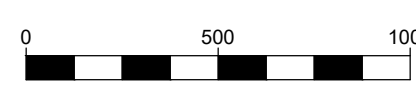


DEVELOPMENT PLAN for RICHEY CONSTRUCTION LIVE/WORK

LOT 3 COPPER RIDGE BUSINESS PARK SUBDIVISION F4
STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO



VICINITY MAP



LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING EDGE OF ASPHALT
	PROPOSED EDGE OF CONCRETE
	EXISTING 1 FT CONTOUR
	EXISTING 5 FT CONTOUR
	PROPOSED 1 FT CONTOUR
	PROPOSED 5 FT CONTOUR
	EXISTING EDGE OF GRAVEL
	CENTER LINE OF DITCH
	EXISTING WATER LINE
	EX CURB STOP, GATE VALVE, FIRE HYDRANT
	PROPOSED WATER SERVICE LINE
	PR CURB STOP, GATE VALVE, FIRE HYDRANT
	THRUST BLOCK
	EXISTING SEWER LINE
	EXISTING MANHOLE AND CLEANOUTS
	PROPOSED SEWER LINE
	PROPOSED MANHOLE AND CLEANOUTS
	EXISTING ELECTRICAL
	EXISTING TELEPHONE
	UTILITY PEDESTALS
	POWER POLE
	GAS
	EXISTING FENCE
	PROPOSED EDGE OF CONCRETE
	DECK
	PROPOSED BUILDING
	OVERHANG
	PROPOSED POND
	SIDEWALK/BOARDWALK
	PERIMETER DRAIN
	WALL
	VEGETATION OUTLINE
	STORM INLET
	PR STORMWATER PIPE
	EX STORMWATER PIPE
	EX CONCRETE
	PR CONCRETE
	PR ASPHALT
	ROCK/RIP RAP
	PR SNOW STORAGE
	FLOW ARROW

SHEET INDEX

- C1 COVER PAGE & NOTES
- CIVILS**
- C2 - EXISTING CONDITIONS PLAN
 - C3 - SITE PLAN
 - C4 - GRADING, DRAINAGE & UTILITY PLAN WITH DETAILS
 - C5 - LIGHTING PLAN
- ARCHITECTURAL**
- A0 - COVER SHEET
 - A2 - MAIN LEVEL FLOOR PLAN
 - A3 - UPPER LEVEL FLOOR PLAN
 - A4 - ELEVATIONS
 - A5 - ELEVATIONS
 - A6 - FOUNDATION DETAILS
 - S1 - FOUNDATION & FIRST FLOOR FRAMING PLAN
 - S2 - SECOND FLOOR FRAMING PLAN
 - S3 - ROOF FRAMING PLAN

STANDARDS	ZONE DISTRICT	LOT 3 COPPER RIDGE
I - INDUSTRIAL	REQUIREMENTS	FINAL PLAT SETBACKS
Lot Area	No min, No max	0.32 Acres
Lot Coverage	60% Max.	18%
Floor Area Ratio	60% Max.	36%
Building Height	32' Max.	31' 11.75"
Average Plate Height	28' Max	27' 5.75"
Front Setback	15' Min.	20'
Side Setback	10' Min.	N/A
Rear Setback	10' Min.	12'
Units Per Lot	No. Max	2 Units

PROJECT CONTACT LIST

PROJECT OWNER

RICHEY CONSTRUCTION INC
ATTN: ADAM RICHEY
PO Box 775272
Steamboat Springs, CO 80477

CELL: (970) 846-1168
EMAIL: adamrichey@hotmail.com

CIVIL ENGINEER

FOUR POINTS SURVEYING AND ENGINEERING
ATTN: MATTHEW MCLEOD, P.E.
440 S. Lincoln Ave, Suite 4B
PO Box 775966
Steamboat Springs, CO 80487

OFFICE: (970) 871-6772
CELL: (248) 444-3268
EMAIL: matthewm@fourpointse.com

ARCHITECT

THE ENGINEERING LOFT
ATTN: CHRISTINA MERTEZ, P.E.
15873 FAIRWAY DRIVE
BUENA VISTA, CO 81211

PHONE: (720) 491-1161
EMAIL: christina@engineeringloft.com



ABBREVIATIONS:

AP	ANGLE POINT	INV	INVERT
APR	APPROXIMATE	LF	LINEAL FEET
A	ASPHALT	LP	LOW POINT
BFF	BASEMENT FINISH FLOOR	MAX	MAXIMUM
BOW	BOTTOM OF WALL	MIN	MINIMUM
BVC	BEGIN VERTICAL CURVE	NG	NATURAL GROUND
BW	BACK OF WALK	O/S	OFFSET
C	CURB	PC	POINT OF CURVATURE
CC	CURB CUT	PED	PEDESTAL
CG	CURB AND GUTTER	PI	POINT OF INTERSECTION
CL	CENTERLINE	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PR	PROPOSED
C/O	CLEAN OUT	PT	POINT
CONC	CONCRETE	PVC	POINT OF VERTICAL CURVE
CNR	CORNER	PVC	POLYVINYL CHLORIDE PIPE
CR	CURB RETURN	PVI	POINT OF VERTICAL INTERSECTION
CS	CURB STOP	R	ROAD
D	DEPTH	RW	RIGHT-OF-WAY
DIP	DRAIN INLET	RW	RETAINING WALL
DMH	DUCTILE IRON PIPE	SQFT	SQUARE FEET
DRN	DRAINAGE MANHOLE	SMH	SEWER MANHOLE
DT	DRAIN	SS	SANITARY SEWER
DW	DITCH	STA	STATION
EG	DRIVEWAY	SW	SIDEWALK
EL	EXISTING GRADE	TB	THRUST BLOCK
EQA	ELEVATION	TBC	TOP BACK OF CURB
EW	EDGE OF ASPHALT	TBR	TO BE REMOVED
EX	EDGE OF WALK	TBW	TOP BACK OF WALK
FES	EXISTING	TEL	TELEPHONE
FFE	FLARED END SECTION	TOP	TOP OF PIPE
FG	FINISH FLOOR ELEVATION	TOW	TOP OF WALL
FH	FINISH GRADE	TYP	TYPICAL
FL	FIRE HYDRANT	VOL	VOLUME
FT	FLOW LINE	VP	VALLEY PAN
G	FOOT OR FEET	W	WIDTH
GB	GRAVEL	WL	WATERLINE
GC	GRADE BREAK	W/	WITH
HC	HANDICAP RAMP		
HP	HIGH POINT		
IN	INLET		

DEVELOPMENT PLANS PREPARED BY FOUR POINTS SURVEYING & ENGINEERING	No.	DATE	REVISIONS	INT
DATE: 6-21-2022	1	8/29/2022	DRT REVIEW & RESPONSE	MDM
JOB #: 1647-007	2	10/3/2022	DRT REVIEW & RESPONSE	MDM
DRAWN BY: MDM				
DESIGN BY: MDM				
REVIEW BY: FPSE				

FOUR POINTS SURVEYING ENGINEERING

Four Points Surveying & Engineering
440 S. Lincoln Ave, Suite 4B
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
matthewm@fourpointse.com

SHEET #

C1

GENERAL NOTES:

- BENCHMARK = FOUND 1 1/2" ALUMINUM CAP ON #5 REBAR, NOT LEGIBLE, AT SOUTHWEST CORNER OF PROPERTY, ELEVATION=6752.86 (SEE EXISTING CONDITIONS PLAN).
- TOPOGRAPHIC AND EXISTING CONDITIONS MAPPED BY FOUR POINTS SURVEYING AND ENGINEERING COMPLETED ON JUNE 28, 2021.
- CITY OF STEAMBOAT SPRINGS PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS. DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
- ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.
- ALL INFRASTRUCTURE CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST REVISION.
- ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS UTILITY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK SUCH AS RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DEWATERING PERMIT, STORM WATER QUALITY PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970.879.1807 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE ROW BETWEEN NOVEMBER 1 - APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.
- PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED OBSTRUCTION PERMIT MUST BE ISSUED BY CITY CONSTRUCTION SERVICES FOREMAN.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) AND OBTAINING ANY REQUIRED PERMITS OR APPROVALS FOR WORK ON OR ADJACENT TO CDOT ROW.
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. PRIOR TO MAKING ANY CHANGES TO THE 13. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION.
- CONTRACTOR MUST SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) FOR REVIEW AND APPROVAL BY THE CITY CONSTRUCTION SERVICES FOREMAN PRIOR TO START OF CONSTRUCTION. THE CSMP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
- THE FOLLOWING PRIVATE IMPROVEMENTS REQUIRE CONSTRUCTION OBSERVATION PER THE CITY'S ENGINEERING SERVICES SPECIFICATION: WATER, SEWER, STORM SEWER, PONDS, WATER AND SEWER CONSTRUCTION SHALL BE INSTALLED PER THE CITY WATER AND SEWER DIVISION STANDARDS, LATEST EDITION.
- RECORD DRAWINGS ARE REQUIRED FOR: PUBLIC AND PRIVATE WATER AND SEWER
- DRIVEWAY CURB CUTS TO BE INSTALLED DURING PUBLIC IMPROVEMENTS, DRIVEWAYS AND LANDSCAPING FOR INDIVIDUAL UNITS TO BE INSTALLED PRIOR TO BUILDING CERTIFICATE OF OCCUPANCY.
- ALL PIPE OUTFALLS REQUIRE FLARED END SECTIONS AND RIPRAP. ALL VALLEY PAN OUTFALLS REQUIRE RIPRAP.

GRADING:

- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT APPROPRIATE PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH THE ISSUED PERMITS.
- VEGETATED SLOPES GREATER THAN OR EQUAL TO 2:1 REQUIRE SOIL STABILIZATION.

EROSION CONTROL:

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
- ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

PAVING:

- PAVING OF PUBLIC STREETS SHALL NOT START UNTIL SUB GRADE COMPACTION AND MATERIAL TESTS ARE TAKEN AND ACCEPTED BY THE PUBLIC WORKS DIRECTOR.
- EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT OR WHEN ACCESS TO UNDERGROUND UTILITIES IS REQUIRED. TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES INCLUDING SAW CUTS, POTHOLES, TRENCHES, AND ASPHALT OVERLAY. ASPHALT PATCHES IN THE RIGHT-OF-WAY SHALL BE PER CITY SPECIFICATIONS.
- ADJUST RIMS OF CLEANOUTS, MANHOLES, VALVE COVERS TO FINAL GRADE.
- CONTRACTOR TO CONTACT CITY STREETS SUPERINTENDENT AT (970)879-1807 TO SCHEDULE INSTALLATION OF PUBLIC STREET SIGNS. ALL OTHER TRAFFIC CONTROL SIGNS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

UTILITY CONTACT LIST

WATER AND SANITARY SEWER

CITY OF STEAMBOAT SPRINGS UTILITY DEPARTMENT
137 10TH STREET
STEAMBOAT SPRINGS, CO
CONTACT: AMBER GREGORY 970-871-8211

ELECTRICAL

YAMPA VALLEY ELECTRIC COMPANY
2211 ELK RIVER ROAD
STEAMBOAT SPRINGS, CO
CONTACT: LARRY BALL 970-871-2264

GAS

ATMOS ENERGY
30405 DOWNHILL DRIVE
STEAMBOAT SPRINGS, CO
CONTACT: DON CRANE 970-879-3223

TELEPHONE

CENTURY LINK
138 7TH STREET
STEAMBOAT SPRINGS, CO
CONTACT: JASON SHARPE 970-328-2517

CABLE TELEVISION

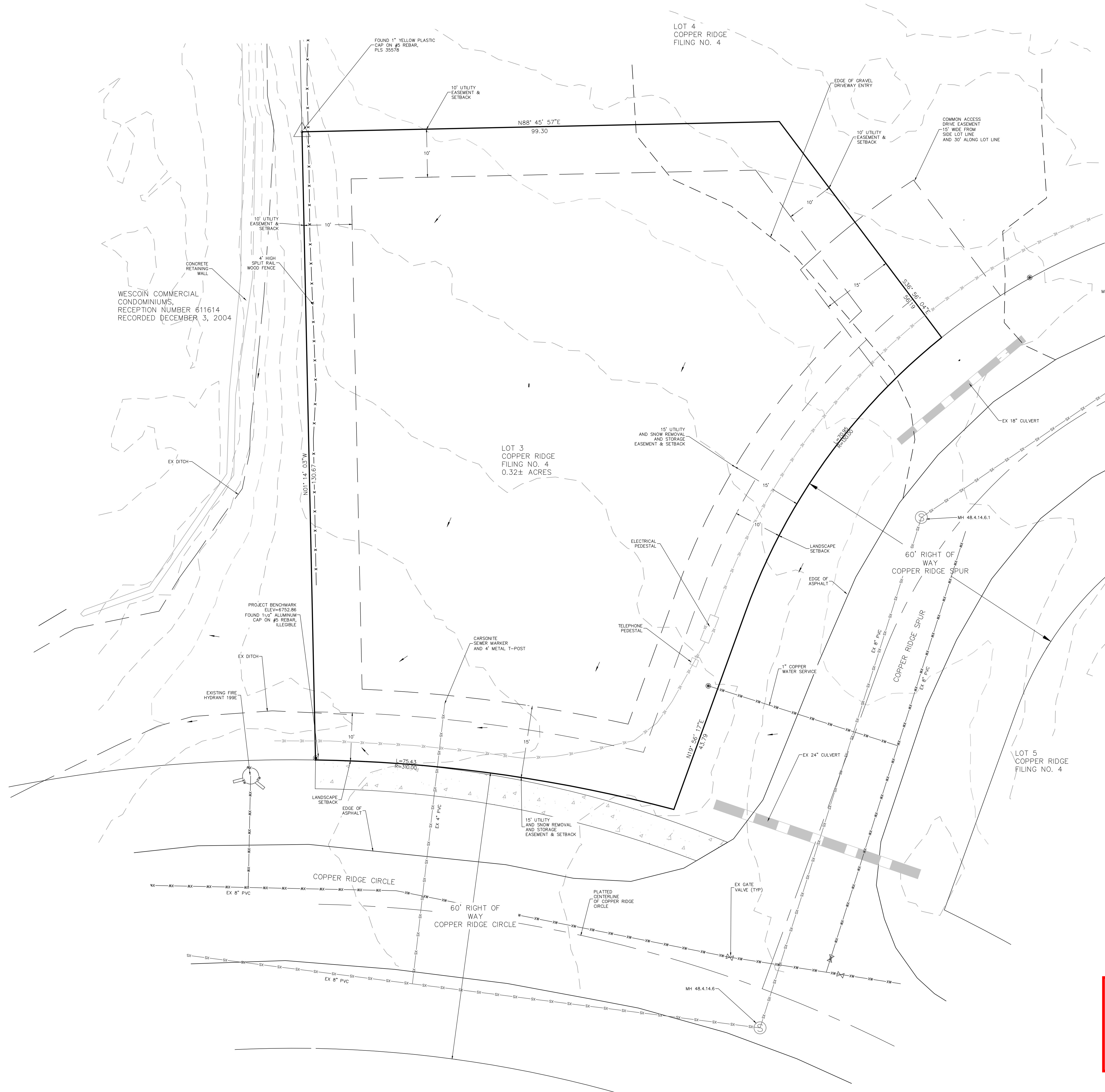
COMCAST
625 SOUTH LINCOLN, SUITE #205
STEAMBOAT SPRINGS, CO 80487
CONTACT: TONY HILDRETH 970-401-2782

UTILITY NOTIFICATION CENTER OF COLORADO

CALL TWO BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES
1-800-922-1987



DEVELOPMENT PLANS for RICHEY CONSTRUCTION LIVE/WORK



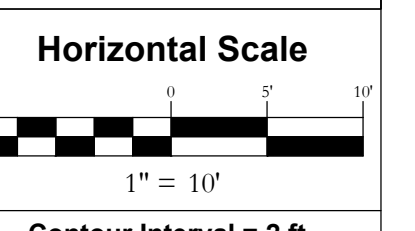
REVIEWED FOR CODE COMPLIANCE
06/23/2023



440 S. Lincoln Ave, Suite 4A
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
www.fourpointse.com

No.	DATE	REVISIONS	
		DESCRIPTION	BY
1	8/29/2023	DIRT REVIEW & RESPONSE	
2	10/3/2023	DIRT REVIEW & RESPONSE	

**RICHEY CONSTRUCTION
LIVE/WORK
1716 COPPER RIDGE SPUR
STEAMBOAT SPRINGS, CO 80487**



Contour Interval = 2 ft
DATE: 6-21-2022
JOB #: 1647-007
DRAWN BY: MDM
DESIGN BY: MDM
REVIEW BY: FPSE

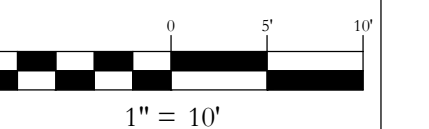
**EXISTING
CONDITIONS PLAN**

DRAWING:
SHEET #
C2

No.	DATE	REVISIONS	
		INT	MDM
1	8/29/2023	DIRT REVIEW & RESPONSE	
2	10/30/2023	DIRT REVIEW & RESPONSE	

**RICHEY CONSTRUCTION
LIVE/WORK
1716 COPPER RIDGE SPUR
STEAMBOAT SPRINGS, CO 80487**

Horizontal Scale



Contour Interval = 2 ft

DATE: 6-21-2022
JOB #: 1647-007
DRAWN BY: MDM
DESIGN BY: MDM
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN A4 X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING: **SITE PLAN**
SHEET #

C3

SNOW STORAGE CALCULATIONS
ASPHALT & CONCRETE AREA TOTAL = 5,160 SQ FT
SNOW STORAGE REQUIRED = 2,580 SQ FT
SNOW STORAGE AREA = 2,585 SQ FT
NO LANDSCAPE DEDUCTIONS - NO EVERGREENS IN SNOW STORAGE
TOTAL PROVIDED = 2,585 SQ FT

PARKING CALCULATIONS - FULL
WORK/LIVE, INDUSTRIAL = 2+(1 PER 900 SF OF WORK AREA)
NUMBER OF UNITS (2) = 4 SPACES
SF WORK AREA (2,520 SQ FT) = 3 SPACES
TOTAL SPACES PROVIDED = 7

NOTE: PARKING DESIGNATION WILL BE PRESENTED WITH THE UNIT NUMBER PAINTED ON THE PARKING SPACE ITSELF.

LANDSCAPE CALCULATIONS
LANDSCAPE FRONTAGE
INDUSTRIAL ZONED NON-EC OVERLAY = 10 FT DEPTH AT CATEGORY A

FRONTAGE LANDSCAPING AREA AND PARKING LOT SETBACK LANDSCAPING AREA OVERLAP SO 30 FOOT PARKING LOT LANDSCAPE STANDARD WILL BE USED IN FRONT OF THE PARKING LOT.

1 PLANTING PER 400 SF - CATEGORY A
10 FT LANDSCAPE FRONTAGE AREA = 1,853 SF
30 FT PARKING LOT SETBACK AREA = 587 SF
TOTAL AREA = 2,440 SF
7 PLANTINGS REQUIRED/PROVIDED

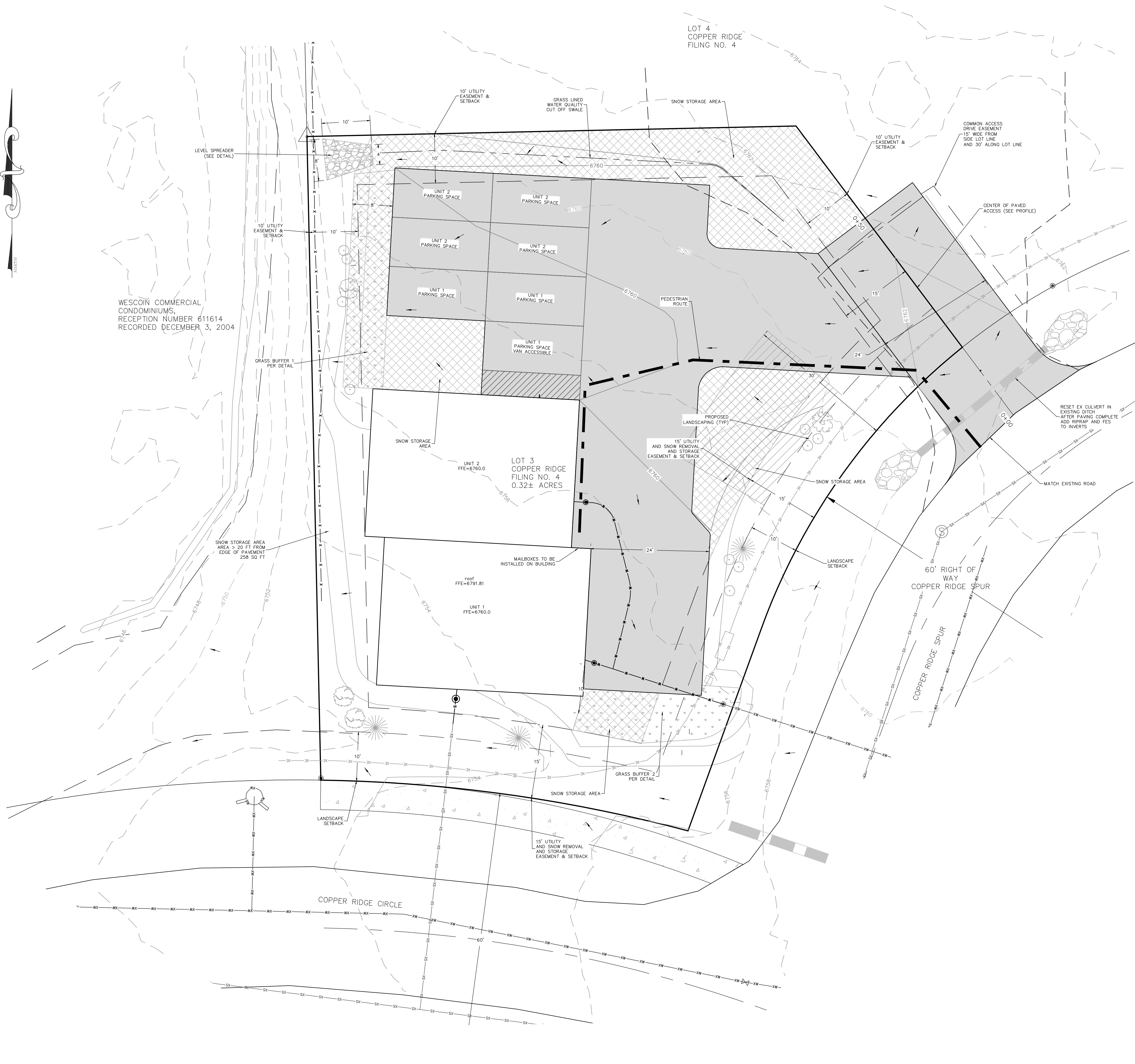
BREAKDOWN:
3 EVERGREEN TREES REQUIRED/PROVIDED
2 DECIDUOUS TREES REQUIRED/PROVIDED
1 ORNAMENTAL TREES REQUIRED/PROVIDED
1 SHRUB PLANTINGS REQUIRED/PROVIDED
1 PLANTING = 3 SHRUBS
6 SHRUBS PROVIDED/REQUIRED

INTERIOR PARKING
INTERIOR PARKING LANDSCAPE STANDARDS
EVERGREENS PROHIBITED
200 SF PER 9 PARKING SPACES
7 PARKING SPACES = 200 SF
1 DECIDUOUS PLANTINGS REQUIRED/PROVIDED
4 SHRUBS REQUIRED/PROVIDED

TOTALS:
3 EVERGREEN TREES REQUIRED/PROVIDED
3 DECIDUOUS TREES REQUIRED/PROVIDED
1 ORNAMENTAL TREES REQUIRED/PROVIDED
10 SHRUBS REQUIRED/PROVIDED

- EVERGREEN TREE (COLORADO SPRUCE)
- DECIDUOUS TREE (QUAKING ASPEN)
- ORNAMENTAL TREE (CRABAPPLE)
- SHRUBS (RED-OSIER DOGWOOD)
- LANDSCAPE PARKING SETBACK AREA

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06/23/2023

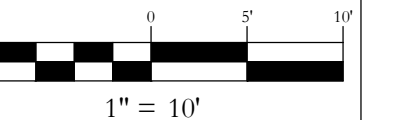


WESCOIN COMMERCIAL CONDOMINIUMS
RECEPTION NUMBER 611614
RECORDED DECEMBER 3, 2004

INT	NO	DATE	REVISIONS
	1	8/29/2023	DIRT REVIEW & RESPONSE
	2	10/30/2023	DIRT REVIEW & RESPONSE

**RICHEY CONSTRUCTION
LIVE/WORK
1716 COPPER RIDGE SPUR
STEAMBOAT SPRINGS, CO 80487**

Horizontal Scale



Contour Interval = 2 ft

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**GRADING, DRAINAGE
& UTILITY PLANS
WITH DETAILS**

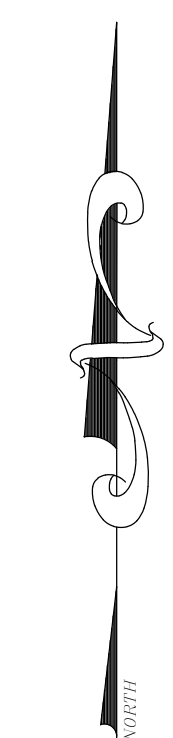
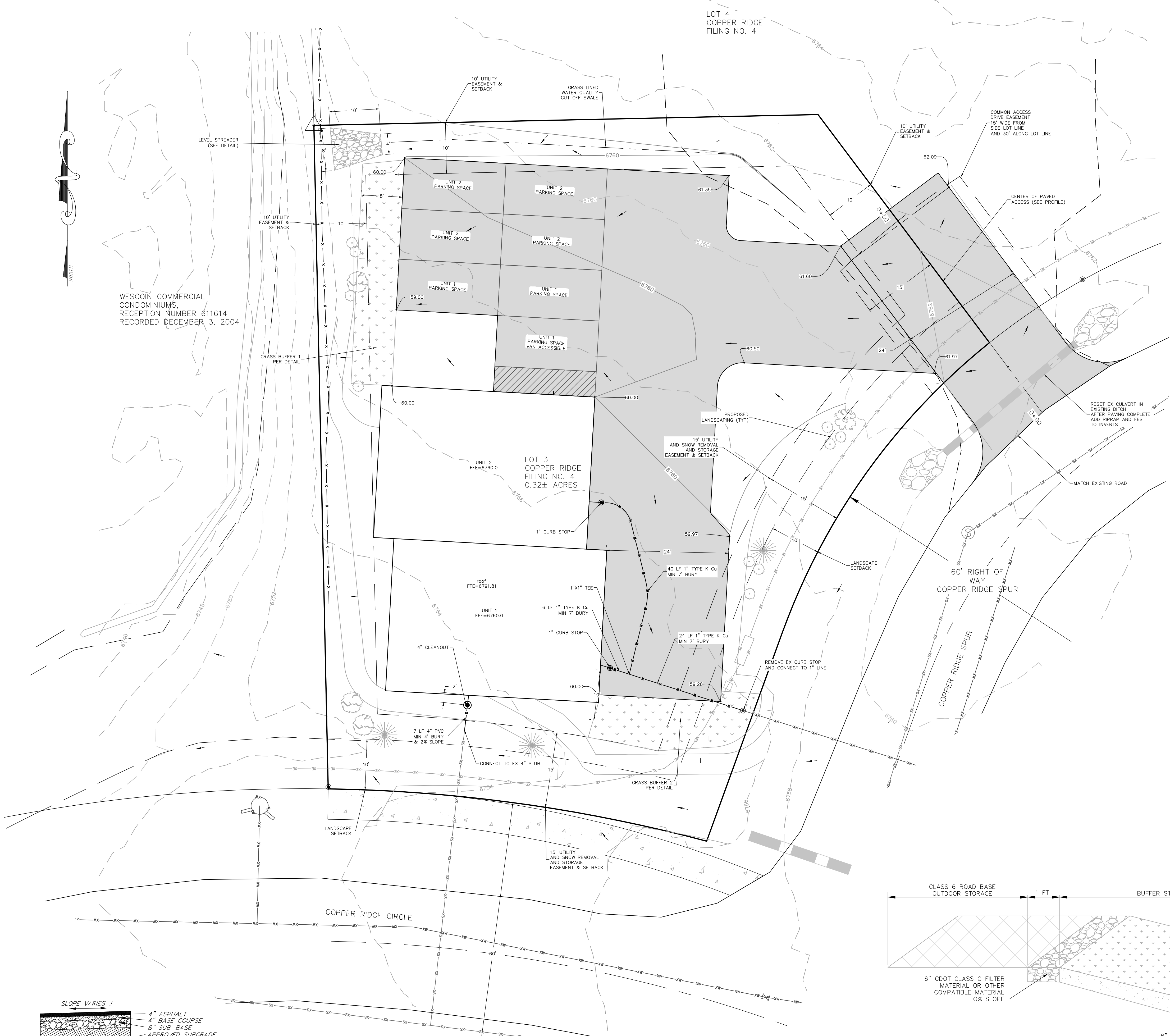
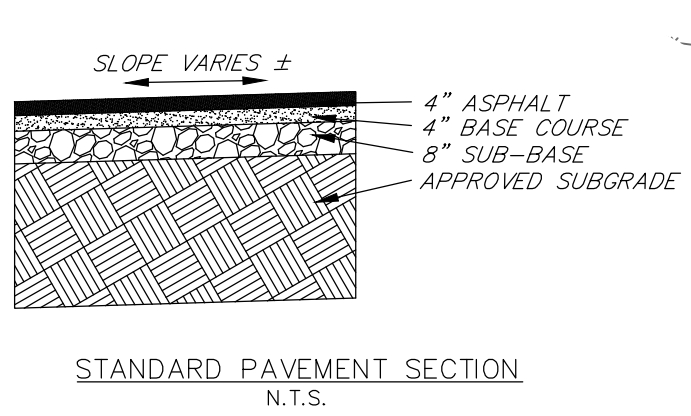
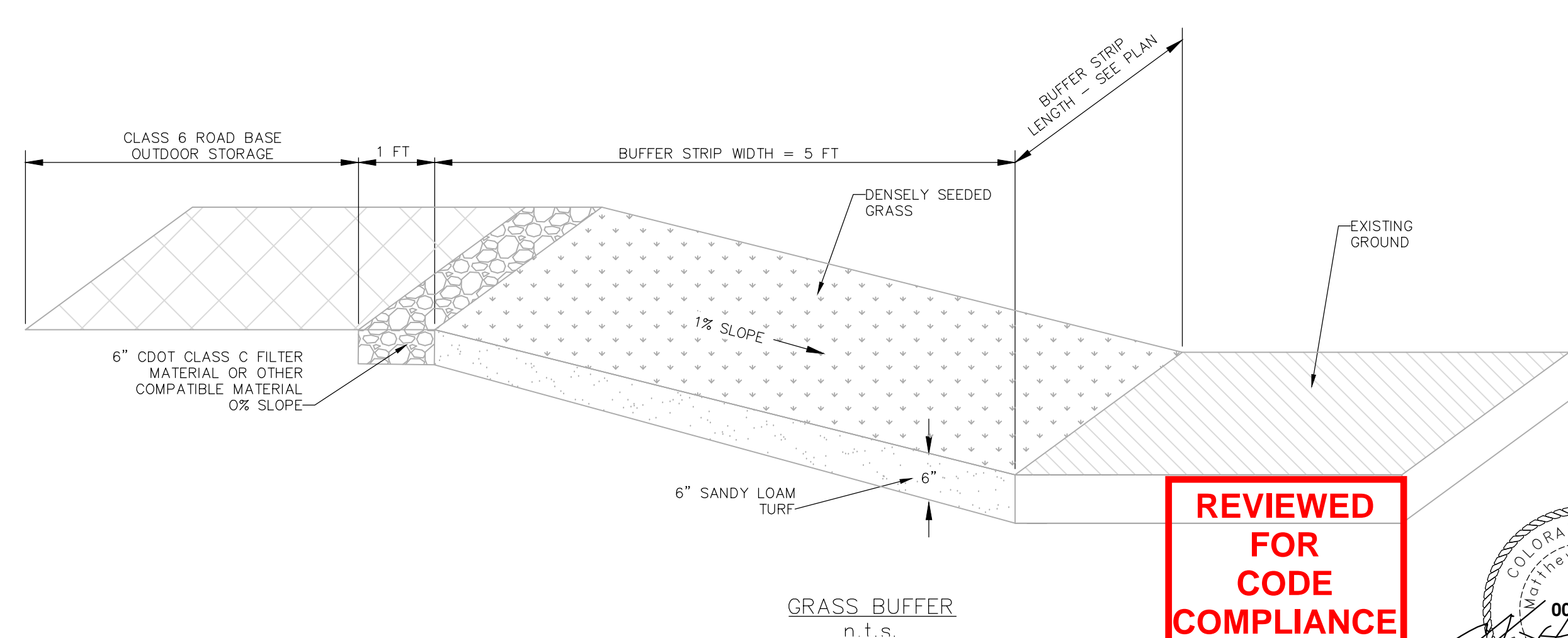
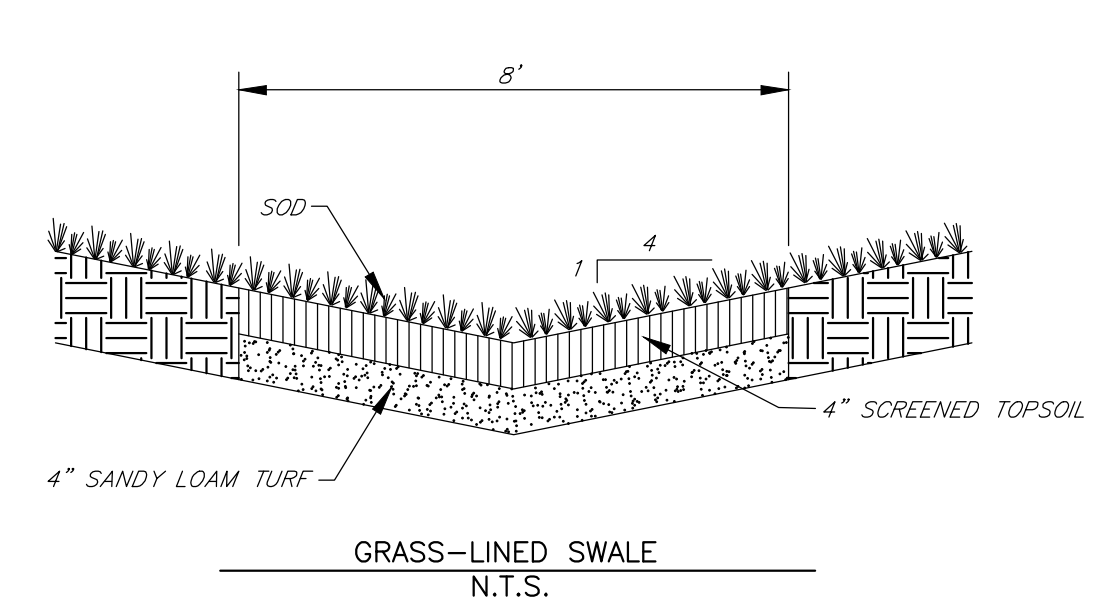
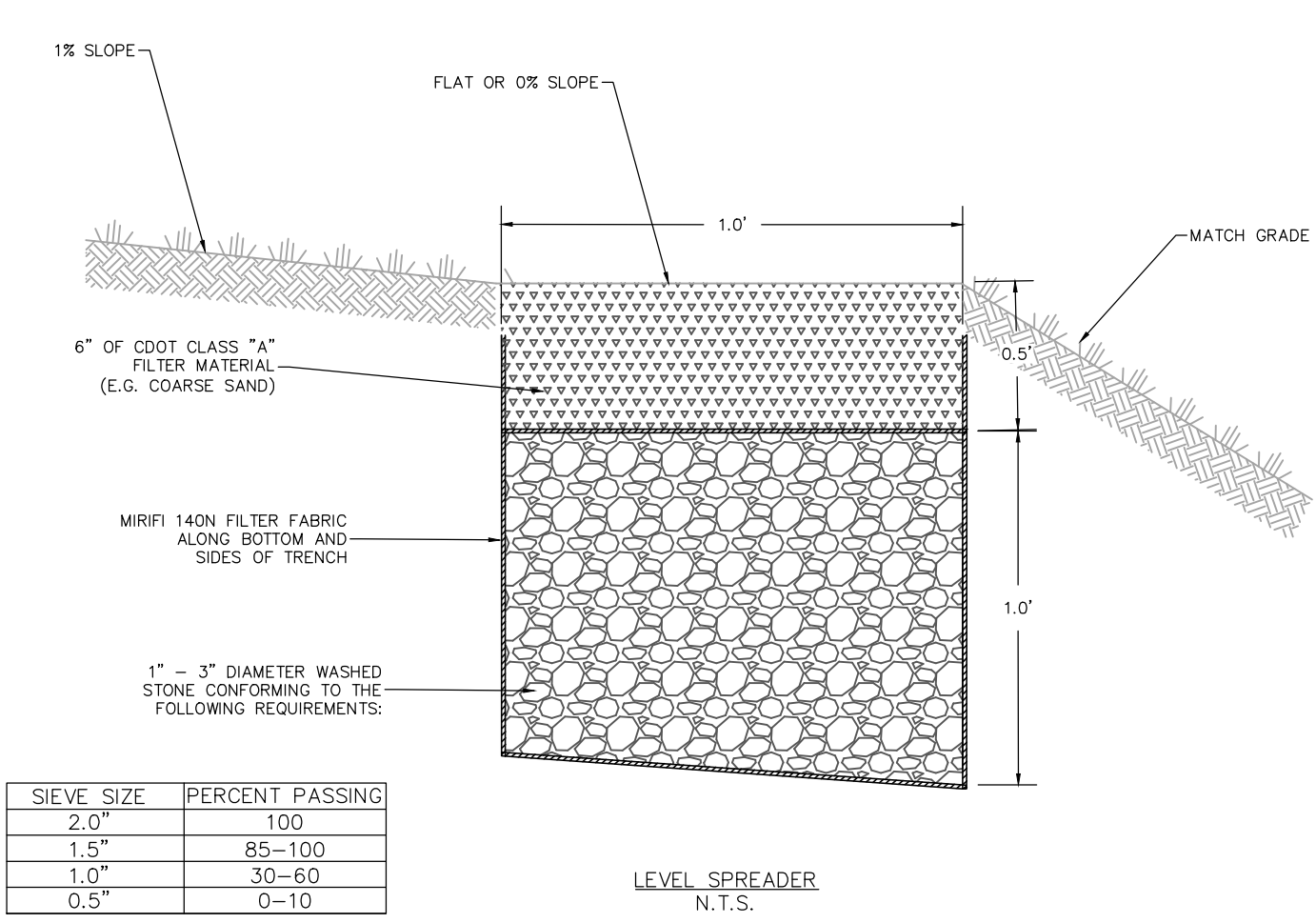
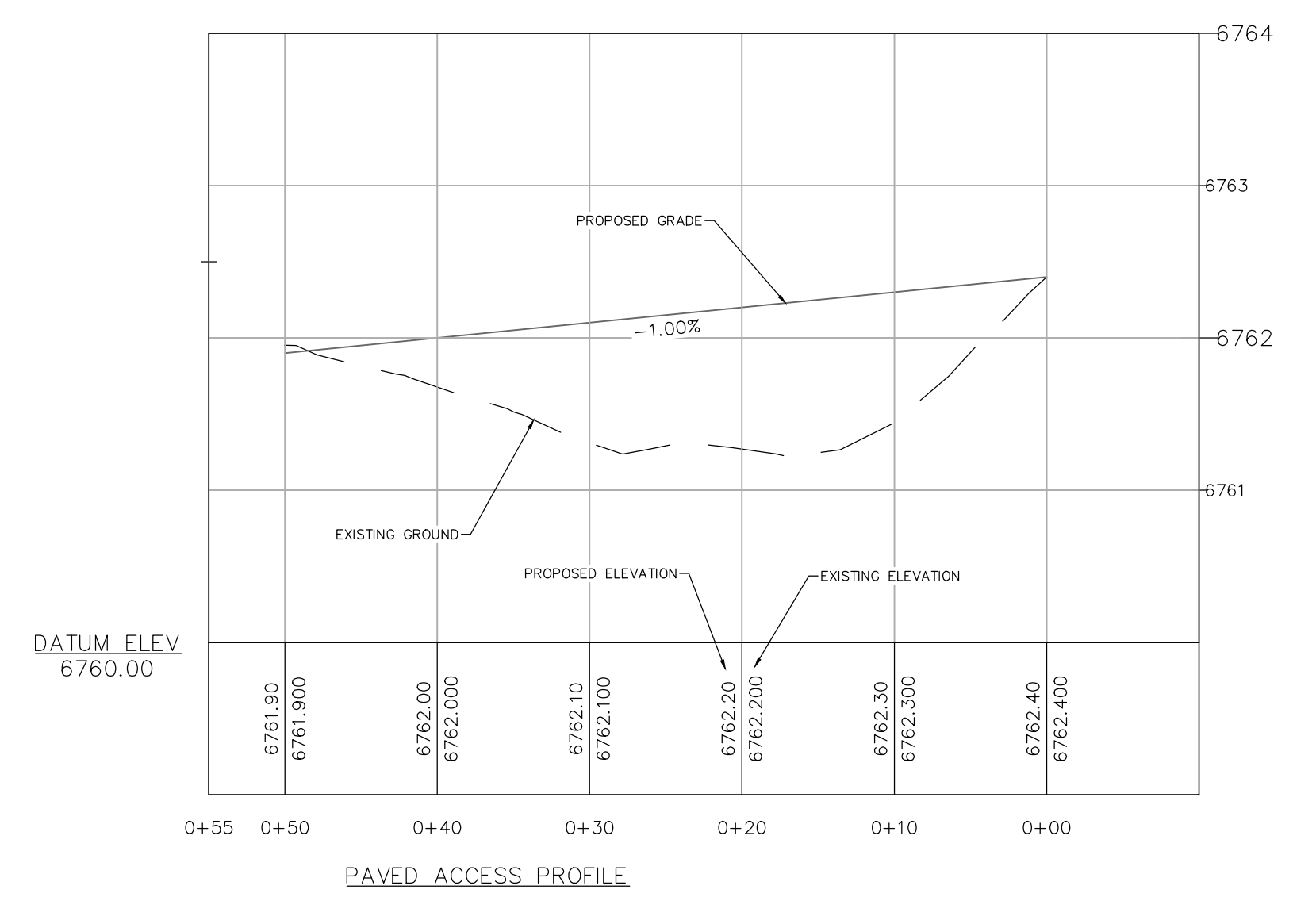
DRAWING:

SHEET #

C4



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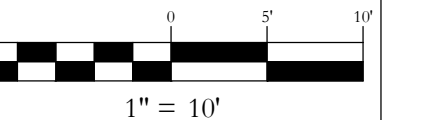


WESCOIN COMMERCIAL
CONDOMINIUMS,
RECEPTION NUMBER 611614
RECORDED DECEMBER 3, 2004

No.	DATE	REVISIONS	INT	
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RICHEY CONSTRUCTION
LIVE/WORK
1716 COPPER RIDGE SPUR
STEAMBOAT SPRINGS, CO 80487

Horizontal Scale



Contour Interval = 2 ft

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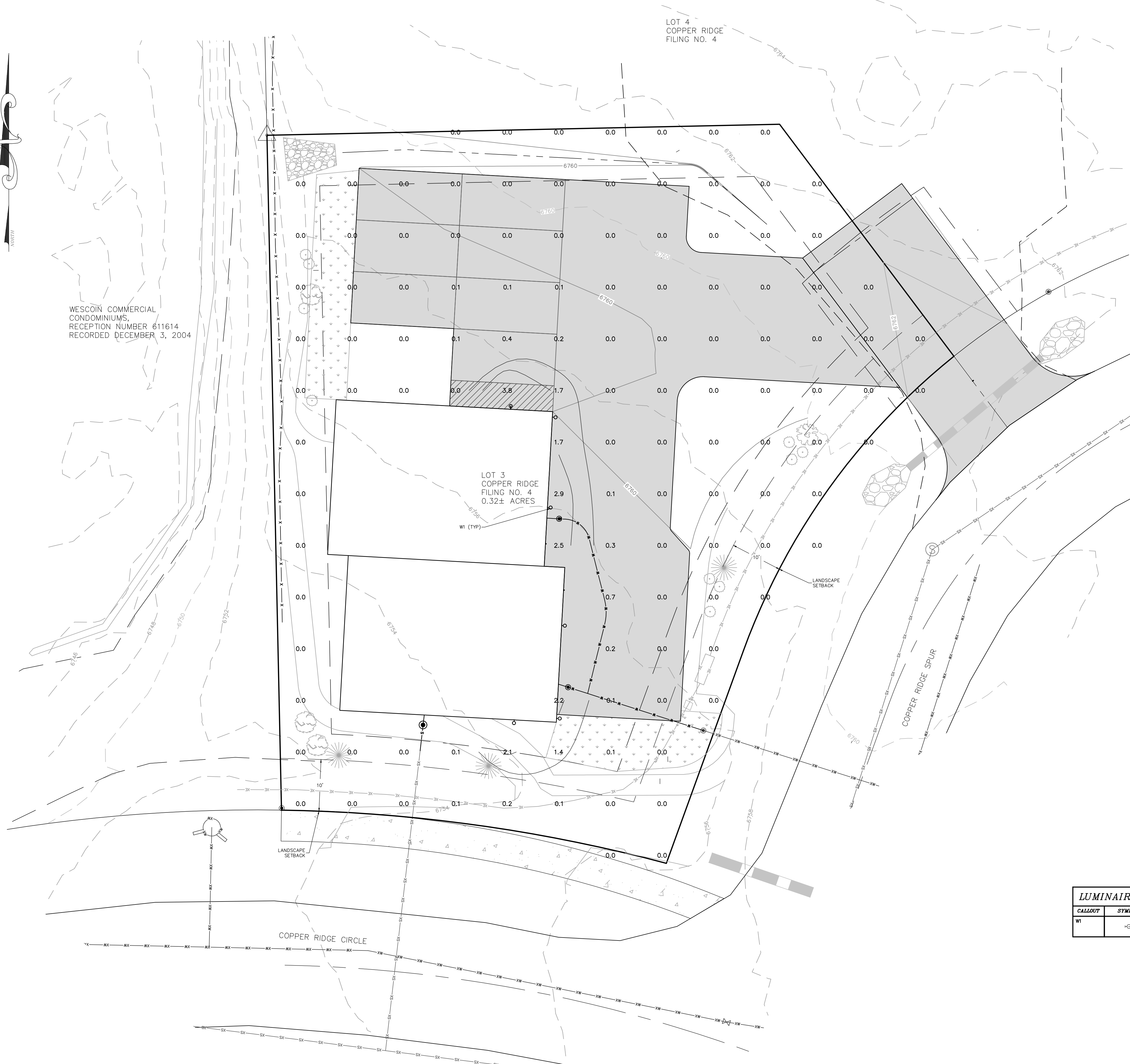
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LIGHTING PLAN

DRAWING:

SHEET #

C5



NOTE: REFER TO THIS PLAN FOR LIGHTING INFORMATION.

11250 LED Outdoor Wall Sconce
By Kichler



11250 LED Outdoor Wall Sconce
By Kichler

Product Options

Finish: Textured Black

Details

Designed in 2015
Material: Metal
Dark Sky compliant, Title 24 compliant
ETL Listed Wet
Made in China

Dimensions

Fixture: Width 5", Height 7", Depth 6.5", Weight
2.29Lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	374
Total Watts	11.00
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
Average Lifespan	40000.00
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No



Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:

Additional Details

Product URL:
<https://www.lumens.com/11250-led-outdoor-wall-sconce-by-kichler-R362210.html>
Rating: ETL Listed Wet

ITEM#: R362210



Created August 29th, 2022

OR APPROVED SUBSTITUTE.

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY
W1	⊕	LED	LED WALL CYLINDER	ELECTRONIC	CEILING	KICHLER, 25837-2, MOD# 11250/CP133536	120V 1P 2W	8

REVIEWED FOR CODE COMPLIANCE
06/23/2023

