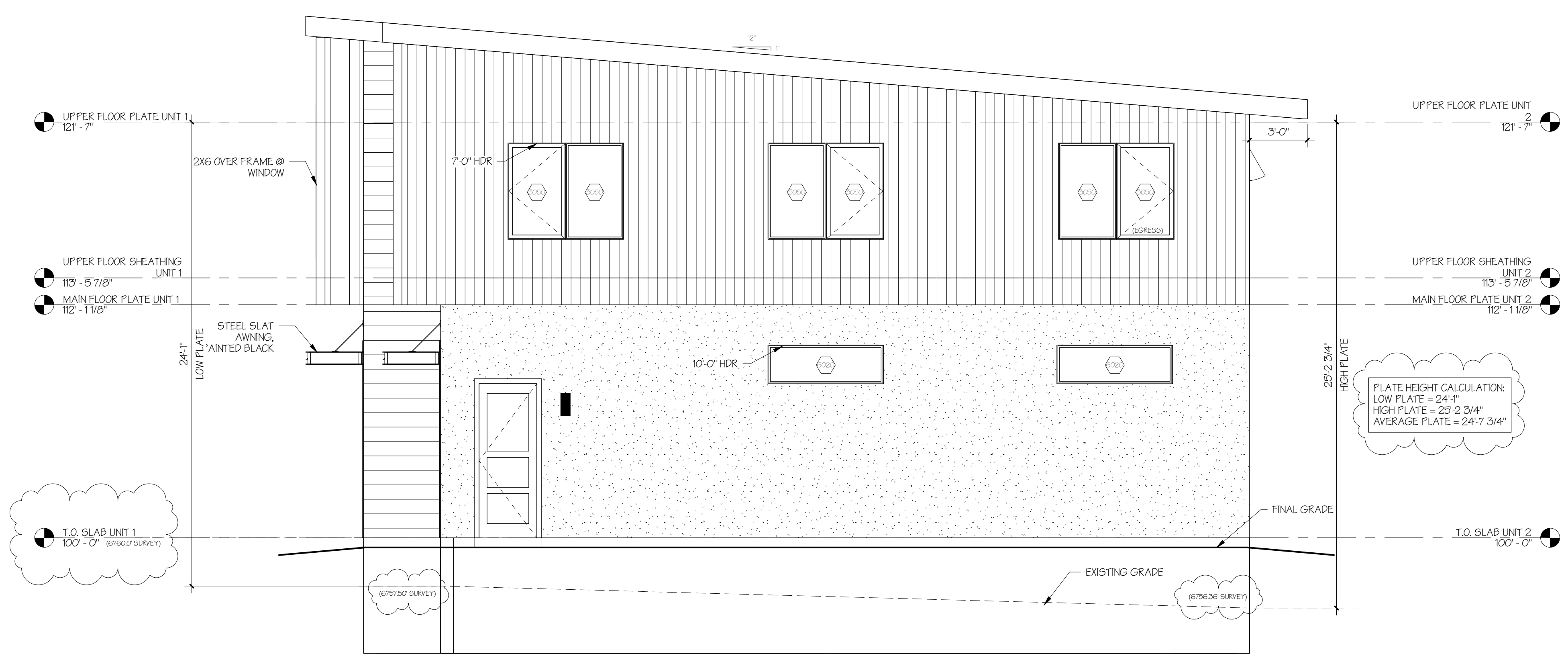
ELEVATIONS



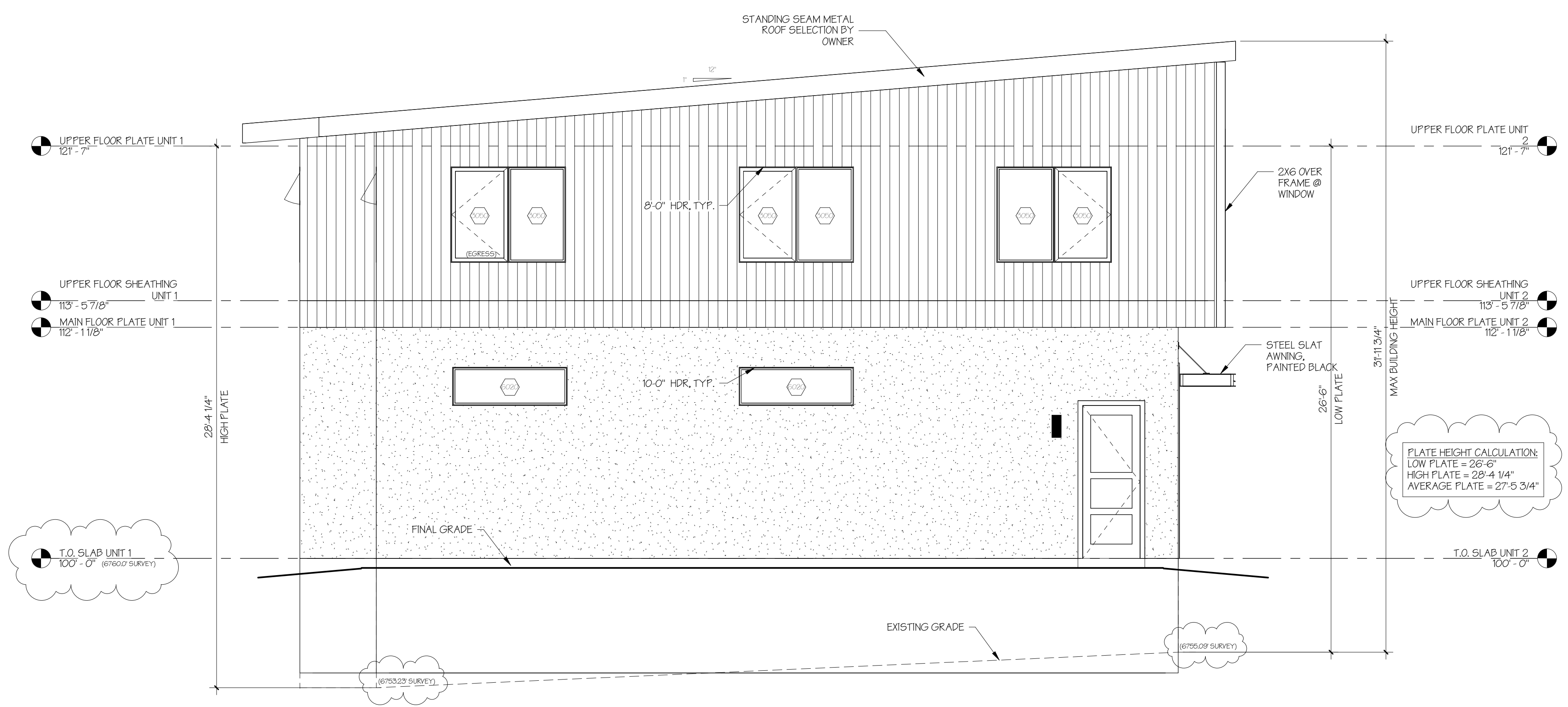
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SHEET:  
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② NORTH ELEVATION  
1/4" = 1'-0"



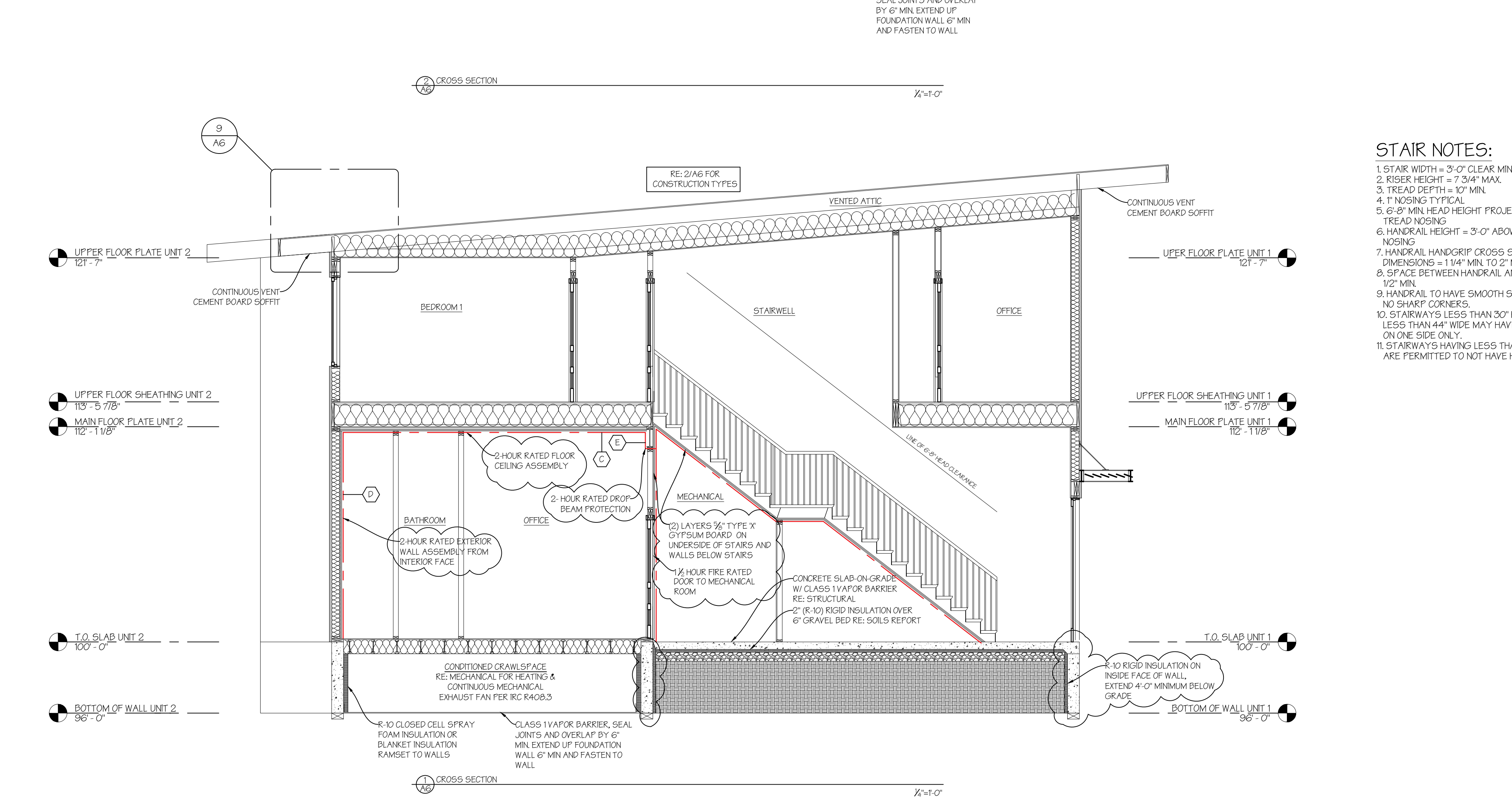
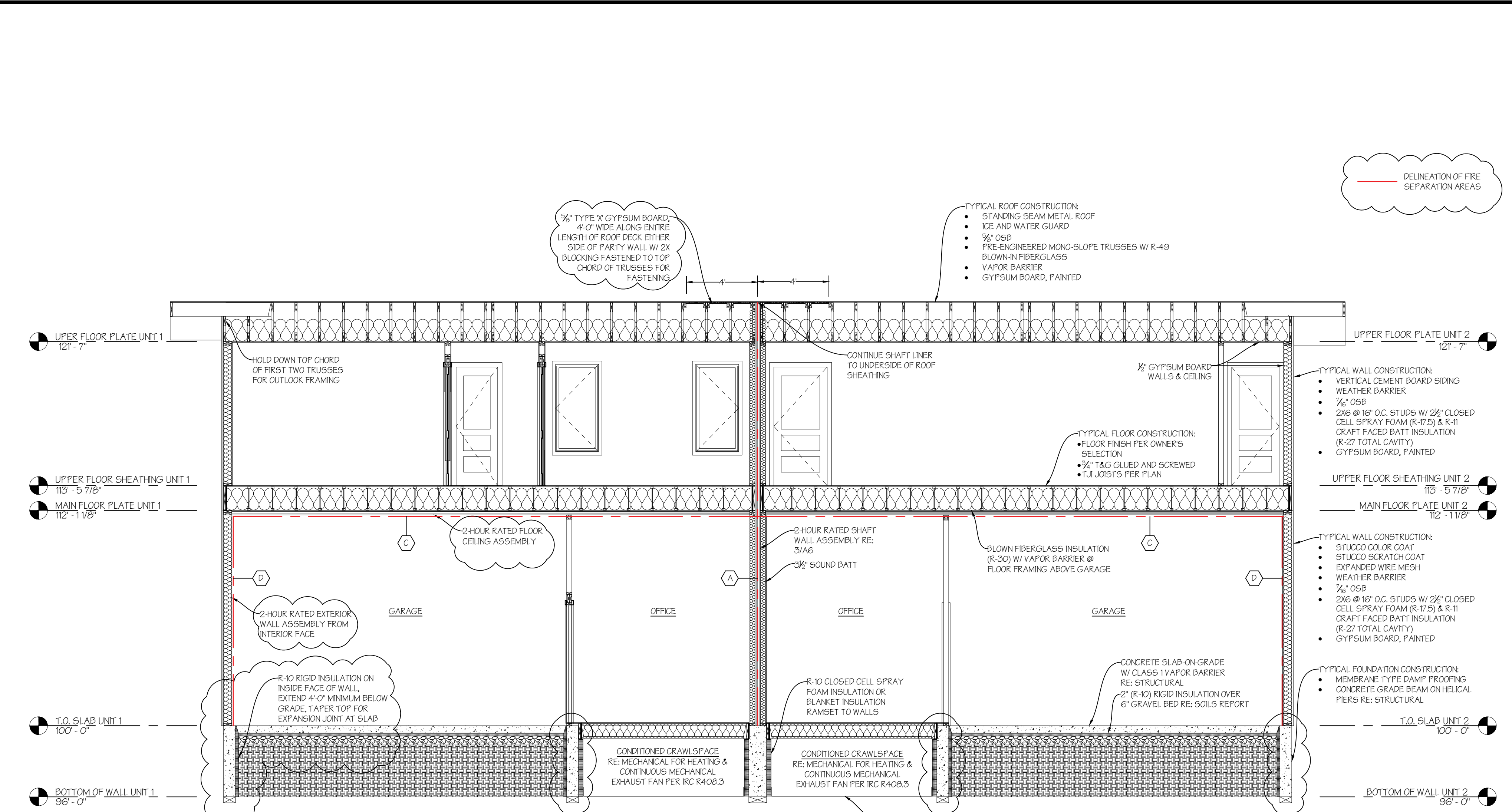
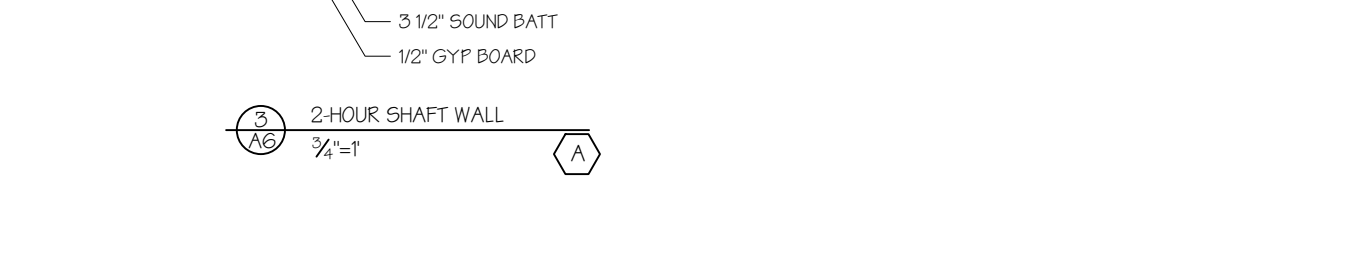
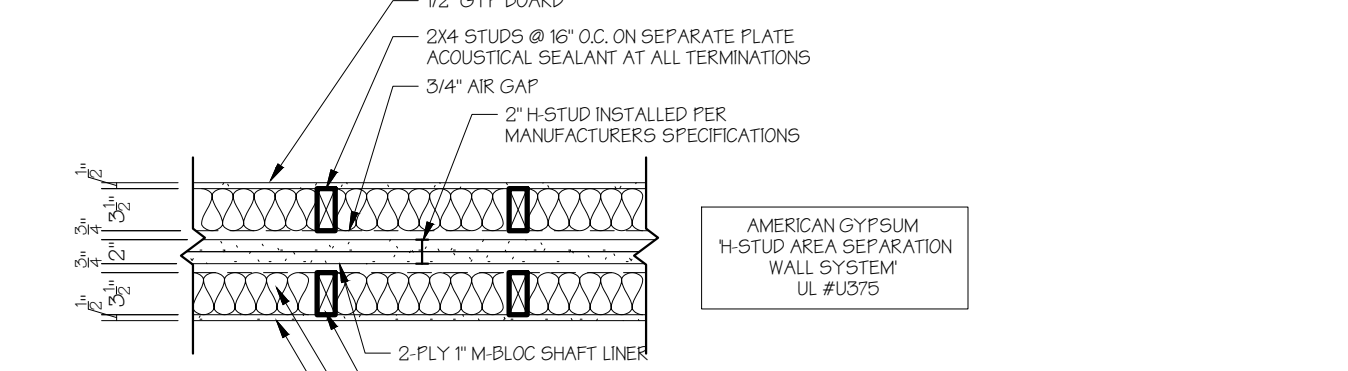
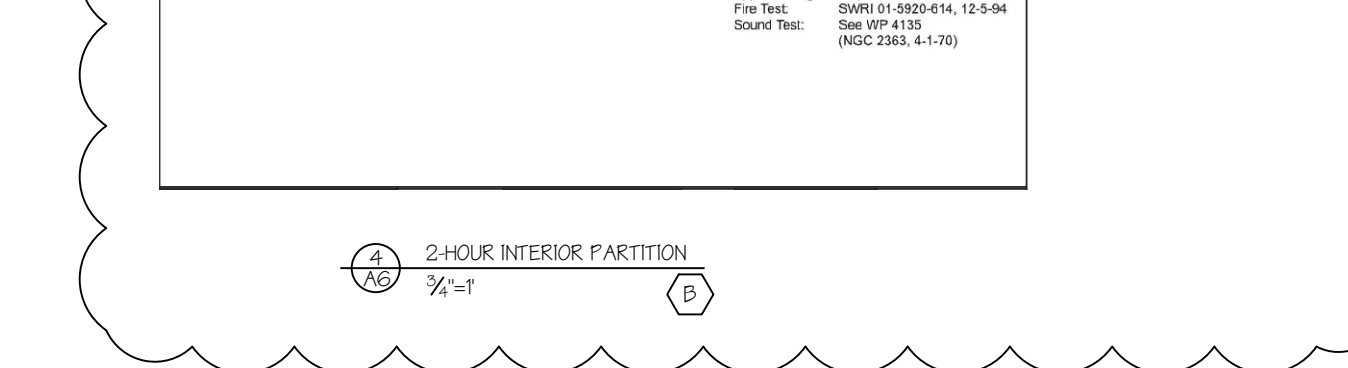
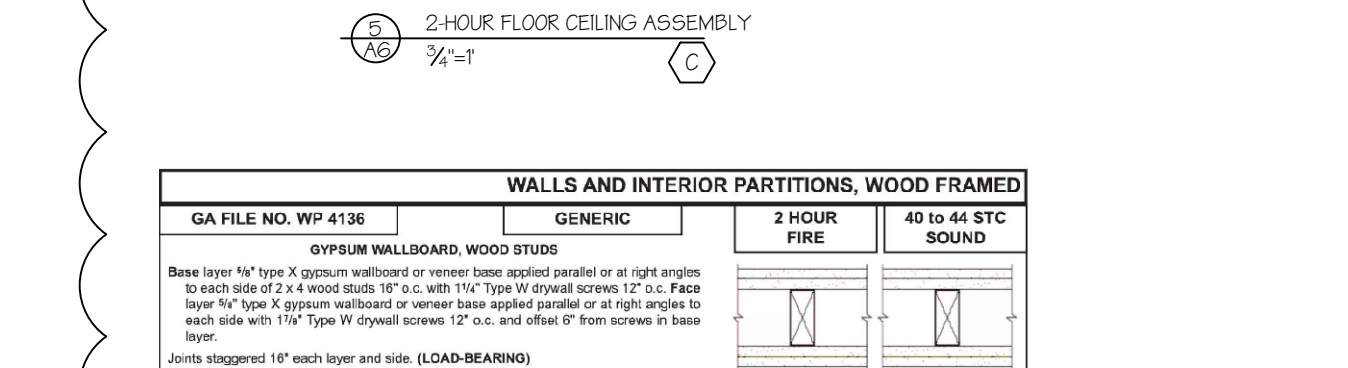
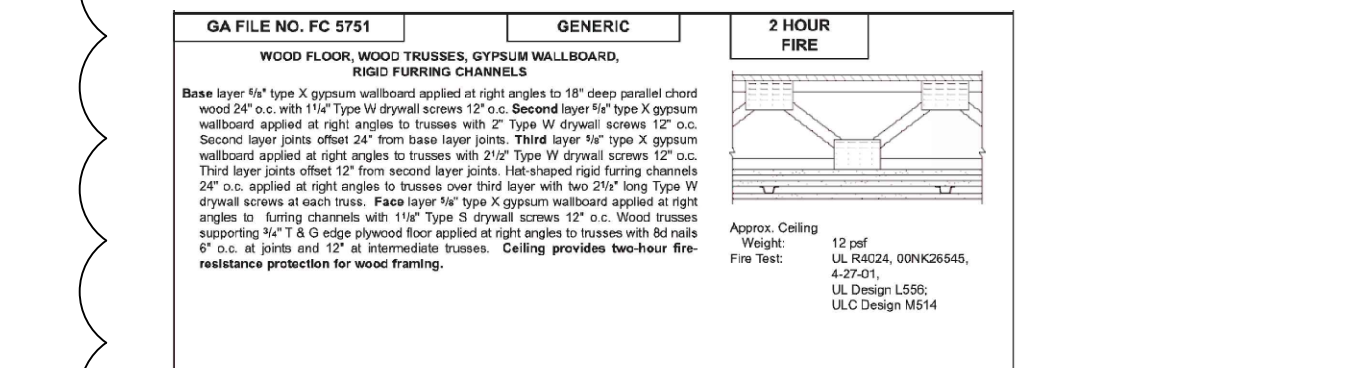
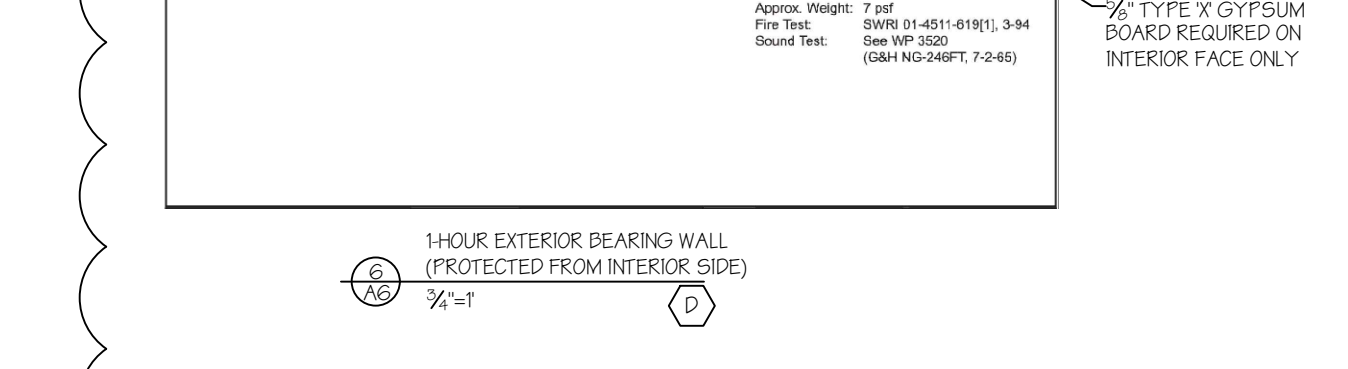
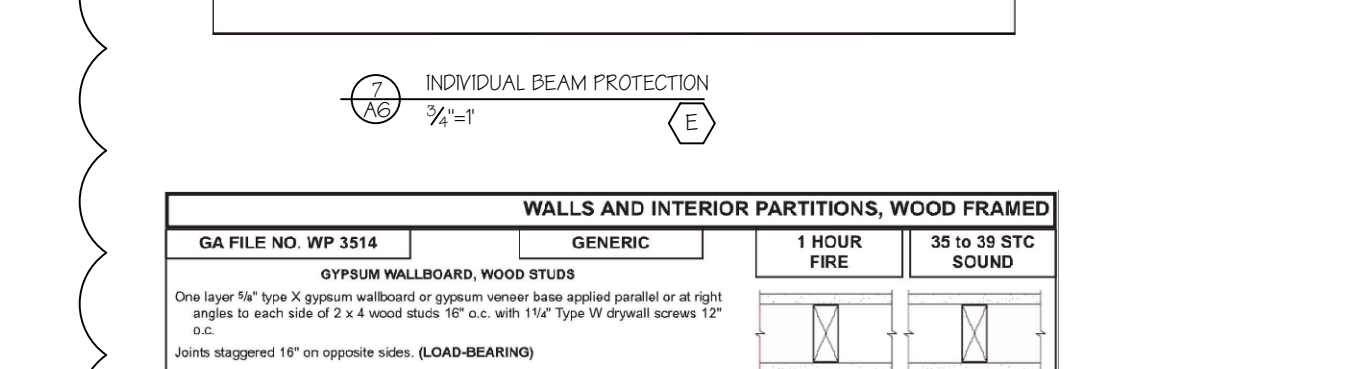
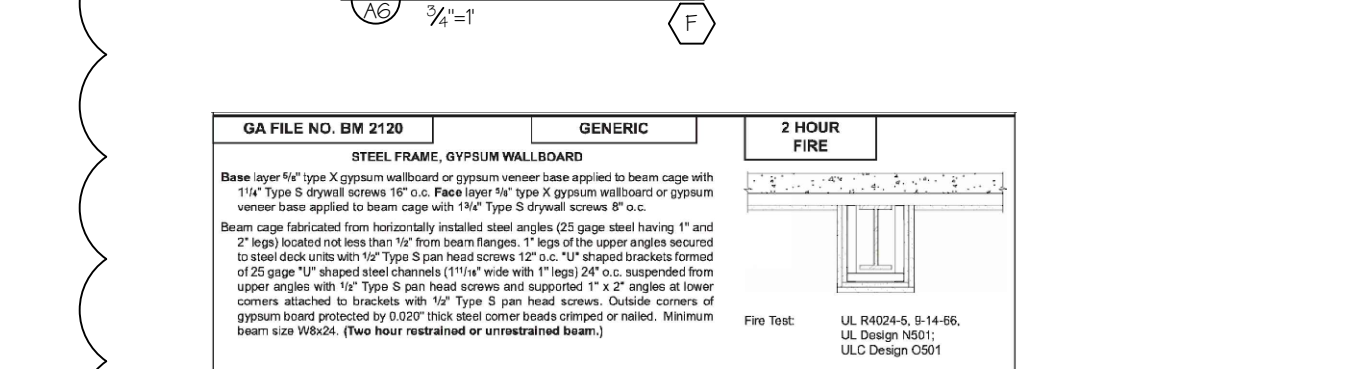
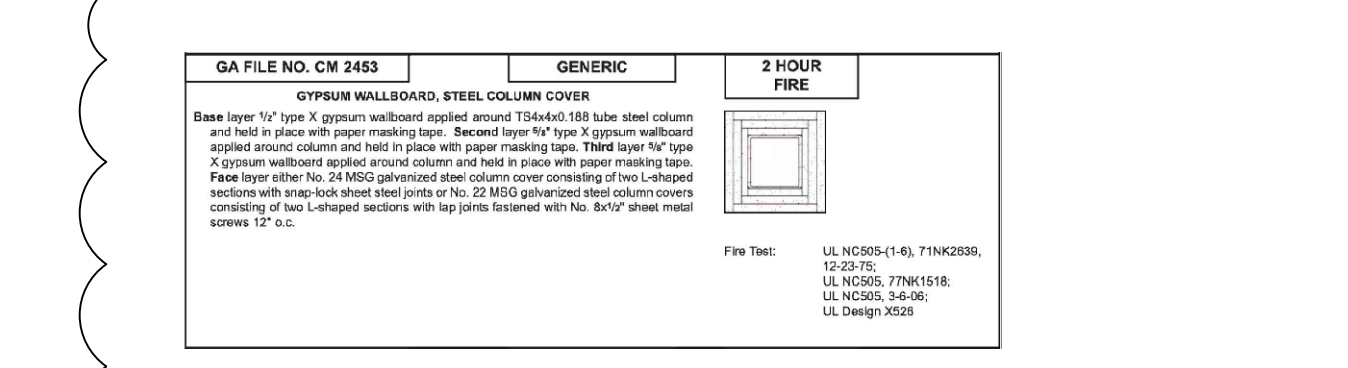
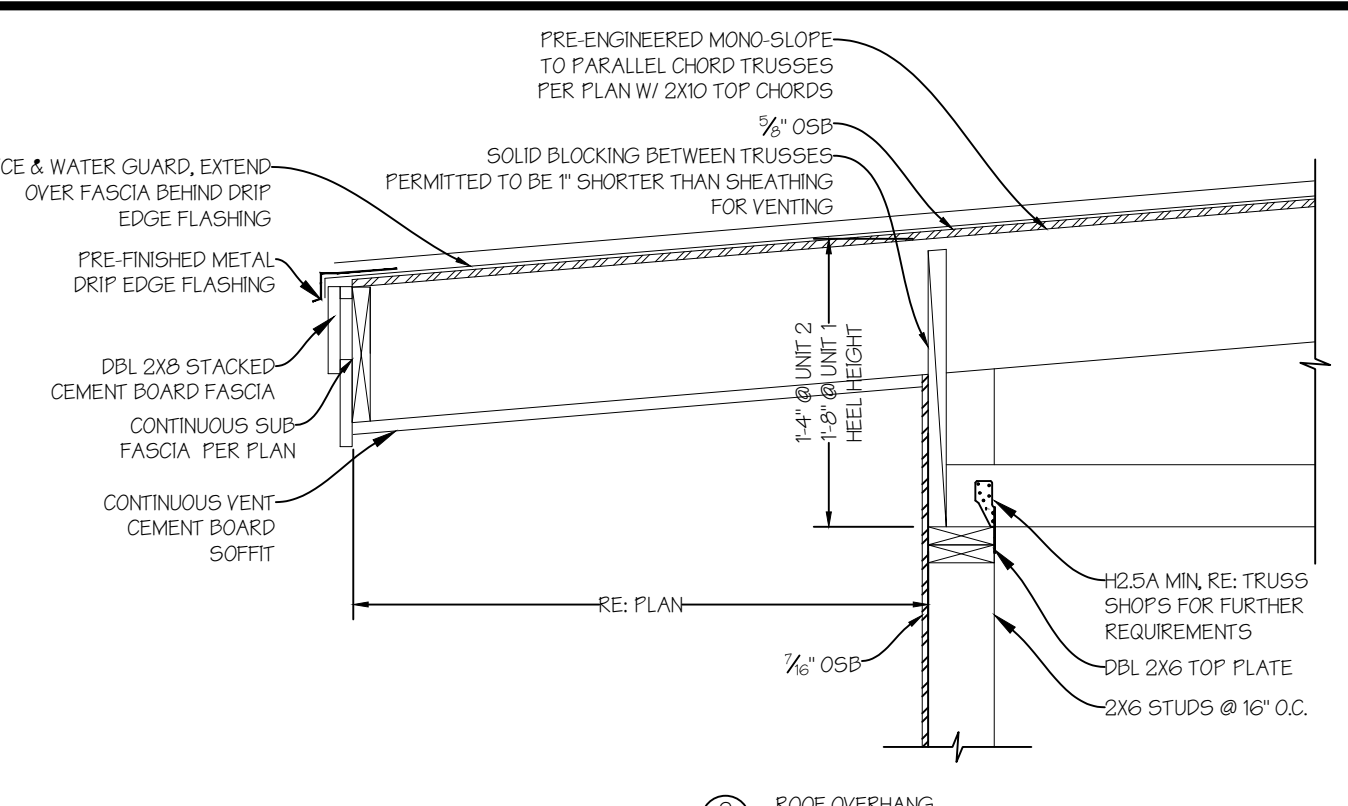
① SOUTH ELEVATION  
1/4" = 1'-0"



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SHEET: **A6**

PROJECT NUMBER: 21160



- STAIR NOTES:**
1. STAIR WIDTH = 3'-0" CLEAR MIN.
  2. RISER HEIGHT = 7 3/4" MAX.
  3. TREAD DEPTH = 10" MIN.
  4. 1" NOSING TYPICAL
  5. 6'-0" MIN HEAD HEIGHT PROJECTED FROM TREAD NOSING
  6. HANDRAIL HEIGHT = 3'-0" ABOVE TREAD NOSING
  7. HANDRAIL HANDGRIP CROSS SECTIONAL DIMENSIONS = 1 1/4" MIN TO 2" MAX.
  8. SPACE BETWEEN HANDRAIL AND WALL = 1 1/2" MIN.
  9. HANDRAIL TO HAVE SMOOTH SURFACE AND NO SHARP CORNERS.
  10. STAIRWAYS LESS THAN 30" HIGH AND LESS THAN 44" WIDE MAY HAVE A HANDRAIL ON ONE SIDE ONLY.
  11. STAIRWAYS HAVING LESS THAN (4) RISERS ARE PERMITTED TO NOT HAVE HANDRAILS.